



Call before you dig.

AMENDED SITE PLAN FOR HUDSON VALLEY LIGHTING

Tax Map No. 135689-6259-02-841673 151 Airport Road Town of Wappinger

> PREPARED FOR Jaleli, LLC 151 Airport Road Wappingers Falls, NY 12590

DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.

CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.

6. ALL WORK IS TO BE EXECUTED BY MECHANICS SKILLED IN THEIR TRADES.

GENERAL SITE NOTES

CONSIDERED PART OF THE WORK.

UTILITIES PRIOR TO ANY EXCAVATION.

OWNER PRIOR TO THE FINAL PAYMENT.

Bruce Flower, TOWN OF WAPPINGER PLANNING BOARD CHAIR

SERVICES, PROJECT NUMBER 27481.

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LOCATION MAP

HP Coolidge Maloney Road

Robert Hammond 450 Malonev Road

HP Coolidge Maloney Road 4 W Red Oak Lane White Plains, NY 10640 For Property: 135689-6259-02-681675

4 W Red Oak Lane White Plains, NY 10640 For Property:135689-6259-02-753743

Robert Quaranto 909 Beekman Road Hopewell Junction, NY 12533 For Property:135689-6259-02-760823 Poughkeepsie, NY 12603

Wappingers Falls, NY 125900 For Property:135689-6259-02-858806

6. Pier DiCamillo 162 Daley Road Poughkeepsie, NY 12603 For Property:135689-6259-02-865829 7. Thomas Lasko 404 Malonev Road Poughkeepsie, NY 12603

AREA MAP

. Dutchess County Poughkeepsie, NY 12601 For Property: 135689-6359-03-075290

9. Global Satellite, LLC 3 Nancy Court Wappinger Falls, NY 12590 For Property:135689-6259-02-908414 10. Alfred Rabasco 478 Rossway Road Pleasant Valley, NY 12569 For Property: 135689-6259-04-870494

SCALE: 1" = 1,000'

11. N.A.C. Industries Inc. 154 East Boston Post Road Mamaroneck, NY 10543 For Property: 135689-6259-04-815490

Zoning & Bulk Regulations

Zone Classification AI - Airport Industry

Topographic Datum

Total Acreage:

Water Supply: **Private Water Supply** Sewage Disposal: Private Sewage Disposal System

240 Attachment 4

Bulk Regulations:	Required	Existing	Propose
Minimum Area	2 Ac	67 Ac.	67 Ac
Minimum Lot Width (feet)	200'	1354'	1354'
Minimum Depth (feet)	200'	1135.33'	1135.3
Minimum street frontage (feet)	150'	2115.58'	2115.5
Minimum Front Yard (feet) from:			
County/State Highway	75'	N/A	N/A
Front Lot Line of other Street	100	199.6'	199.6
Minimum Side Yard ³ (feet)	50'	245.5'	245.5
Side Yard R-40	25'	1132.1'	1127'
Accessory Building <15 feet high	50'	N/A	N/A
Minimum Rear Yard ⁴ (feet)	50'	1153.8'	802.6
Rear Yard R-40	50'	1153.8'	802.6
Accessory Building <15 feet high	50'	N/A	N/A
Maximum Building Height (stories/feet)	2.5/35'	2/<35'	2/<35
Maximum Building Coverage (percent)	20%	8.3%	13.3%
Maximum Floor Area Ratio	0.3	0.083	0.13
Maximum Impervious Surface (%)	75%	14.59%	22.1%
Minimum Landscaped Open Space	25%	44.16%*	38.7%
Minimum parking setback (feet) From:			
Front Lot Line			
Side and rear lot line			

³ Where a lot abuts land in a residential district, the most restrictive side yard setback requirement of either district shall govern.

⁴ Where a lot abuts land in a residential district, the most restrictive rear yard setback requirement of either district shall govern. *Percentage of area of development.

Off-street Parking Calculations §240-97 Off-Street Parking and Loading Minimum Off-street Parking Wholesale, storage, utility or other similar commercial use 1 per employee but not less than 1 per 1000 square feet of gross floor area Square Feet Square Feet Existing Warehouse 244,393 S.F. 142,500 S.F. 386,893 S.F.Total 200 Landbanked spaces Total:

Dutchess County Dept. of Health

Owner/Applicant

Hudson Valley Lighting 151 Airport Road Wappinger Falls, NY 12590

Owner's Consent Note

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON

Authorized Agent of Hudson Valley Lighting

DATE

Town of Wappinger Planning Board

1. THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING

3. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED LOCAL PERMITS. NO WORK IS TO COMMENCE UNTIL

4. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT ARE

5. ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE, SUCH

7. ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED

9. CONTRACTOR SHALL VERIFY WITH LOCAL UTILITY COMPANY THE POSSIBILITY OF ANY UNDERGROUND

10. CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE

11. ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO THE REGULATIONS OF THE BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.

BOUNDARY AND TOPOGRAPHICAL INFORMATION PER SURVEY PREPARED BY MILLMAN NATIONAL LAND

8. ALL TRADES TO COOPERATE WITH EACH OTHER TO FACILITATE THE PROGRESS OF THE ENTIRE JOB.

CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK

APPROVED BY RESOLU	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK ON THE DAY						
OF	, 2020 SUBJECT TO ALL REQUIREMENTS AN	D CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASL	JRE,				
MODIFICATION OR REV	ISION OF THIS PLAN, AS APPROVED SHALL	VOID THIS APPROVAL.					
TOWN OF WAPPINGER	PLANNING BOARD						
SIGNED THIS	DAY OF	, 2020					

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

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Project No.	2020:077	License No. 069646

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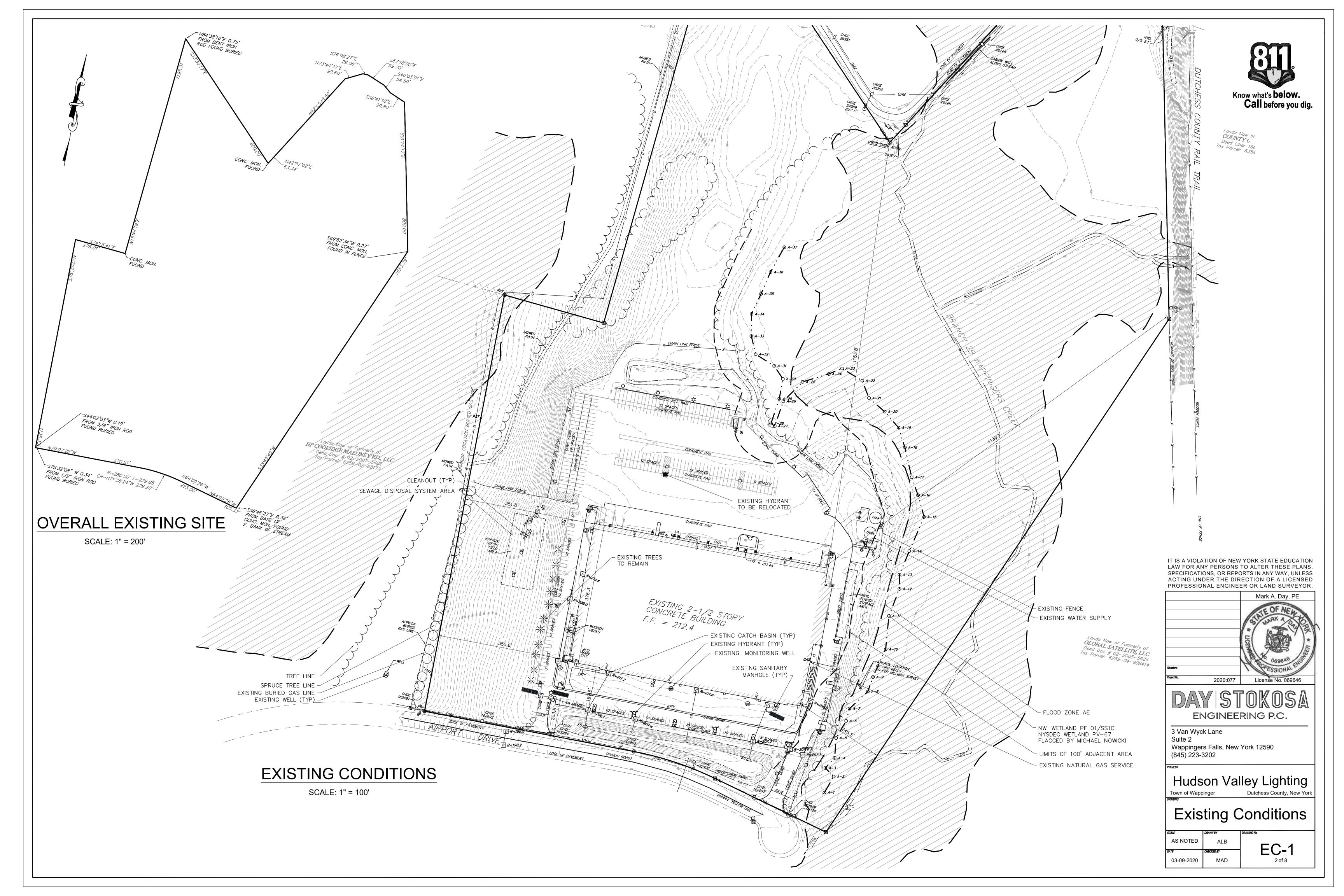
3 Van Wyck Lane Wappingers Falls, New York 12590 (845) 223-3202

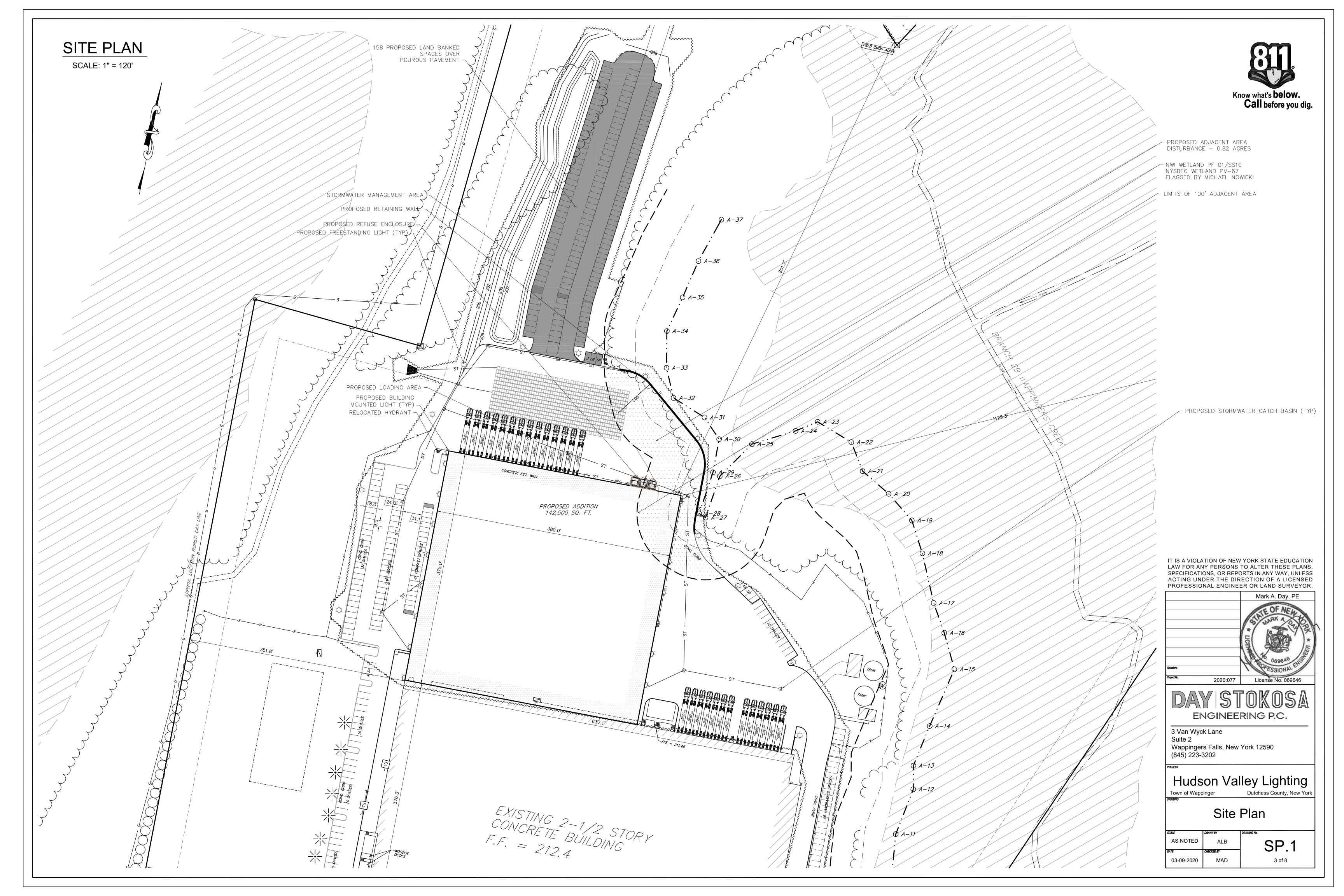
Town of Wappinger

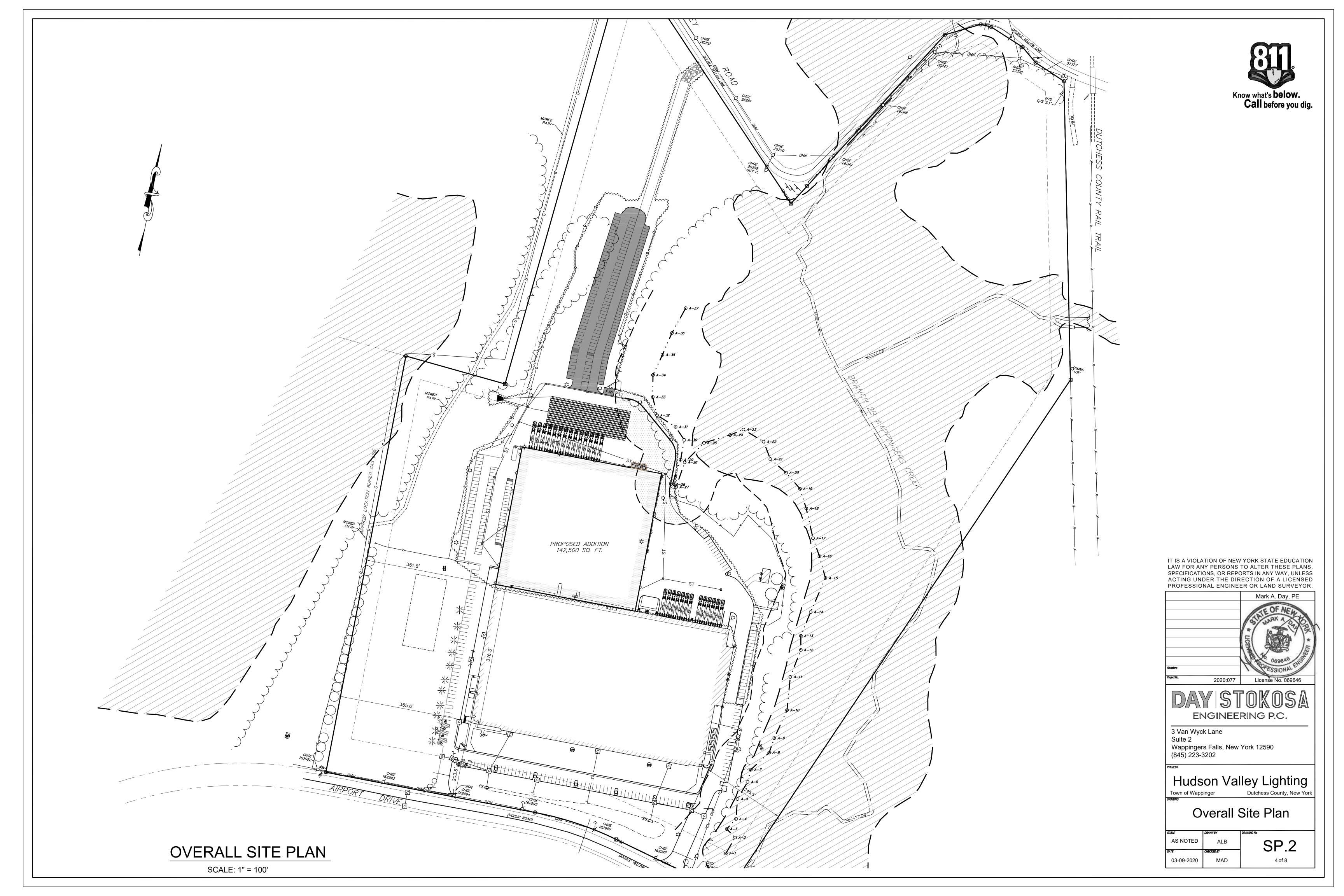
Hudson Valley Lighting

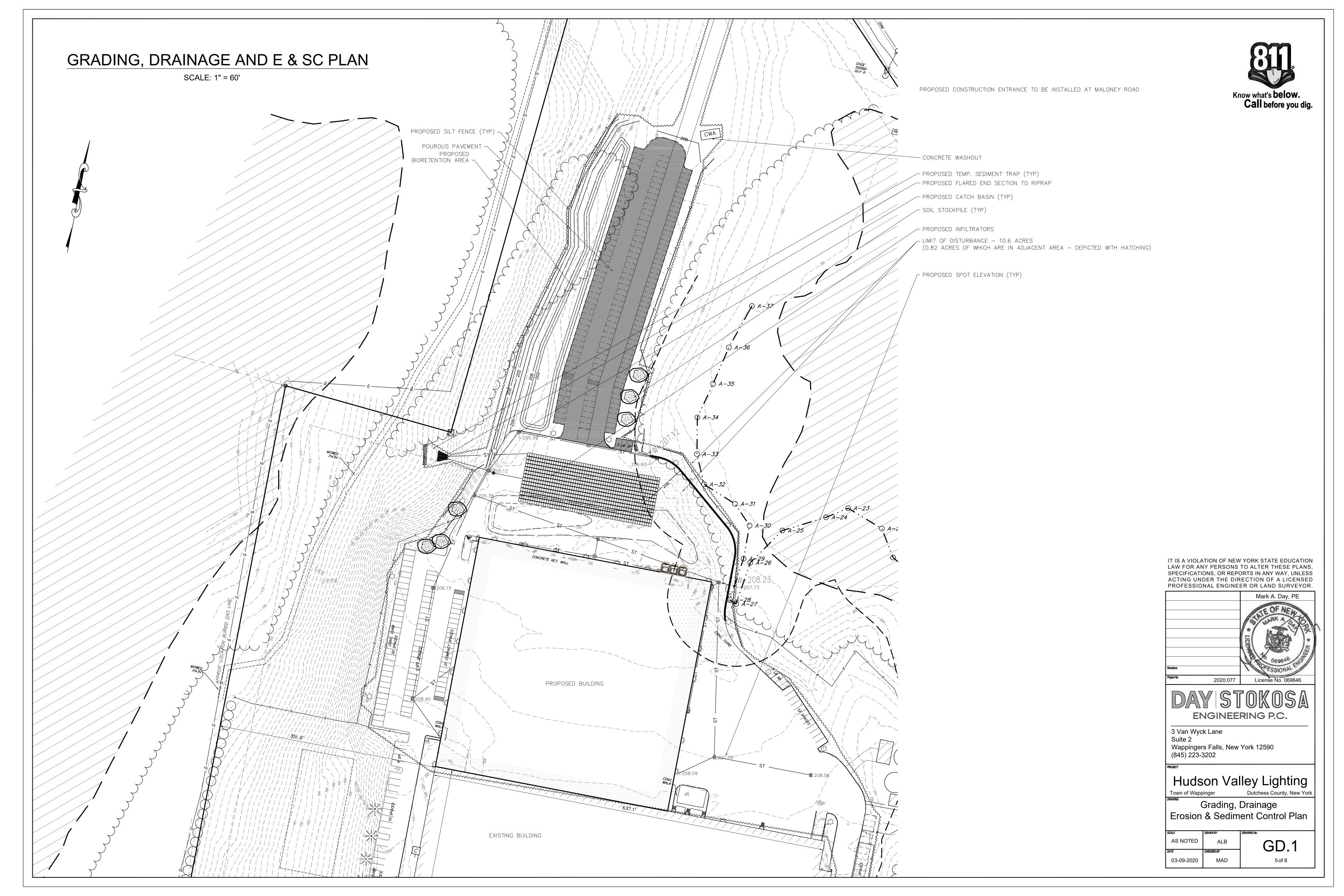
Title Sheet

AS NOTED TB-1 03-09-2020



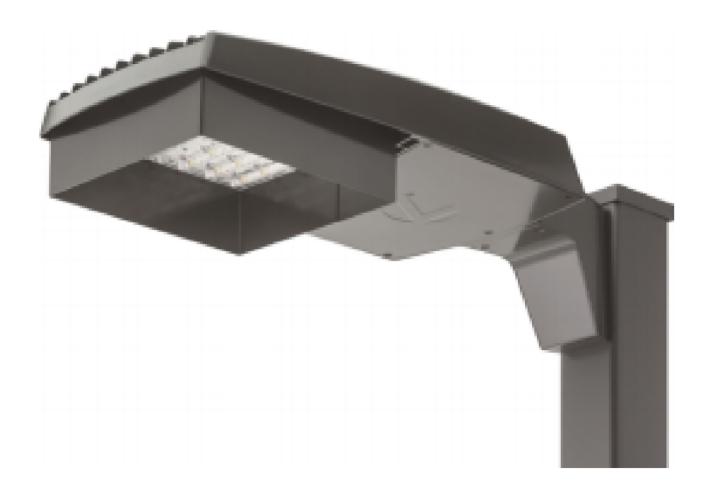






RSX Area Luminaire Size 2 P1 Lumen Package 3000K CCT Type R3S Distribution with EGFV Shield





External 360 Full Visor





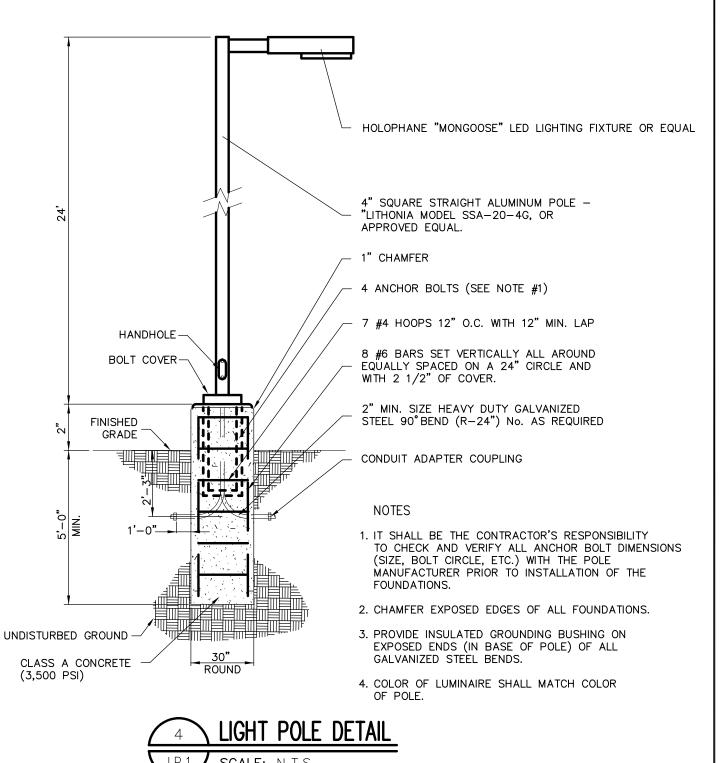
12"Wx8.79"Hx12.5"D 21.5 LBS Design is Protected by U.S. Patent No. D740,997 and D752,274



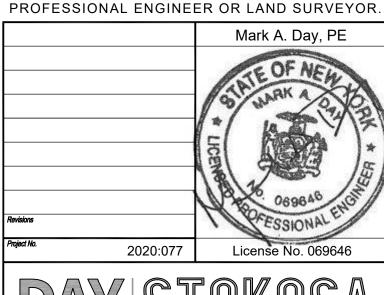
- PROPOSED LIGHT POLE

PROPOSED WALL PACK

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 1	QUANTITY
Pole	\$	(1)	HOLOPHANE AREA LUMINARE WITH BAFFLE	ELECTRONIC	26' HIGH POLE	HOLOPHANE LED	120V 1P 2W	/29/2019 SCALED PHOTOMETRY TYPE III, VERY SHORT, BUG RATING: B2 - U0 - G2 ARM MOUNT 2.36, 1.12, 0.25 RSX2 LED Area Luminaire	13 NEW (4) EXISTING
WALLPAK	Ŗ	(1)	CAST ENAMEL ALUMINUM HOUSING WHITE ALUMINUM REFLECTOR, CLEAR GLASS ENCLOSURE	ELECTRONIC	14' HIGH WALL-MOUNTED	ATLAS SLP16110LEDSC4KU	120V 1P 2W		28



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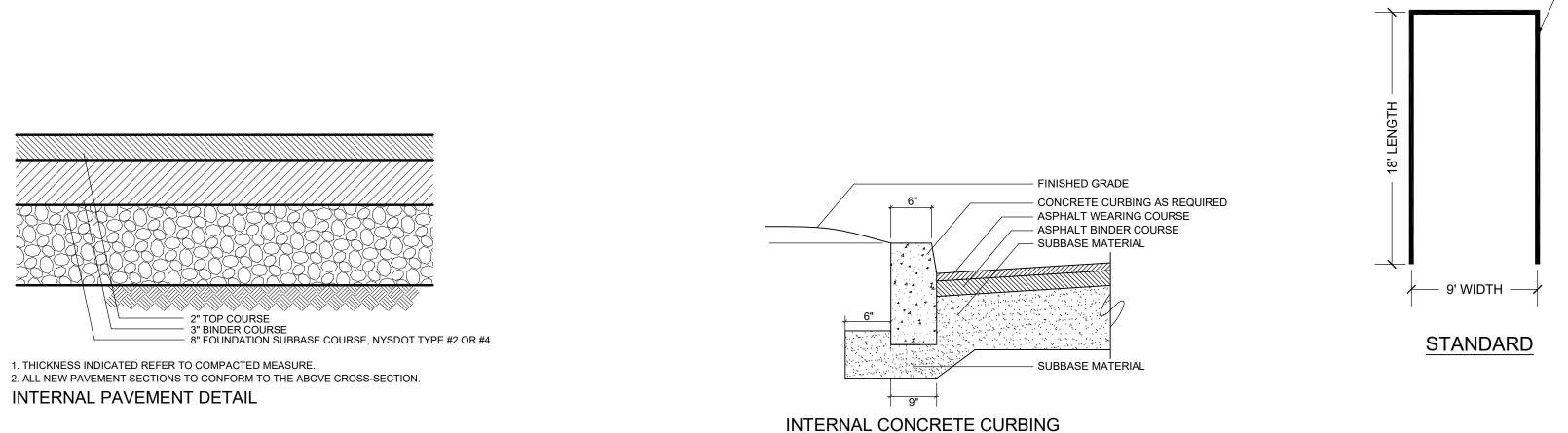
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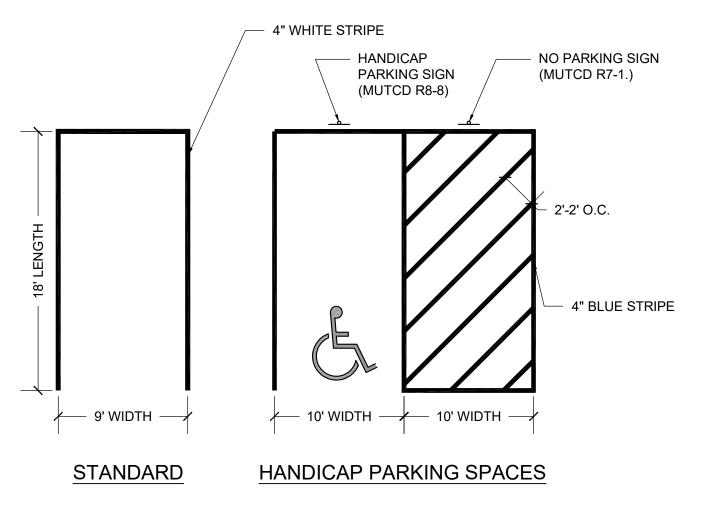
Hudson Valley Lighting
Town of Wappinger

Dutchess County, New York

Lighting Plan

ALE	DRAWN BY	DRAWING No.
AS NOTED	ALB	IP1
ΙΤΕ	CHECKED BY	
03-09-2020	MAD	6 of 8





SIGN SCHEDULE

<u>DWG. SYMBOL</u>

RESERVED **PARKING**

SIGN SIZE = 12"x18" MARGIN = 3/8" **BORDER = 5/8"** TEXT COLOR =GREEN

SYMBOL COLOR = WHITE ON BLUE BACKGROUND COLOR = WHITE

MUTCD R7-8

MUTCD R7-1

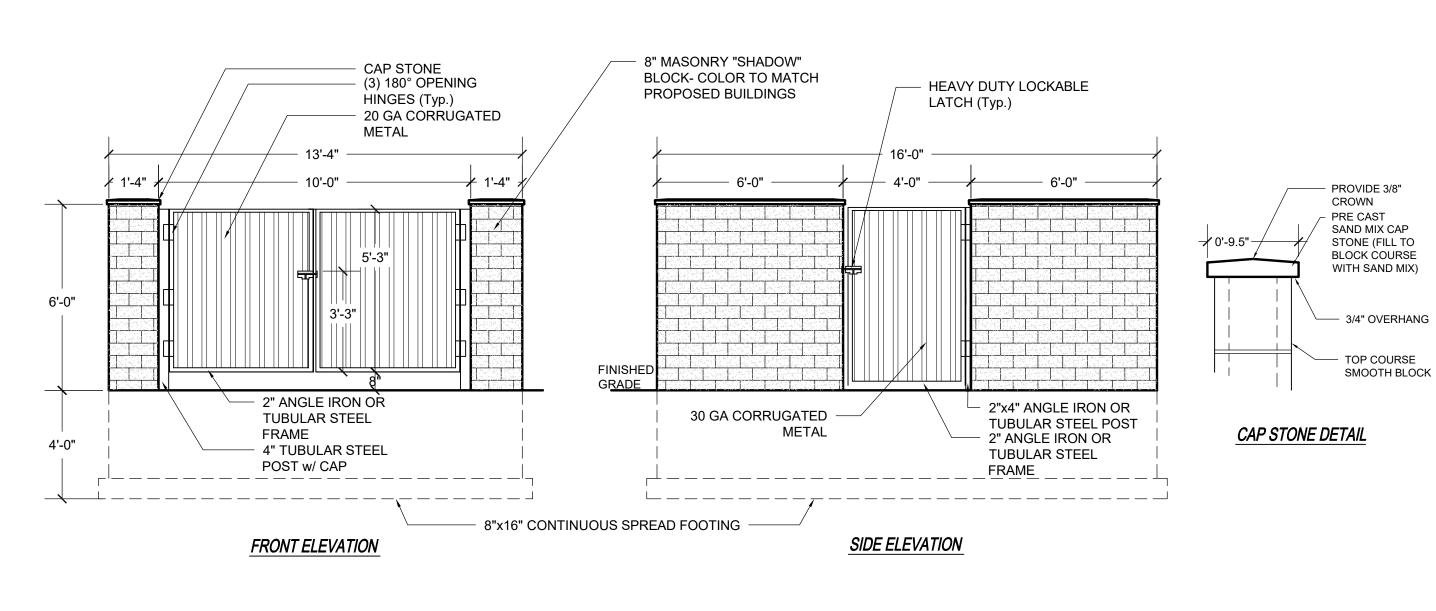
SIGN SIZE = 18"x24" MARGIN = 3/8" **BORDER = 5/8"** SYMBOL COLOR = RED BACKGROUND COLOR = WHITE Know what's **below**. Call before you dig.

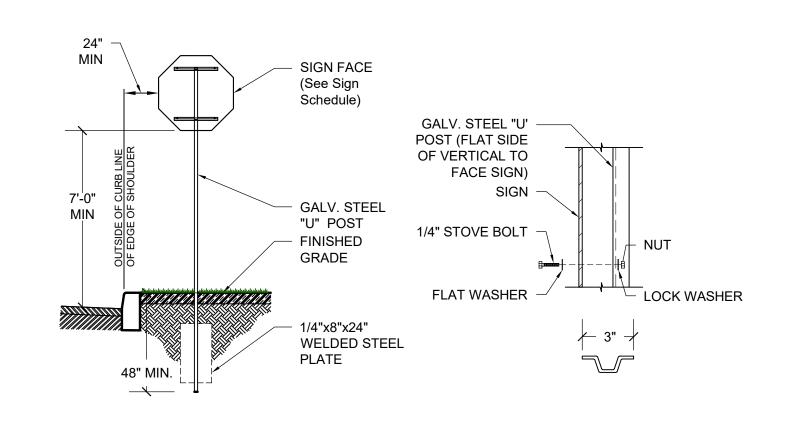
PAVEMENT SECTION NOT TO SCALE

CURB DETAIL NOT TO SCALE

PARKING STALL DETAIL NOT TO SCALE

HANDICAP PARKING SIGN DETAIL NOT TO SCALE

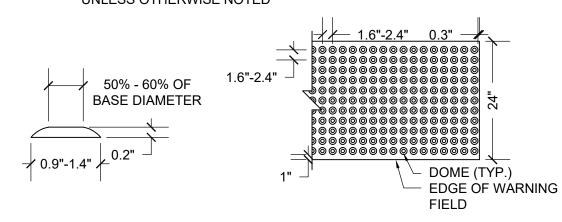




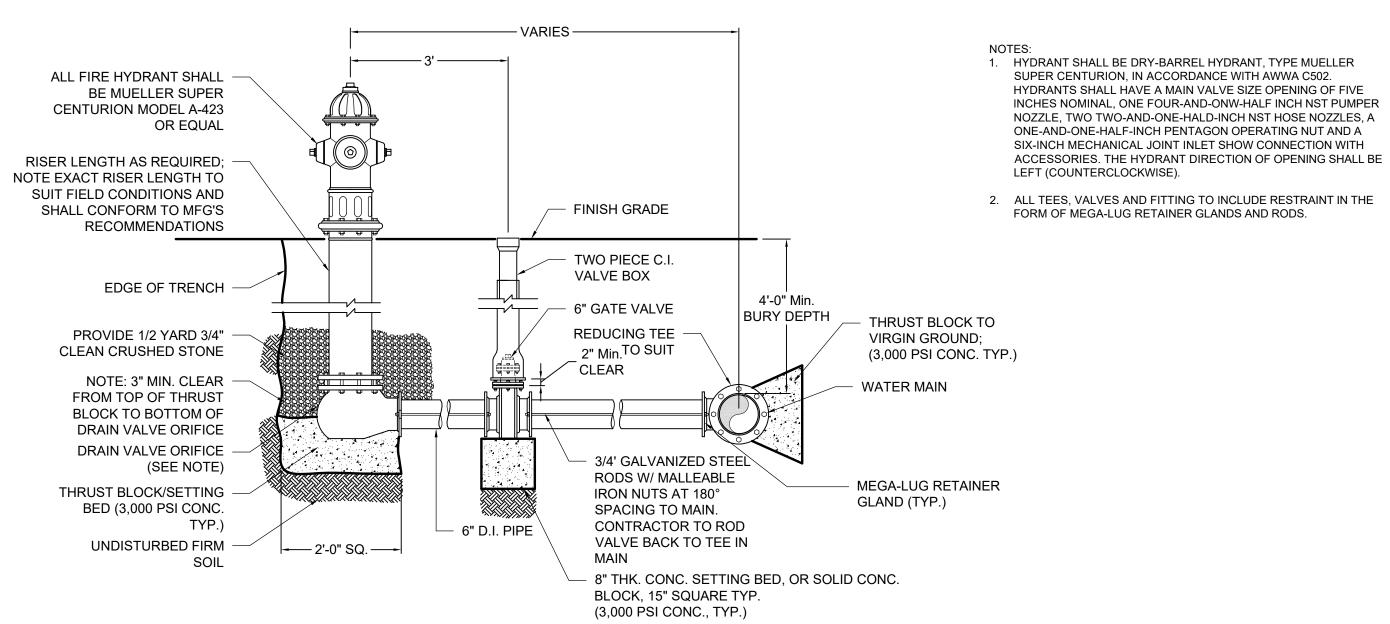
REFUSE ENCLOSURE DETAIL NOT TO SCALE

PROVIDE TOWELED EDGES (TYP.) PROVIDE TOWELED JOINT (TYP.) PROVIDE SLIP RESISTANT SURFACE - SEE NOTE 4 - OPTIONAL CURB DETECTABLE WARNING - SEE NOTE 1 SLOPE1:12 MAX MAX DROP CURB 5/8" REVEAL MAX

- 1. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.
- 2. THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
- 3. WHERE DOMES ARE ARRAYED RADIALLY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.
- 4. THE SURFACE OS ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT, A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACE, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
- 5. ALL DETAILS, NOTES AND SPECIFICATIONS NOTED ON THE " CAST-IN=PLACE CONCRETE SIDEWALK" DETAILS SHALL APPLY UNLESS OTHERWISE NOTED



TYPICAL SIGN DETAIL



ENGINEERING P.C.

3 Van Wyck Lane Suite 2

Wappingers Falls, New York 12590 (845) 223-3202

2020:077

Hudson Valley Lighting Town of Wappinger Dutchess County, New York

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Mark A. Day, PE

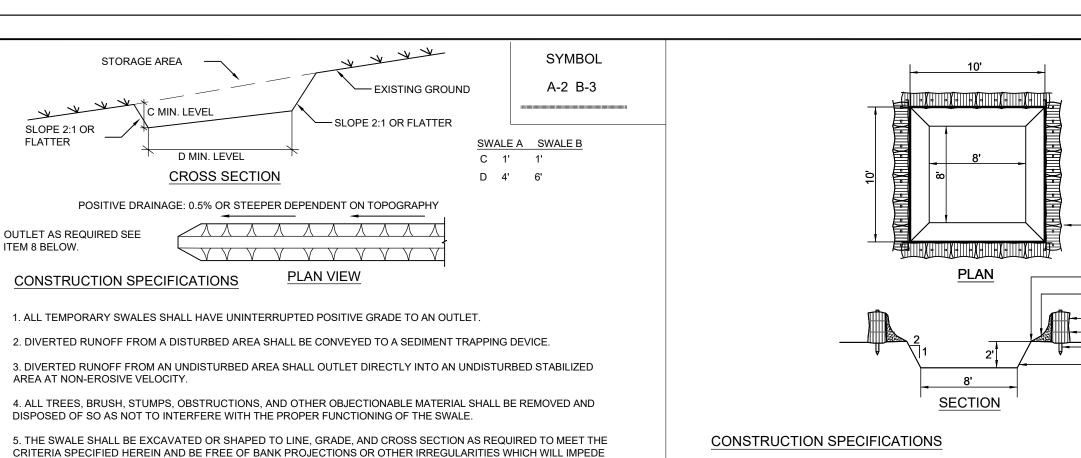
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Partial Site Plan

AS NOTED 03-09-2020 7 of 8

FIRE HYDRANT INSTALLATION DETAILS NOT TO SCALE

ADA MID-BLOCK CURB RAMP DETAIL NOT TO SCALE



LINED WITH 4-8" RIP-RAP OR

1) THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEARS. AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN IRTHEN BERM, SAND BAGS, STONE, OR OTHER STRUCTURAL APPURTENANCE EXCEPT AT THE ACCESS POINT

cws

SYMBOL

NOT TO SCALE

HAYBALE (TYP.)

- EXISTING GRADE

- HAYBALE (TYP.)

- BINDING WIRE

36" MIN. FENCE POSTS

POSTS: STEEL EITHER T OR U

TYPE OR 2" HARDWOOD

FENCE: WOVEN WIRE, 14.5 GA.

6" MAX. MESH OPENING

MIRAFI 100X, STABLINKA

PREFABRICATED UNIT: GEOFAB

1. MAX. ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SILT FENCE

MAXIMUM LENGTH

2. MAX. DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT

EXCEED $^{\frac{1}{4}}$ ACRE PER 100' OF FENCE, WITH MAXIMUM PONDING DEPTH OF 1.5' BEHIND THE FENCE.

SLOPE STEEPNESS

5:1 OR FLATTER

1140N OR APPROVED EQUAL

ENVIROFENCE, OR APPROVED

— DRIVEN MIN. 16" INTO

GROUND

- NATIVE MATERIAL (TYP.)

- WOOD STAKE(2 PER BALE)

10 MIL MIN. PLASTIC LINING

WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD. PROVIDE APPROPRIATE ACCESS WITH A GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.

3) ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. WATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA, SUCH AS A GRASS FILTER STRIF 4) ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE

UMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE. 5) DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL, ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET F CLEAN COMPACTED EARTHFILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION

6) THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY. 7) INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

WOVEN WIRE FENCE

MESH SPACING)

36" MIN. FENCE POST

WOVEN WIRE FENCE (14>5 GA. MIN., MAX.

UNDISTURBED GROUND -

CONSTRUCTION SPECIFICATIONS

2) FILTER CLOTH TO BE FASTENED SECURELY TO

3) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN

EACH OTHER THEY SHALL BE OVERLAPPED BY SIX

5) MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN

4) PREFABRICATED UNITS SHALL BE GEOFAB,

ENVIROFENCE, OR APPROVED EQUIVALENT

TOP AND MID SECTION.

INCHES AND FOLDED.

THE SILT FENCE.

NOT TO SCALE SILT FENCING DETAIL

1) WOVEN WIRE FENCE TO BE FASTENED SECURELY TO

FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS

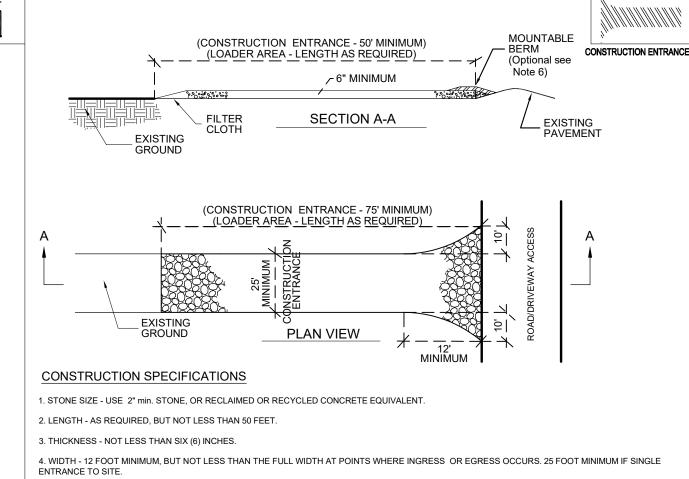
SHALL BE STEEL EITHER T OR U TYPE OR HARDWOOD.

6" MESH SPACING) WITH FILTER CLOTH OVER

EMBED FILTER CLOTH

MIN. 8" INTO GROUND

(MIN 14.5 GAUGE MAX 6"

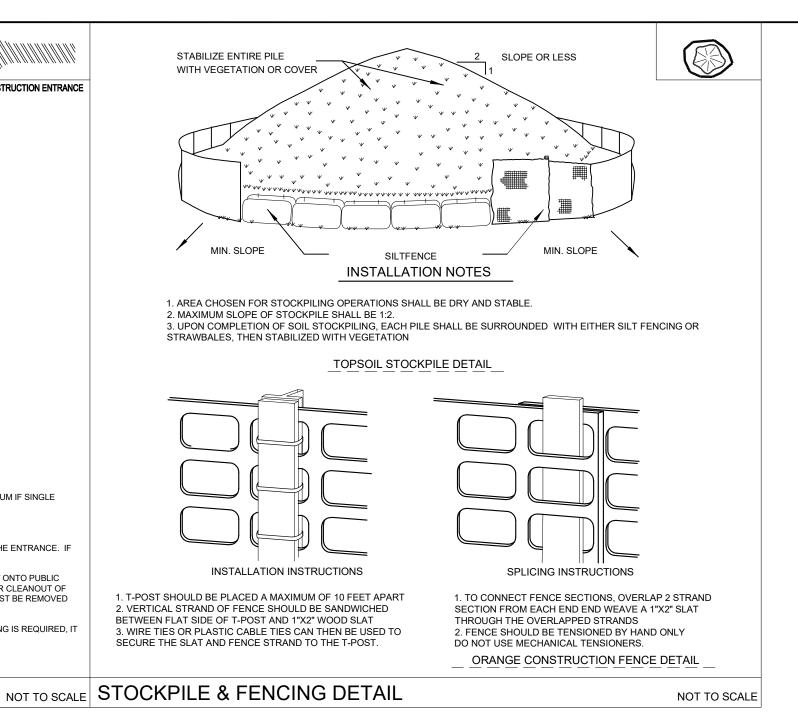


5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

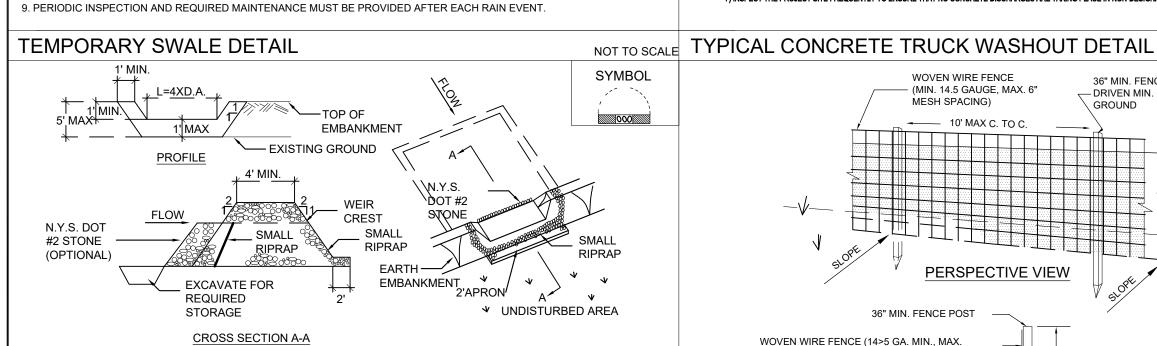
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF

ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED

8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.







7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE

RECYCLED CONCRETE EQUIVALENT

B(5 AC -10AC)

SEED AND STRAW MULCH

SEED USING JUTE OR EXCELSIOR

OPTION: A ONE FOOT LAYER OF N.Y.S. DOT #2 STONE MAY BE PLACED ON THE UPSTREAM SIDE OF THE RIPRAP INPLACE OF THE EMBEDDED FILTER CLOTH CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.

6. FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.

1 0.5-3.0% SEED AND STRAW MULCH

4 8.1-20.% LINED WITH 4-8" RIP-RAP

3.1-5.0% SEED AND STRAW MULCH

3 5.1-8.0% SEED WITH JUTE OR EXCELSIOR, SOD

8. STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:

WITH THE FUNCTIONING OF THE SWALE.

TYPE OF CHANNEL

TREATMENT GRADE

2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. 3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH

A 1' THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP. 5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMEN-SIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF

6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE 7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT **EROSION AND WATER POLLUTION IS MINIMIZE**

8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED. MAXIMUM DRAINAGE AREA 5 ACRES

SEDIMENT TRAP & DEWATERING DETAIL

SEEDING NOTES:

1) EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX AS REQUIRED:

TEMPORARY SEEDING -SUMMER SEASON - GERMAN MILLET @ 40 LBS PER ACRE

STEEP SLOPES (3:1)

WINTER SEASON - RYE GRAIN @ 120 LBS PER ACRE

PERMANENT SEEDING - SPRING/FALL TALL FESCUE @ 100 LBS PER ACRE KOBE LESPEDEZA @ 10 LBS PER ACRE BAHIAGRASS @ 25 LBS PER ACRE

RYE GRAIN @ 40 LBS PER ACRE

4) GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF N.Y. STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT

5) SEEDED AREAS SHALL BE MULCHED AS REQUIRED:

MID-SUMMER, LATE FALL OR WINTER APPLY AT A RATE OF 100 LBS/1,000 SQ.FT. GRAIN STRAW, COVER WITH NETTING AND STAPLE TO THE SLOPE.

SPRING OR EARLY FALL APPLY AT A RATE OF 45 LBS/1,000 SQ.FT. WOOD FIBER IN A HYDRO SEEDER SLURRY. DESCRIPTION OF EROSION CONTROL PRACTICES

TEMPORARY SWALE - A TEMPORARY EXCAVATED DRAINAGE WAY THE PURPOSE OF A TEMPORARY SWALE IS TO PREVENT RUNOFF FROM ENTERED DISTURBANCE AREAS BY INTERCEPTING AND DIVERTING IT TO A STABILIZED OUTLET OR TO INTERCEPT SEDIMENT LADEN WATER AND DIVERT IT TO A SEDIMENT TRAPPING DEVICE.

SILT FENCE - A TEMPORARY BARRIER OF GEOTEXTILE FABRIC (FILTER CLOTH) USED TO INTERCEPT SEDIMENT LADEN RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. THE PURPOSE OF A SILT FENCE IS TO REDUCE RUNOFF VELOCITY AND EFFECT DEPOSITION OF TRANSPORTED SEDIMENT LOAD. LIMITS IMPOSED BY ULTRAVIOLET STABILITY OF THE FABRIC WILL DICTATE THE MAXIMUM PERIOD THE SILT FENCE MAY BE USED.

CHECK DAM - SMALL TEMPORARY STONE DAMS CONSTRUCTED ACROSS A DRAINAGE WAY. THE PURPOSE IS TO REDUCE EROSION IN A DRAINAGE CHANNEL BY RESTRICTING THE VELOCITY OF FLOW IN THE CHANNEL STABILIZED CONSTRUCTION ENTRANCE - A STABILIZED PAD OF AGGREGATE

LINDERI AIN WITH FILTER CLOTH LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET ALLEY, SIDEWALK OR PARKING. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS.

DUST CONTROL - THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES. THE PURPOSE IS TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.

ROCK OUTLET PROTECTION - A SECTION OF ROCK PROTECTION PLACED AT THE OUTLET AND OF THE CULVERTS, CONDUITS, OR CHANNELS. THE PURPOSE OF THE ROCK OUTLET PROTECTION IS TO REDUCE THE DEPTH, VELOCITY, AND ENERGY OF THE WATER, SUCH THAT THE FLOW WILL NOT ERODE THE RECEIVING DOWNSTREAM REACH. SEE EROSION CONTROL PLAN FOR FURTHER DETAIL.

LANDGRADING SPECIFICATIONS

NOT TO SCALE CONSTRUCTION ENTRANCE DETAIL

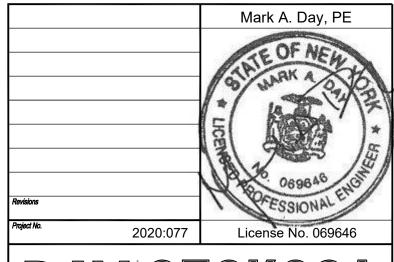
- 1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED. 2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN
- DEVELOPING AREAS". TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- 6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL
- 7. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS. 8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- . FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS. D. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT. 12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- 3. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING
- 14. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION
- 15. ALL DISTURBED AREAS THAT WILL REMAIN PERVIOUS WILL BE REQUIRED TO MEET TABLE 5.3 SOIL RESTORATION REQUIREMENTS FOUND ON SHEET #8 OF THIS PLAN SET

ADDITIONAL SITE SPECIFIC CONSTRUCTION NOTES:

- ALL EROSION CONTROL MEASURES AS SHOWN ON THE ORIGINAL APPROVED PLAN SHALL BE CLOSELY FOLLOWED. ADDITIONAL SILT FENCE SHALL BE INSTALLED DOWNSTREAM OF THE SEDIMENT TRAP AREAS. ALL SEDIMENT TRAP SPOIL SHALL BE STOCKPILED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DETERIORATION OF THE STOCKPILES.
- THE USE OF TEMPORARY CHAIN LINK FENCE IS ENCOURAGED TO PREVENT UNAUTHORIZED ACCESS TO THE CONSTRUCTION AREA.
- ONE MEASURING POLE OF NON-DETERIORATING MATERIAL SHALL BE PROVIDED WITHIN EACH SEDIMENT TRAP. THE POLES SHALL BE INSTALLED SUCH THAT OVERTURNING/MOVEMENT DOES NOT OCCUR. A SWATH OF PAINT SHALL BE PROVIDED ON THE POLE TO THE FOLLOWING ELEVATION FOR EACH SEDIMENT TRAP: ACCUMULATION OF SEDIMENT TO THE TOP OF THE SWATH (ELEVATION SPECIFIED) SHALL SERVE TO INDICATE THAT THE SEDIMENT SHALL BE REMOVED AND THE TRAP SHALL BE RESTORED TO ITS
- PRIOR TO THE START OF SITE CONSTRUCTION, THE SITE CONTRACTOR SHALL MEET WITH THE TOWN ENGINEER AND STATE HIGHWAY DEPARTMENT TO DISCUSS THE POSTING OF CONSTRUCTION WARNING SIGNS TO ALERT DRIVERS OF THE ACTIVITY NEAR THE CONSTRUCTION SITE. A MPT PLAN SHALL BE DEVELOPED AT THE TIME OF A NYSDOT PERMIT SUBMISSION.
- ITEMS LOCATED IN THE SWPPP REPORT ON FILE WITH THE TOWN OF WAPPINGER PLANNING OFFICE: BACKGROUND INFORMATION ABOUT THE SCOPE OF THE PROJECT, INCLUDING LOCATION, TYPE AND SIZE OF PROJECT.
- A DESCRIPTION OF PRE/POST DEVELOPMENT CONDITIONS FOR PROJECT SITE DRAINAGE AREA.
- A DELINEATION OF PRE/POST DEVELOPMENT DRAINAGE BOUNDARIES. HYDROLOGIC AND HYDRAULIC ANALYSIS OF ALL STRUCTURAL DETAILS FOR POST DEVELOPMENT PRACTICES.

A COMPARISON OF PRE/POST DEVELOPMENT RUNOFF VALUES LONG TERM MAINTENANCE OF DRAINAGE FACILITIES.

> IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.



ENGINEERING P.C.

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E & SC Details

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