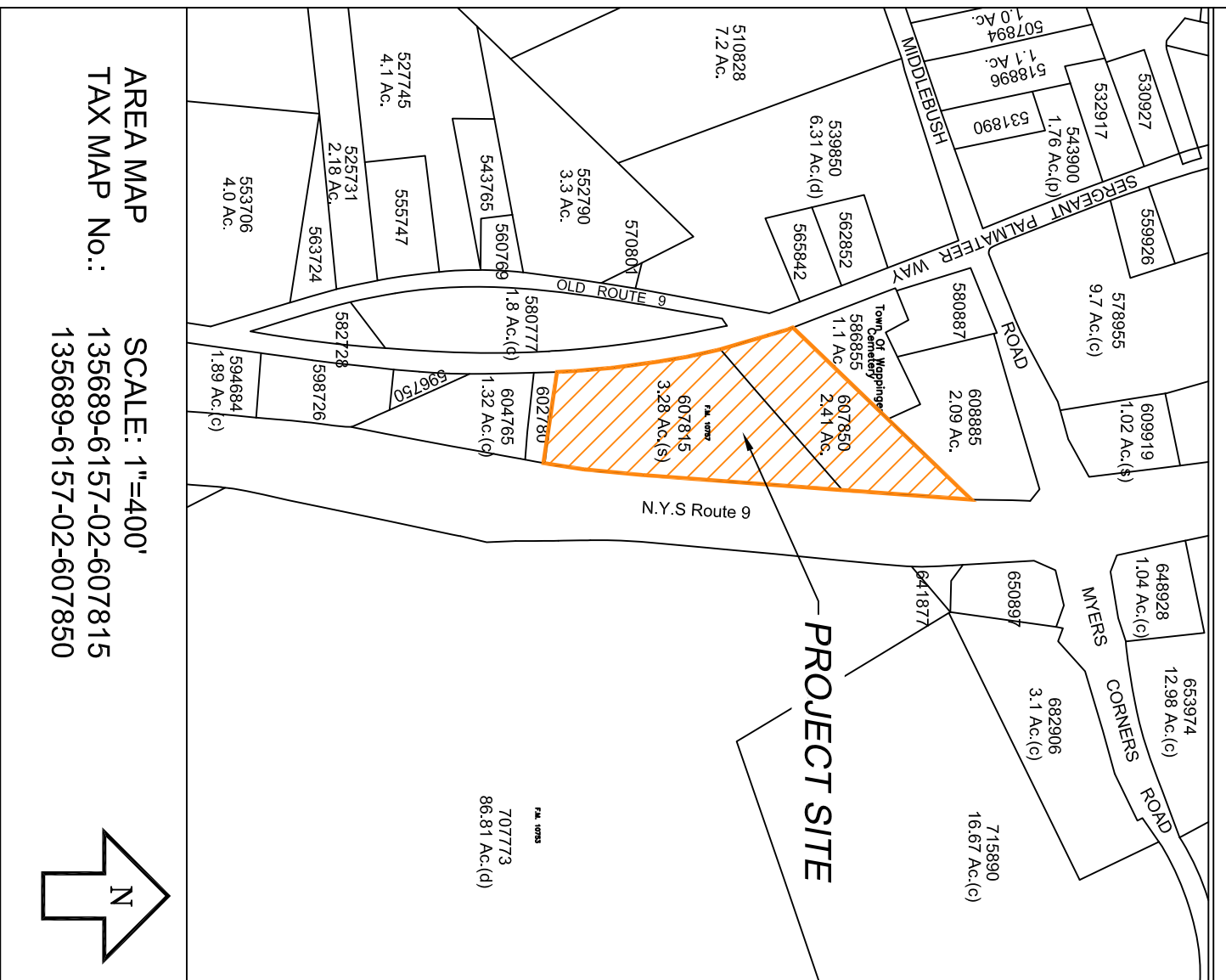
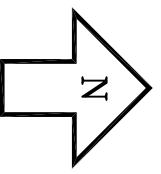




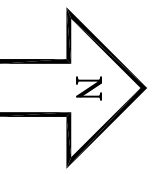
LOCATION MAP
TAKEN FROM U.S.G.S. MAP

SCALE: 1"=2000'



AREA MAP
TAX MAP No.:

SCALE: 1"=400'
136689-6157-02-607815
136689-6157-02-607850



OWNERS CONSENT NOTE

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREOF STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREOF.

ERIC HARTMANN, MANAGING MEMBER
MARC LLC
1445 ROUTE 9
WAPPINGER, NEW YORK 12590

DATE

TOWN OF WAPPINGER PLANNING BOARD

Approved by Resolution of the Planning Board of the Town of Wappinger, New York, on the _____ day of _____, 20____, subject to all requirements and conditions of said Resolution. Any change, errata, modification or revision of this Plat, as approved, shall void this approval.

Signed this _____ day of _____, 20____, by

Chairman

SURVEYORS CERTIFICATION

I, THOMAS E. CERCHIARA, P.L.S., HEREBY CERTIFY THAT THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREOF IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON OR BEFORE THE DATE SHOWN HEREOF.

THOMAS E. CERCHIARA, P.L.S. No. 50732 DATE

SITE DATA:

TAX ID No.: 6157-02-607815 (LOT 2), 6157-02-607850 (LOT 1)
TOTAL AREA: 3.287 ACRES (LOT 2), 2.412 ACRES (LOT 1)
ZONE: HB (HIGHWAY BUSINESS)

	REQUIRED (HB)	EXISTING (LOT 1)	PROPOSED (LOT 1)	EXISTING (LOT 2)	PROPOSED (LOT 2)
MINIMUM LOT AREA (ACRES)	3.0	2,412	2,693	3,287	3,006
MINIMUM LOT WIDTH (FEET)	150	213	213	400+	400+
MINIMUM LOT DEPTH (FEET)	200	445	445	214+	214+
MINIMUM STREET FRONTAGE (FEET)	150	317	317	696	600
MINIMUM FRONT YARD (FEET) FROM COUNTY/STATE HIGHWAY FRONT LINE OF OTHER STREET	75	68.4	68.4	128	128
MINIMUM SIDE YARD (FEET)	10	146.7	146.7	28	28
MINIMUM REAR YARD (FEET)	10	56.3	56.3	64	64
MINIMUM REAR YARD (FEET) ACCESSORY BUILDING <15 FEET HIGH	10	N/A	N/A	N/A	N/A
ACCESSORY BUILDING <15 FEET HIGH	30	146.7	146.7	28	28
MAXIMUM BUILDING HEIGHT: FEET	35	N/A	N/A	N/A	N/A
MAXIMUM BUILDING COVERAGE (PERCENT)	25%	13.8%	12.4%	11.6	12.7
MAXIMUM FLOOR AREA RATION	0.4	0.138	0.124	0.116	0.127
MAXIMUM IMPERVIOUS SURFACE (PERCENT)	75%	75.6%	75.5%	70%	69.6%
MINIMUM LANDSCAPED OPEN SPACE	25%	24.4%	24.5%	30%	30.4%

PARKING REQUIREMENTS AND PROPOSED CONFORMANCE FOR LOT #1 -

- 40 EMPLOYEES X 2 SPACES PER 3 EMPLOYEES = 27
- 10 VISITOR PARKING SPACES FOR MOTOR VEHICLE SALES ESTABLISHMENTS
- TOTAL PARKING SPACES PROVIDED ON SITE -
- 10 VISITORS
- 27 EMPLOYEE
- 152 INVENTORY
- MAXIMUM NUMBER OF VEHICLES ON SITE -
- 70 CARS PER ACRE
- 2,693 ACRES X 70 CARS/ACRE = 189 CARS MAXIMUM REQUIRED
- 189 SPACES PROVIDED, INCLUDING 2 ACCESSIBLE PARKING SPACES PER TABLE 208.2 OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - 2 ACCESSIBLE PARKING SPACES REQUIRED FOR TOTAL PARKING IN LOT FROM 26 TO 50 SPACES. TOTAL PARKING IN LOT BASED UPON 10 VISITOR SPACES PLUS 27 EMPLOYEE SPACES.

PARKING REQUIREMENTS AND PROPOSED CONFORMANCE FOR LOT #2 -

- 15 EMPLOYEES X 2 SPACES PER 3 EMPLOYEES = 10
- 10 VISITOR PARKING SPACES FOR MOTOR VEHICLE SALES ESTABLISHMENTS
- TOTAL PARKING SPACES PROVIDED ON SITE -
- 10 VISITORS
- 10 EMPLOYEE
- 161 INVENTORY
- MAXIMUM NUMBER OF VEHICLES ON SITE -
- 70 CARS PER ACRE
- 3,006 ACRES X 70 CARS/ACRE = 210 CARS MAXIMUM REQUIRED
- 181 SPACES PROVIDED, INCLUDING 6 ACCESSIBLE PARKING SPACES PER TABLE 208.2 OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN - 1 ACCESSIBLE PARKING SPACE REQUIRED FOR TOTAL PARKING IN LOT FROM 1 TO 29 SPACES. TOTAL PARKING IN LOT BASED UPON 10 VISITOR SPACES PLUS 10 EMPLOYEE SPACES.

IMPERVIOUS SURFACE REQUIREMENTS AND PROPOSED CONFORMANCE FOR LOT #1 -

BUILDING COVERAGE	- 29,326 SF MAX.	14,528 SF (EXISTING)
TOTAL FLOOR AREA	- 46,919 SF MAX.	14,528 SF (EXISTING)
IMPERVIOUS SURFACE	- 87,974 SF MAX.	88,512 SF (PROPOSED)

IMPERVIOUS SURFACE REQUIREMENTS AND PROPOSED CONFORMANCE FOR LOT #2 -

BUILDING COVERAGE	- 32,734 SF MAX.	16,666 SF (EXISTING)
TOTAL FLOOR AREA	- 52,374 SF MAX.	16,666 SF (EXISTING)
IMPERVIOUS SURFACE	- 98,201 SF MAX.	91,098 SF (PROPOSED)

NO.	REVISIONS	DATE
1.	REVISED PER PB AND 9-29-20 ENG. COMMENTS.	10/9/20

LAWRENCE J. PAGGI, PE, PC
CONSULTING ENGINEERING
43 BROAD STREET
FISHKILL, NY 12524
PHONE: (845) 897-2375

Civil, Sanitary
& Site Engineering
Site Planning
Environmental
Assessment

POUGHKEEPSIE NISSAN
1429 & 1445 ROUTE 9, TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

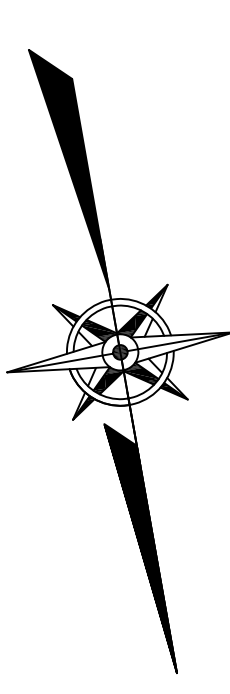
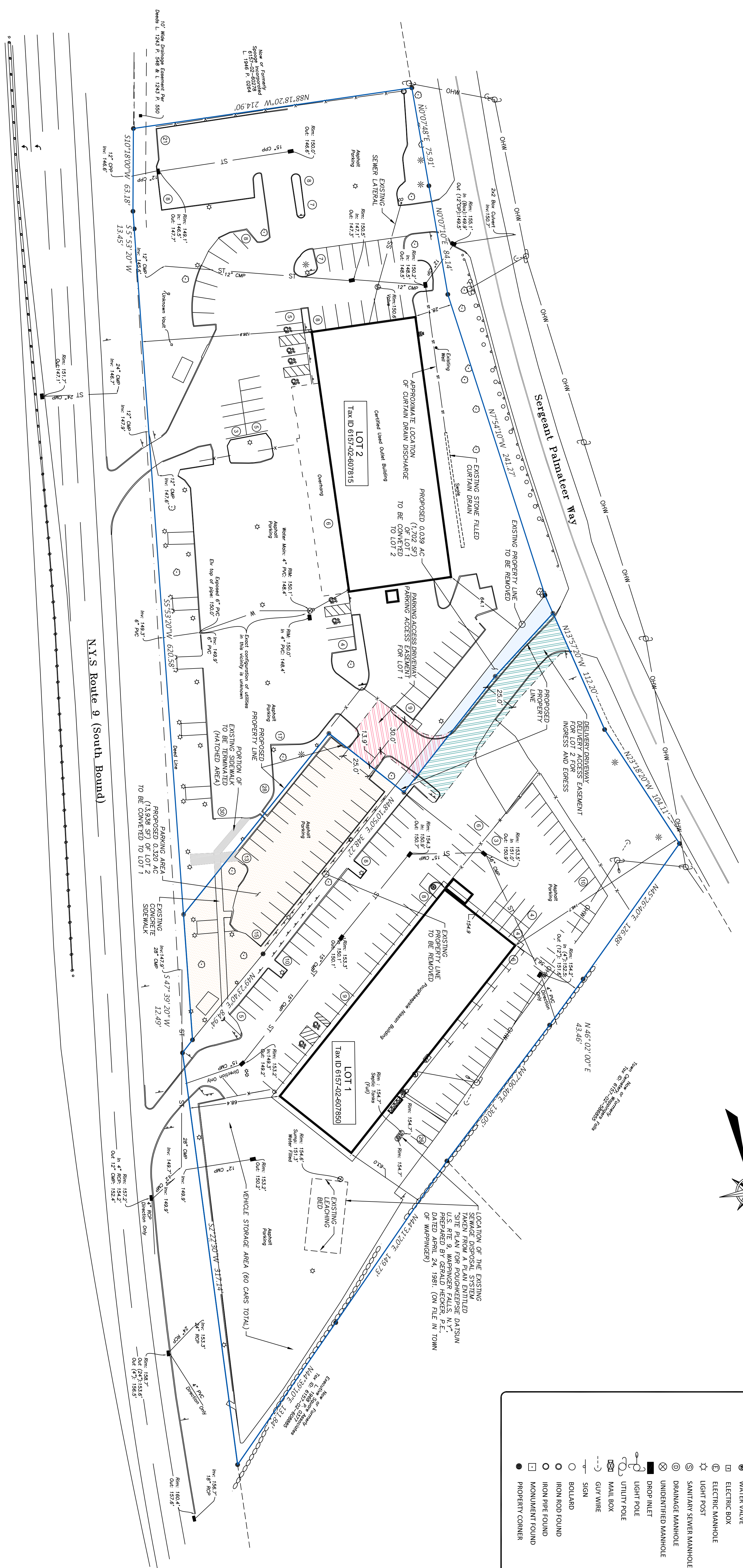
COVER SHEET

DATE:	SEPTEMBER 9, 2020
SCALE:	NOT TO SCALE
JOB NUMBER:	20-09
SHEET NUMBER:	

COVER

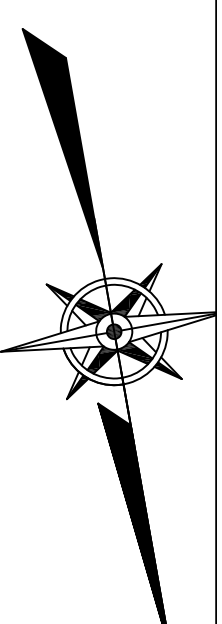
TAX PARCEL NUMBER
 Town of Wappingers, County of Dutchess, State of New York
 Lot 1 Tax ID: 135689-6197-02-607850
 103,002 SQUARE FEET
 2.41 ACRES
 Lot 2 Tax ID: 135689-6197-02-607815
 3287 SQUARE FEET
 0.075 ACRES

BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN
 ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR
 LAWRENCE J. PAGGI, PE, PC
 DATED JULY 16, 2020



LEGEND	
---	PROPERTY LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	FENCE
---	OVERHEAD WIRES
---	DECIDUOUS TREE
---	CONIFEROUS TREE
---	HYDRANT
---	GAS VALVE
---	WATER VALVE
---	ELECTRIC BOX
---	ELECTRIC MANHOLE
---	LIGHT POST
---	SANITARY SEWER MANHOLE
---	DRAINAGE MANHOLE
---	UNIDENTIFIED MANHOLE
---	DROP INLET
---	UTILITY POLE
---	MAIL BOX
---	GUY WIRE
---	SIGN
---	BOLLARD
---	IRON ROD FOUND
---	IRON PIPE FOUND
---	MONUMENT FOUND
---	PROPERTY CORNER

<p>POUGHKEEPSIE NISSAN 1429 & 1445 ROUTE 9, TOWN OF WAPPINGER DUTCHESS COUNTY, NEW YORK</p> <p>LOT LINE REALIGNMENT</p>	<p>DRAWN BY: LJP CHECKED BY: LJP PRELIMINARY FINAL</p>	<p>DATE: 10/9/20</p>	<p>LAWRENCE J. PAGGI, PE, PC CONSULTING ENGINEERING 43 BROAD STREET FISHKILL, NY 12524 PHONE: (845) 897-2375</p> <p>Civil, Sanitary & Site Engineering Planning & Environmental Assessment</p>
	<p>NO. REVISIONS: 1. REVISED PER PB AND 9-29-20 ENG. COMMENTS.</p>	<p>DATE: 10/9/20</p>	
<p>DATE: SEPTEMBER 9, 2020 SCALE: 1" = 40' JOB NUMBER: 20-03 SHEET NUMBER: 2 OF 2</p>	<p>C1</p>		



OWNERS CONSENT NOTE

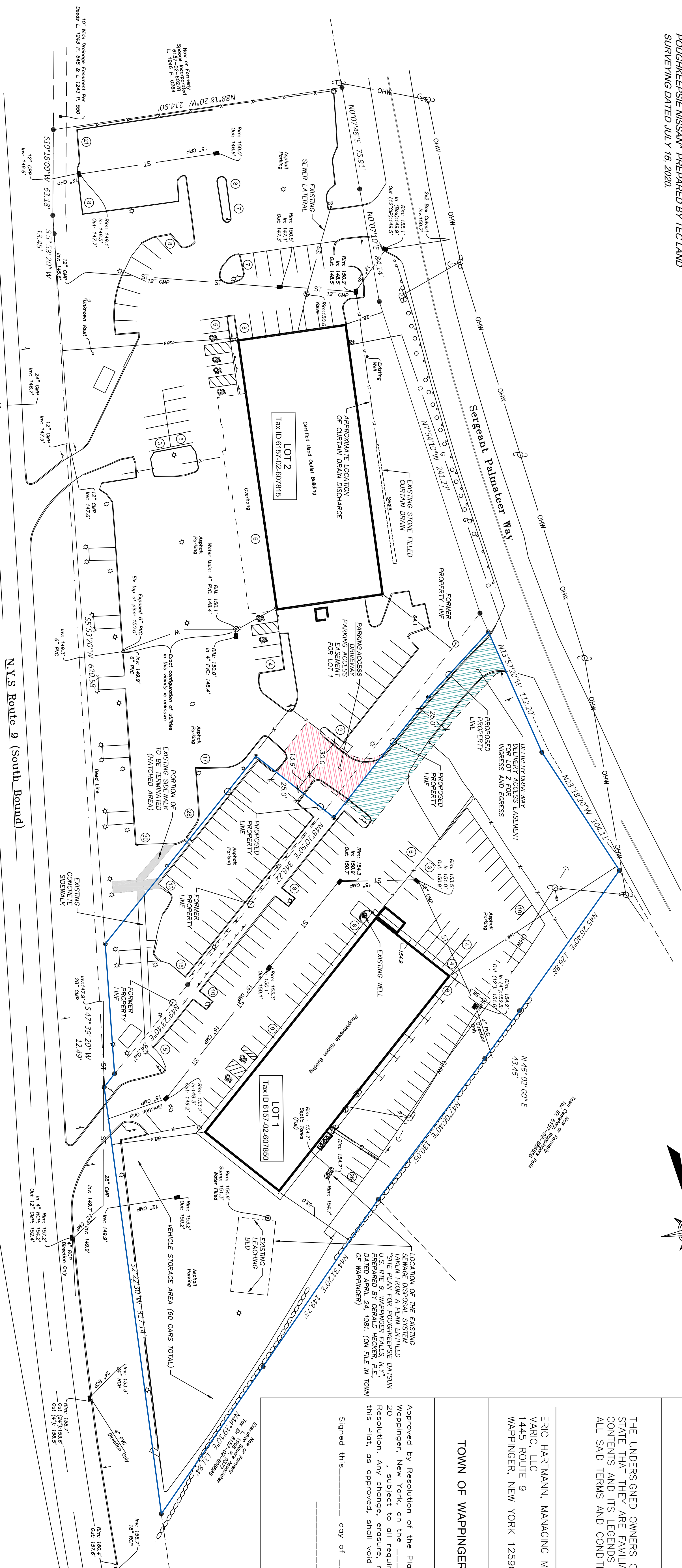
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ERIC HARTMANN, MANAGING MEMBER DATE
 MARIC, LLC
 1445 ROUTE 9
 WAPPINGER, NEW YORK 12590

TOWN OF WAPPINGER PLANNING BOARD

Approved by Resolution of the Planning Board of the Town of Wappinger, New York, on the _____ day of _____, 20____, subject to all requirements and conditions of said Resolution. Any change, erasure, modification or revision of this Plat, as approved, shall void this approval.

Signed this _____ day of _____, 20____ by _____
 Chairman



SITE DATA:

TAX ID NO.:	6157-02-607850 (LOT 1)	REQUIRED (HB)	EXISTING (AFTER LOT LINE REALIGNMENT)	PROPOSED
TOTAL AREA:	2.412 ACRES (LOT 1)			
ZONE:	HB (HIGHWAY BUSINESS)			
MINIMUM LOT AREA (ACRES)	3.0	2,693	2,693	
MINIMUM LOT WIDTH (FEET)	150	213	213	
MINIMUM LOT DEPTH (FEET)	200	445	445	
MINIMUM STREET FRONTAGE (FEET)	150	317	317	
MINIMUM FRONT YARD (FEET) FROM: COUNTY/STATE HIGHWAY	75	68.4	68.4	
FRONT LINE OF OTHER STREET	50	146.7	146.7	
MINIMUM SIDE YARD (FEET)	10	56.3	56.3	
ACCESSORY BUILDING <15 FEET HIGH	10	N/A	N/A	
MINIMUM REAR YARD (FEET)	30	146.7	146.7	
ACCESSORY BUILDING <15 FEET HIGH	30	N/A	N/A	
MAXIMUM BUILDING HEIGHT: FEET	2.5	35	N/A	
MAXIMUM BUILDING COVERAGE (PERCENT)	25%	12.4%	12.4%	
MAXIMUM FLOOR AREA RATION	0.4	0.124	0.124	
MAXIMUM IMPERVIOUS SURFACE (PERCENT)	75%	75.5%	75.5%	
MINIMUM LANDSCAPED OPEN SPACE	25%	24.5%	24.5%	

PARKING REQUIREMENTS AND PROPOSED CONFORMANCE FOR LOT #1 -

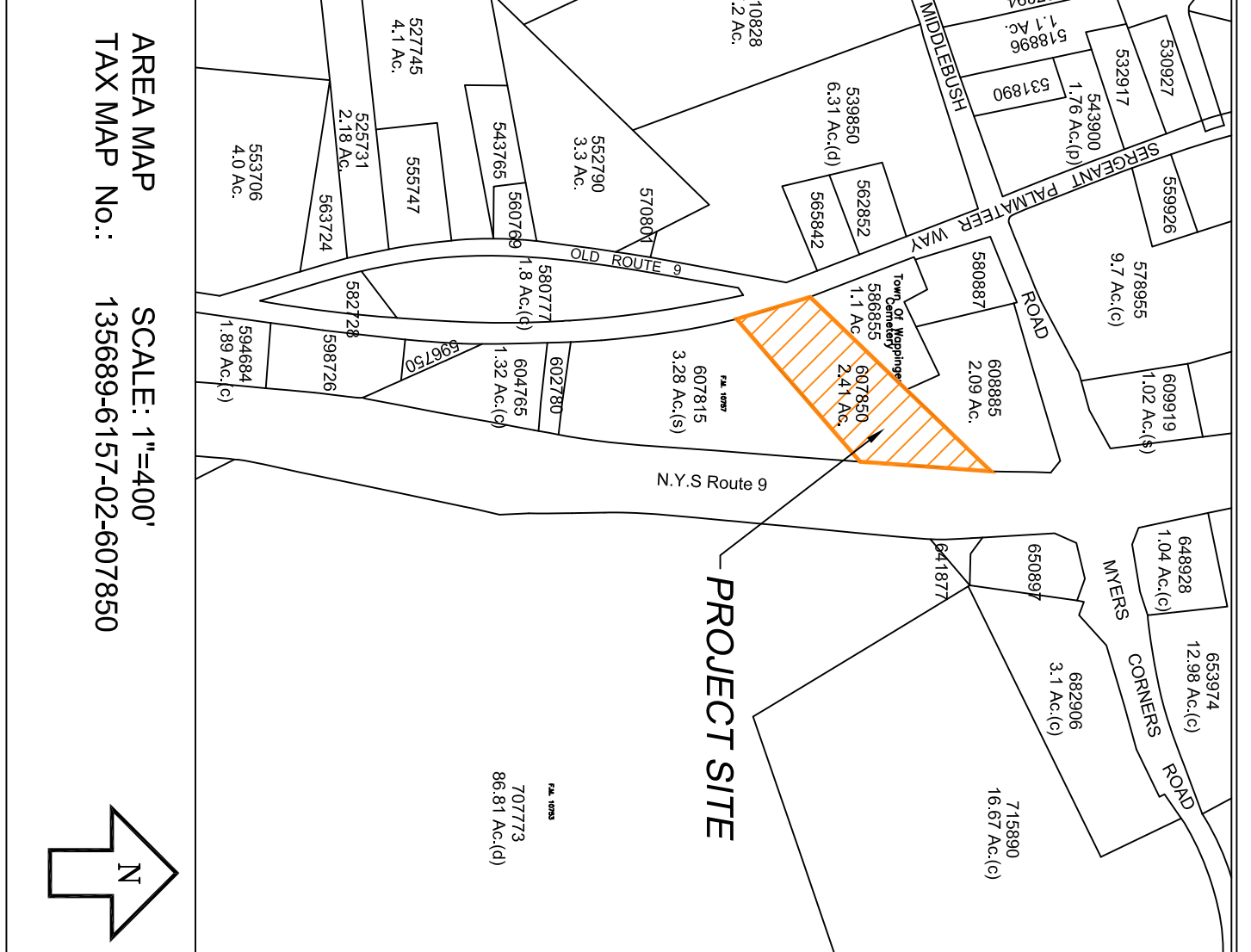
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PER TABLE 208.2 OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN -
 26 TO 50 SPACES. TOTAL PARKING IN LOT BASED UPON 10 VISITOR SPACES PLUS 27 EMPLOYEE SPACES.

IMPERVIOUS SURFACE REQUIREMENTS AND PROPOSED CONFORMANCE:

BUILDING COVERAGE - 29,325 SF MAX.
 TOTAL FLOOR AREA - 46,919 SF MAX.
 IMPERVIOUS SURFACE - 87,974 SF MAX. (88,512 SF (PROPOSED))

LEGEND

- PROPERTY LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- FENCE
- OVERHEAD WIRES
- DECIDUOUS TREE
- CONIFEROUS TREE
- HYDRANT
- GAS VALVE
- WATER VALVE
- ELECTRIC BOX
- ELECTRIC MANHOLE
- LIGHT POST
- SANITARY SEWER MANHOLE
- UNIDENTIFIED MANHOLE
- DRAINAGE MANHOLE
- DROP INLET
- UTILITY POLE
- MAIL BOX
- GUY WIRE
- SIGN
- BOLLARD
- IRON ROD FOUND
- IRON PIPE FOUND
- MONUMENT FOUND
- PROPERTY CORNER



LOCATION MAP SCALE: 1"=2000'
 TAKEN FROM U.S.G.S. MAP

AREA MAP SCALE: 1"=400'
 TAX MAP No.: 135689-6157-02-607850

<p>POUGHKEEPSIE NISSAN 1445 ROUTE 9, TOWN OF WAPPINGER DUTCHESS COUNTY, NEW YORK</p> <p>AMENDED SITE PLAN</p>	<p>DATE: SEPTEMBER 9, 2020 SCALE: 1" = 40' JOB NUMBER: 20-09 SHEET NUMBER: C1</p>	<table border="1"> <tr> <th>DRAWN BY</th> <th>CHECKED BY</th> <th>PRELIMINARY</th> <th>FINAL</th> </tr> <tr> <td>LJP</td> <td>LJP</td> <td></td> <td></td> </tr> <tr> <th>NO.</th> <th>REVISIONS</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td>1.</td> <td>REVISED PER PB AND 9-29-20 ENG. COMMENTS.</td> <td></td> <td>10/9/20</td> </tr> </table>	DRAWN BY	CHECKED BY	PRELIMINARY	FINAL	LJP	LJP			NO.	REVISIONS	BY	DATE	1.	REVISED PER PB AND 9-29-20 ENG. COMMENTS.		10/9/20	<p>LAWRENCE J. PAGGI, PE, PC CONSULTING ENGINEERING 43 BROAD STREET FISHKILL, NY 12524 PHONE: (845) 897-2375</p> <p style="font-size: small;">Civil, Sanitary & Site Engineering Planning & Environmental Assessment</p>
DRAWN BY	CHECKED BY	PRELIMINARY	FINAL																
LJP	LJP																		
NO.	REVISIONS	BY	DATE																
1.	REVISED PER PB AND 9-29-20 ENG. COMMENTS.		10/9/20																

SURVEY NOTES

1. Copyright EC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law without the permission of the author and / or copyright holder as determined.
2. Unauthorised alteration or addition to a survey map having a licensed land surveyor's seal is a violation of section 7206, sub-section 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red wax seal are valid. A copy of this document without a red wax seal is not valid.
4. Corrections to the survey map shall apply. The map was prepared in accordance with the current edition of the Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared.
5. The certification herein is not transferable.
6. The location of underground improvements or encroachments are not shown and often must be estimated. If any underground improvements or encroachments are not covered by this certificate, they shall be shown on a separate map.
7. Subject to the findings of a current title search.
8. Subject to easements, encumbrances, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North arrow herein are referenced to NAD 83-NY East using NAD 83 NY GCS.
11. Contour interval is 5 feet. Elevation datum is Mean Sea Level.
12. Significant discrepancies exist between sheets of record and NYS DOT filing maps.

FILED MAP REFERENCE

Map entitled "Verified Used Car Outlet - Subdivision Plan" prepared by Thomas E. Gerchuck, L.S., dated 07/29/2020, filed with the County Clerk of Poughkeepsie, New York, on March 26, 1999, as Map No. 40757, NYS DOT Approximation Mapping 54 154 Maps 127, 128, 140

DATE OF SURVEY

Field Completion: 07/29/2020

DEED REFERENCE

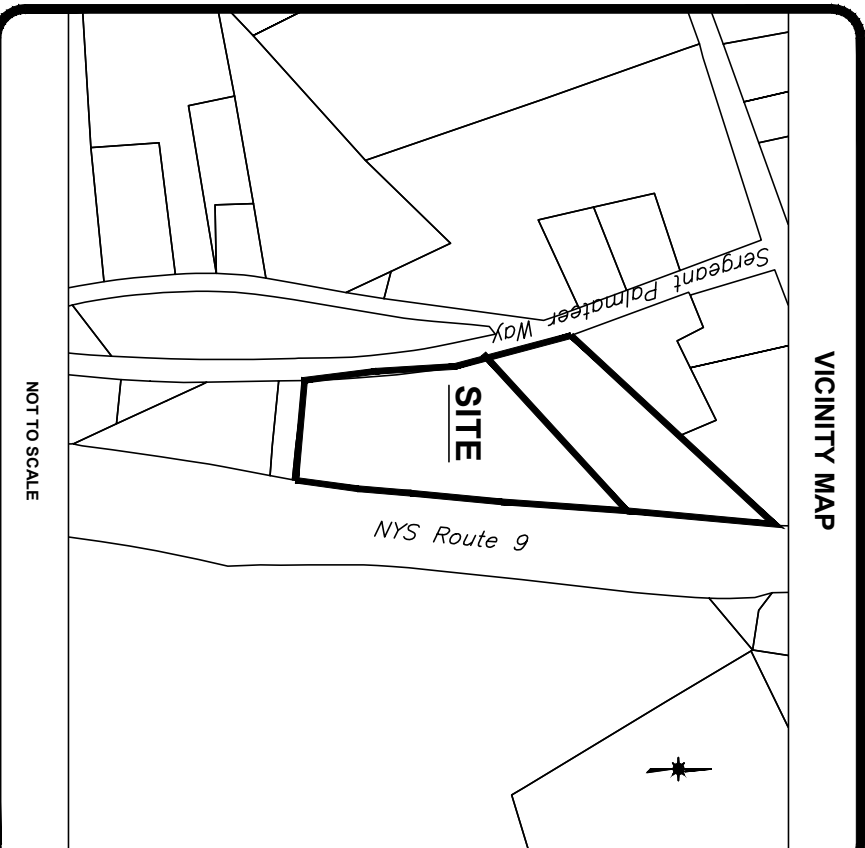
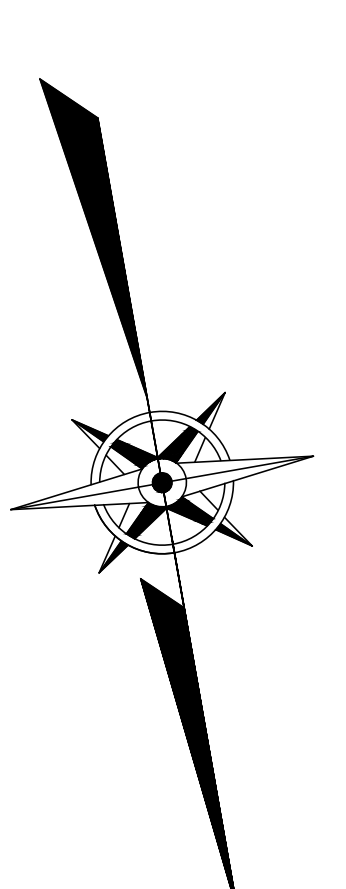
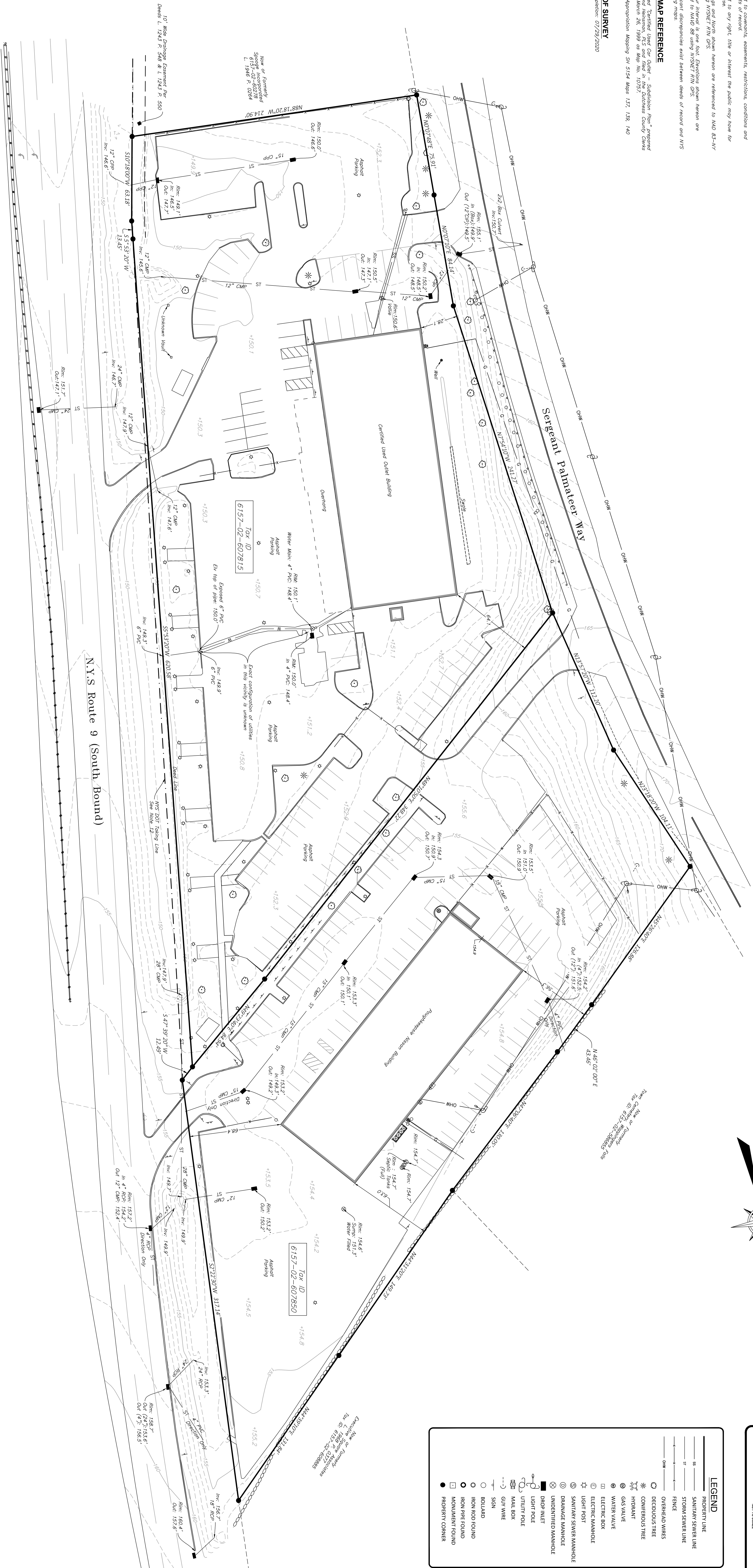
Lot 1 - 15689-6157-02-11443
 Lot 2 - 15689-6157-02-11444
 Lot 3 - 15689-6157-02-11445
 November 19, 2002
 Lot 2021 P 00131
 To: NYS, LLC
 March 26, 1999

TAX PARCEL NUMBER

Town of Poughkeepsie, County of Dutchess, State of New York
 15689-6157-02-607815
 Lot 2 Parcel ID: 15689-6157-02-607815
 2.412 Acres
 143,171 Square Feet
 1569 Acres

AREA

1569 Acres
 143,171 Square Feet

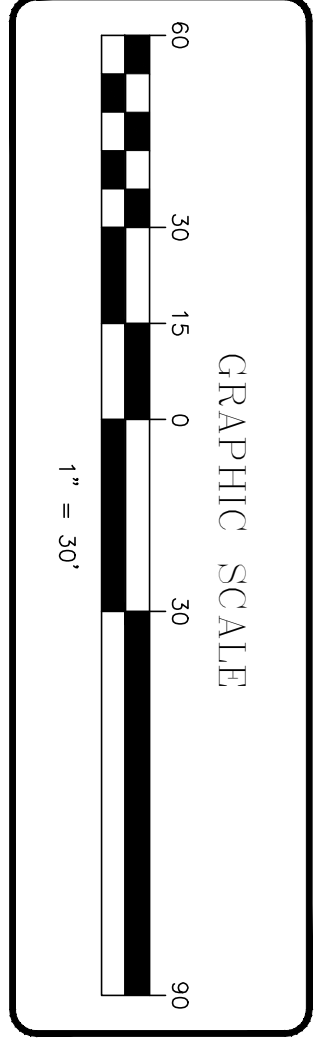


LEGEND

- PROPERTY LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- FENCE
- OVERHEAD WIRES
- DECIDUOUS TREE
- CONIFEROUS TREE
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- LIGHT POLE
- UTILITY POLE
- MAIL BOX
- GUY WIRE
- SIGN
- BOLLARD
- IRON ROD FOUND
- IRON PIPE FOUND
- MONUMENT FOUND
- PROPERTY CORNER

TEC LAND SURVEYING
 831 ROUTE 52, SUITE 20, FAHULL, NY 12524
 845.445.6590

REV.	DATE	DESCRIPTION



THOMAS E. GERCHUCK, P.L.S.
 P.L.S. No. 5702

BOUNDARY AND TOPOGRAPHIC SURVEY
 PREPARED FOR
POUGHKEEPSIE NISSAN
 20496 - POUGHKEEPSIE NISSAN - CERTIFIED LOT
 TOWN OF WASHINGTON, COUNTY OF DUTCHESS, STATE OF NEW YORK

DATE	SCALE	PROJECT	DATE
7/29/2020	1" = 30'	20496 - POUGHKEEPSIE NISSAN	7/29/2020

1 OF 1