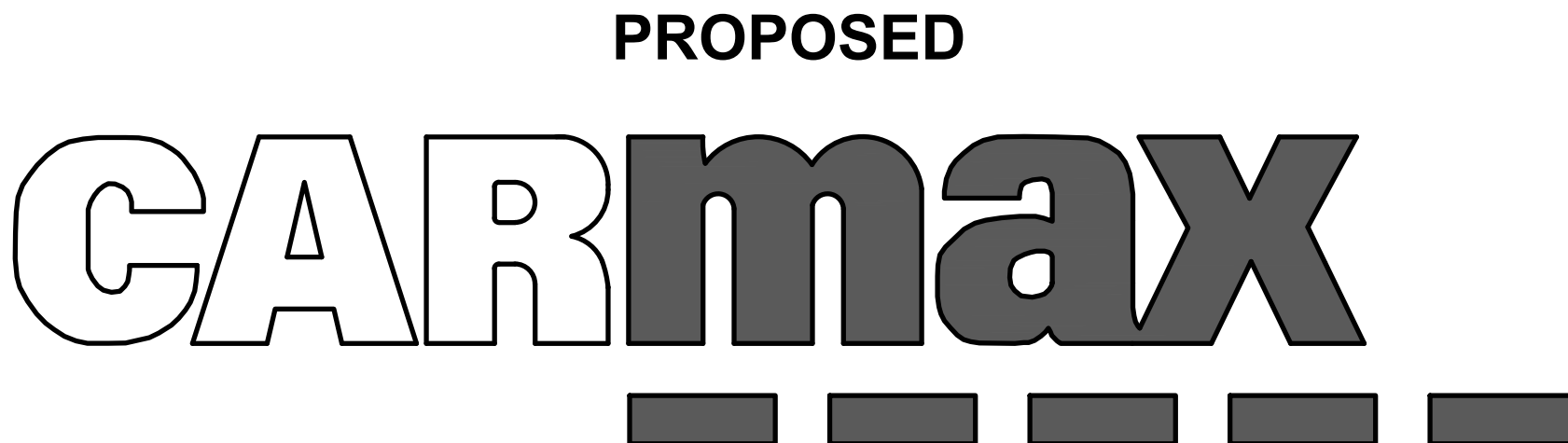


PROPOSED SITE PLAN DOCUMENTS

FOR
CARMAX AUTO SUPERSTORES, INC.



LOCATION OF SITE:
1105-1115 ROUTE 9
TOWN OF WAPPINGER
DUTCHESS COUNTY, NY

SEC. 6156-02 PARCEL 664986

DRAWING SHEET INDEX

| SHEET TITLE | SHEET NUMBER |
|--|--------------|
| COVER SHEET | C-101 |
| GENERAL NOTES SHEET | C-102 |
| DEMOLITION PLAN | C-201 |
| SITE LAYOUT PLAN | C-301 |
| GRADING AND DRAINAGE PLAN | C-401 |
| UTILITY PLAN | C-501 |
| EROSION AND SEDIMENT CONTROL PLAN | C-601 |
| EROSION AND SEDIMENT CONTROL NOTES AND DETAILS | C-602 |
| LANDSCAPE PLAN | C-701 |
| LANDSCAPE NOTES AND DETAILS | C-702 |
| DETAIL SHEET | C-901 |
| DETAIL SHEET | C-902 |
| DETAIL SHEET | C-903 |
| DETAIL SHEET | C-904 |
| ALTA/ NSPS LAND TITLE SURVEY (BY OTHERS) | 1 OF 1 |
| LIGHTING PLAN (BY OTHERS) | 1 OF 1 |

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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PROJECT No.: B210118
DRAWN BY: MDL
CHECKED BY: RWO
DATE: 09/01/2021
CAD ID: B210118SS00

PROJECT:

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FOR
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PROPOSED DEVELOPMENT
SEC. 6156-02- PARCEL 664986
1105-1115 ROUTE 9
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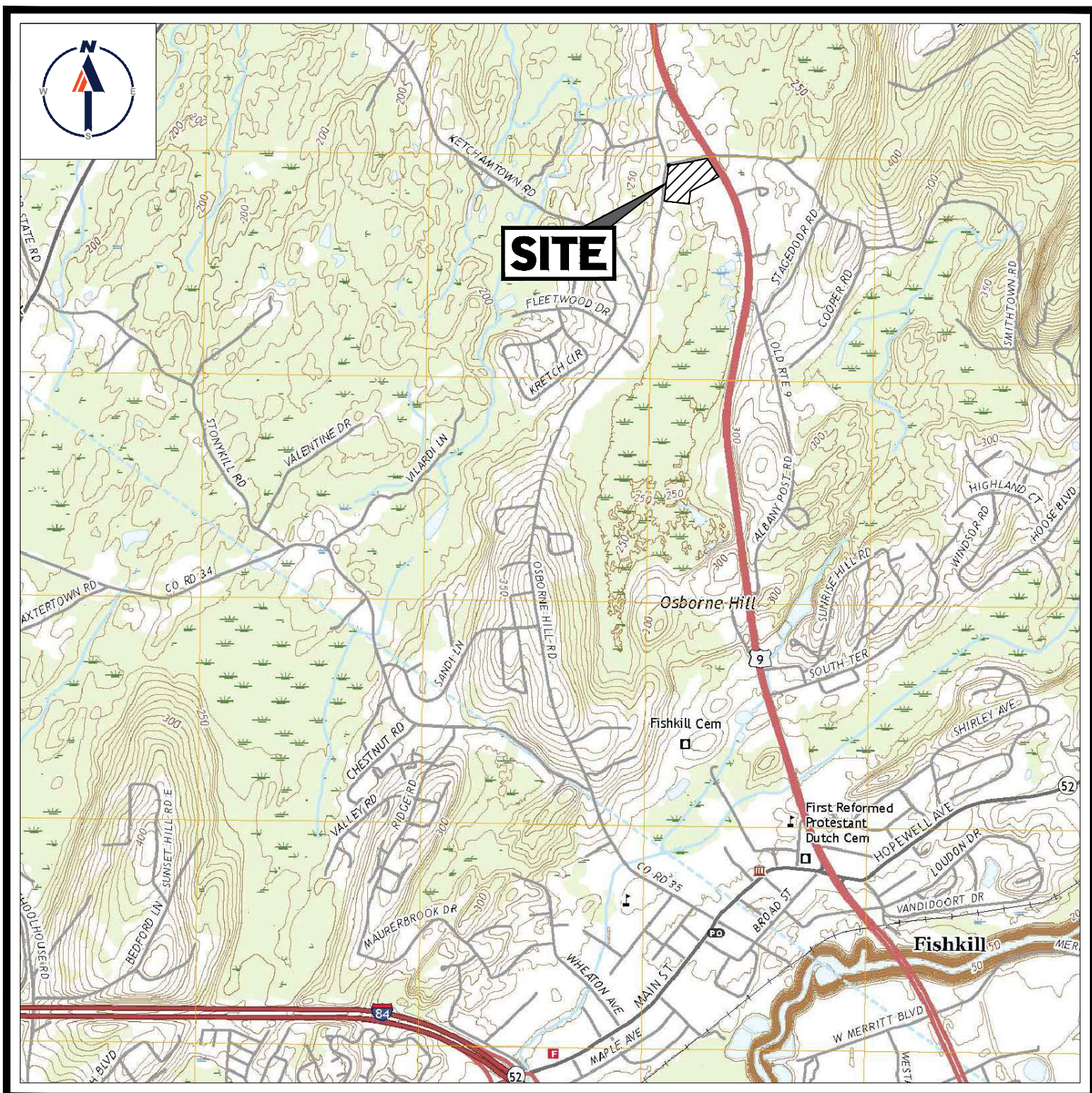
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COVER SHEET

SHEET NUMBER:

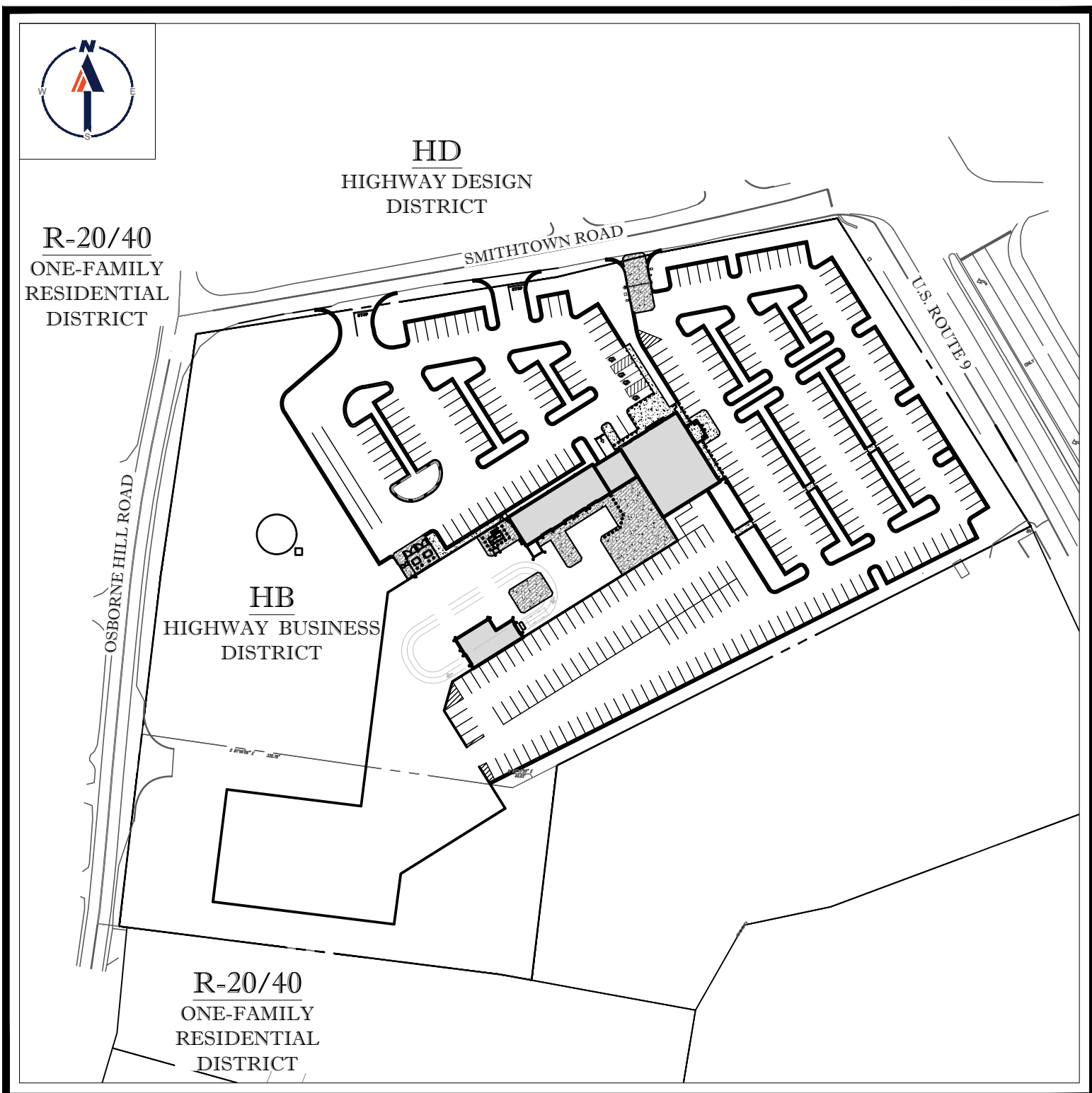
C-101

REVISION 7 - 3/1/2022



USGS MAP

SCALE: 1" = 2,000'
SOURCE: USGS WAPPINGER FALLS QUADRANGLE



AREA PLAN

SCALE: 1" = 120'

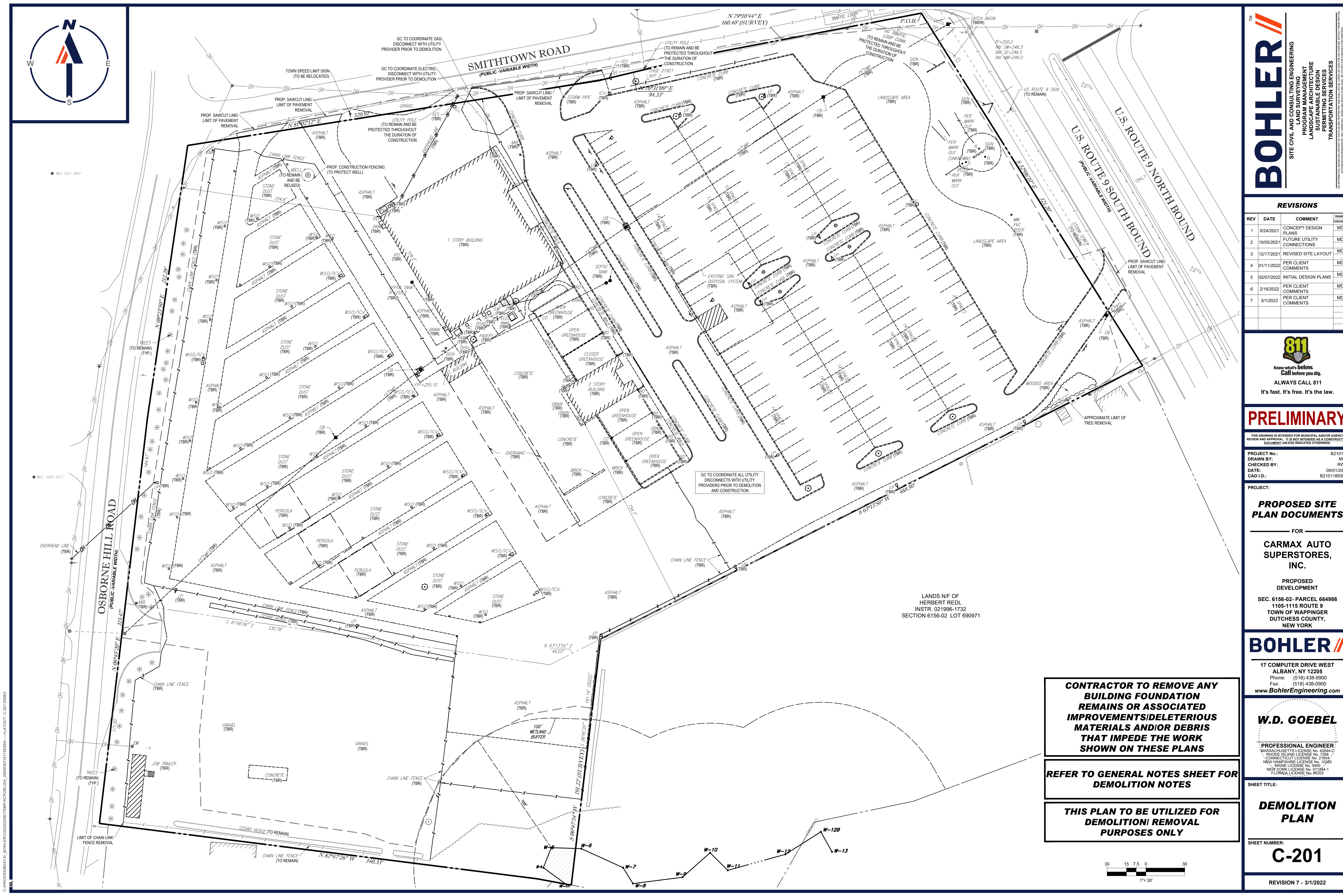


AREA MAP

SCALE: 1" = 200'

PREPARED BY

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SITE CIVIL AND CONSULTING ENGINEERING
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SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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CAD I.D.: B210118SS00

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

CARMAX AUTO SUPERSTORES, INC.

PROPOSED DEVELOPMENT

SEC. 6156-02- PARCEL 664986
1105-1115 ROUTE 9
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DUTCHESS COUNTY,
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SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:

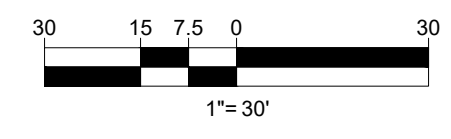
C-201

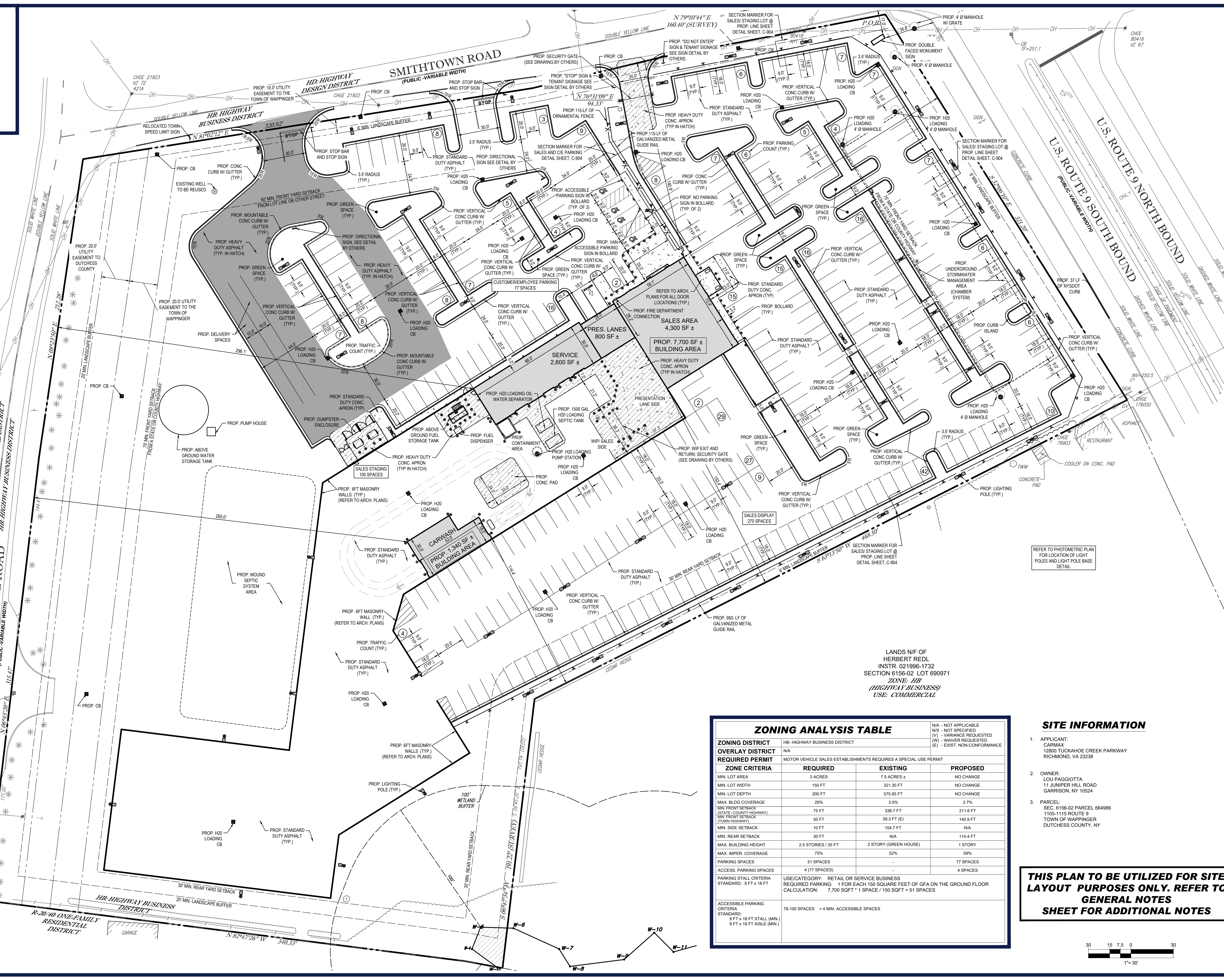
REVISION 7 - 3/1/2022

CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS/DELETERIOUS MATERIALS AND/OR DEBRIS THAT IMPEDE THE WORK SHOWN ON THESE PLANS

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/ REMOVAL PURPOSES ONLY



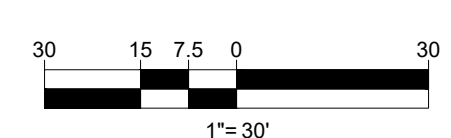


| ZONING ANALYSIS TABLE | | | |
|---|---|-----------------------|-----------|
| ZONING DISTRICT | HB-HIGHWAY BUSINESS DISTRICT | | |
| OVERLAY DISTRICT | N/A | | |
| REQUIRED PERMIT | MOTOR VEHICLE SALES ESTABLISHMENTS REQUIRES A SPECIAL USE PERMIT | | |
| ZONE CRITERIA | REQUIRED | EXISTING | PROPOSED |
| MIN. LOT AREA | 3 ACRES | 7.5 ACRES ± | NO CHANGE |
| MIN. LOT WIDTH | 150 FT | 321.30 FT | NO CHANGE |
| MIN. LOT DEPTH | 200 FT | 575.66 FT | NO CHANGE |
| MAX. BLDG COVERAGE | 25% | 3.5% | 2.7% |
| MIN. FRONT SETBACK (STATE/COUNTY HIGHWAY) | 75 FT | 338.7 FT | 211.6 FT |
| MIN. FRONT SETBACK (TOWN HIGHWAY) | 50 FT | 39.3 FT (E) | 140.9 FT |
| MIN. SIDE SETBACK | 10 FT | 154.7 FT | N/A |
| MIN. REAR SETBACK | 30 FT | N/A | 114.4 FT |
| MAX. BUILDING HEIGHT | 2.5 STORIES / 35 FT | 2 STORY (GREEN HOUSE) | 1 STORY |
| MAX. IMPER. COVERAGE | 75% | 52% | 59% |
| PARKING SPACES | 51 SPACES | - | 77 SPACES |
| ACCESS. PARKING SPACES | 4 (77 SPACES) | - | 4 SPACES |
| PARKING STALL CRITERIA | USE/CATEGORY: RETAIL OR SERVICE BUSINESS | | |
| STANDARD: 9 FT x 18 FT | REQUIRED PARKING: 1 FOR EACH 150 SQUARE FEET OF GFA ON THE GROUND FLOOR | | |
| | CALCULATION: 7,700 SQFT ÷ 1 SPACE / 150 SQFT = 51 SPACES | | |
| ACCESSIBLE PARKING CRITERIA | 76-100 SPACES = 4 MIN. ACCESSIBLE SPACES | | |
| STANDARD: | 8 FT x 18 FT STALL (MIN.) | | |
| | 8 FT x 18 FT AISLE (MIN.) | | |

SITE INFORMATION

- APPLICANT: CARMAX 12800 TUCKAHOE CREEK PARKWAY RICHMOND, VA 23238
- OWNER: LOU PAGGIOTTA 11 JUNIPER HILL ROAD GARRISON, NY 10524
- PARCEL: SEC. 6156-02 PARCEL 664986 1105-1115 ROUTE 9 TOWN OF WAPPINGER DUTCHESS COUNTY, NY

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES



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CAD ID: B210118SS00

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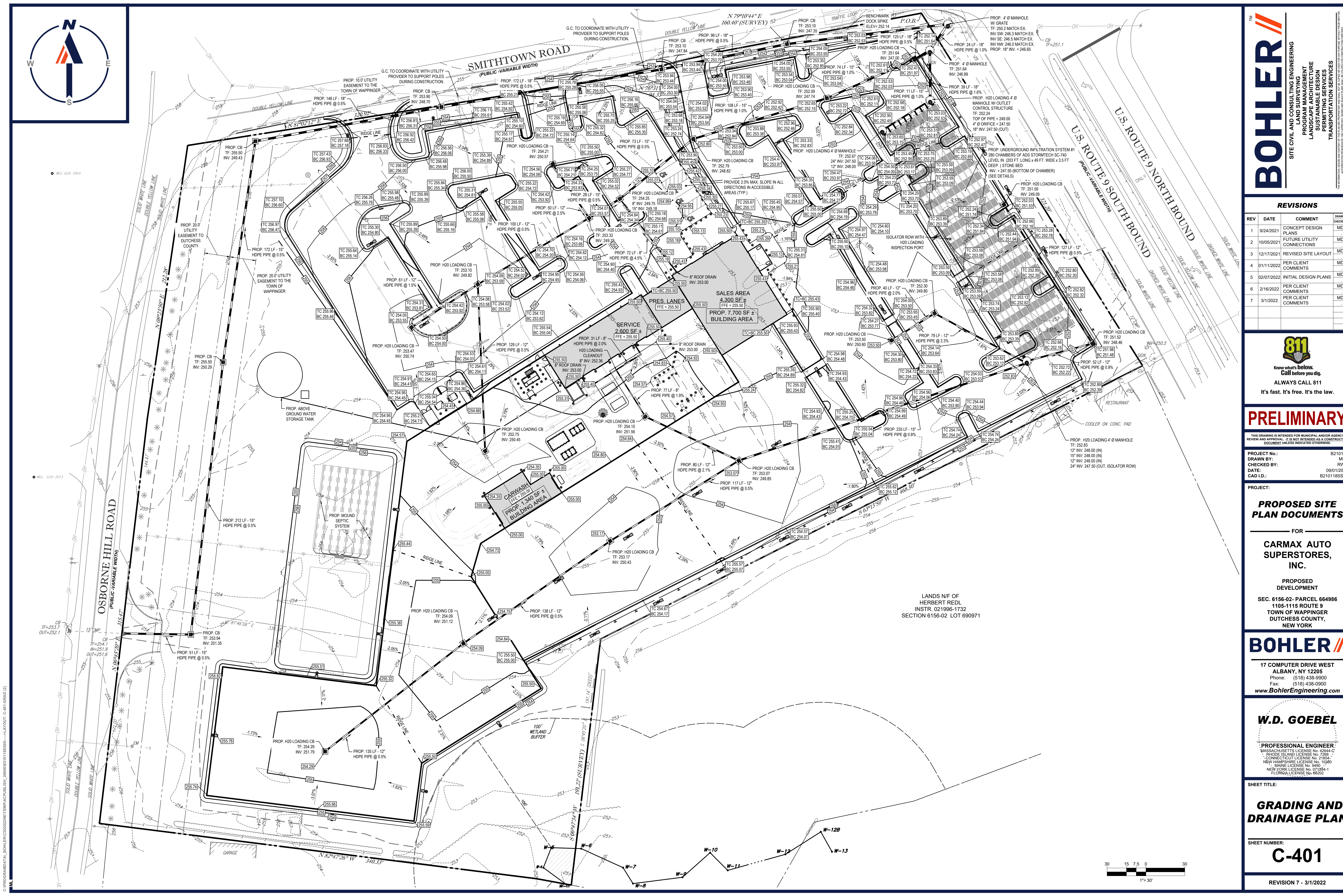
SHEET TITLE:

SITE LAYOUT PLAN

SHEET NUMBER:

C-301

REVISION 7 - 3/1/2022



C:\PROGRAMDATA\BOHLER\320222\TEMP\AC\PUBLISH_200908\B210118390-LAYOUT: C-401 GRAD (2)

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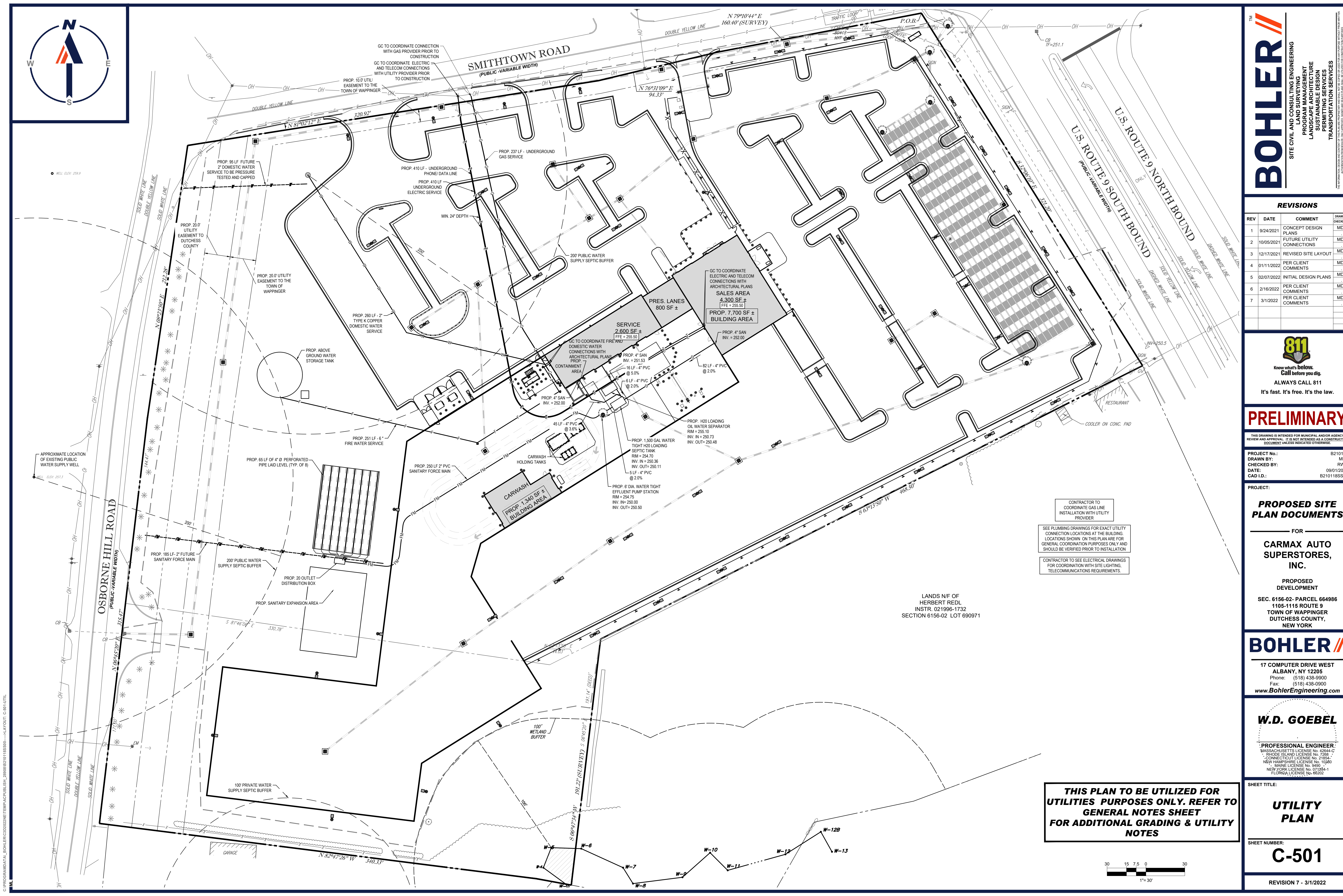
SHEET TITLE:

GRADING AND DRAINAGE PLAN

SHEET NUMBER:

C-401

REVISION 7 - 3/1/2022



C:\PROGRAMDATA\BOHLER\30222\NETPAC\PUBLISH_28998\B210118390-1\LAYOUT: C-501-UTIL



SITE CIVIL AND CONSULTING ENGINEERING

PROGRAM MANAGEMENT

LANDSCAPE ARCHITECTURE

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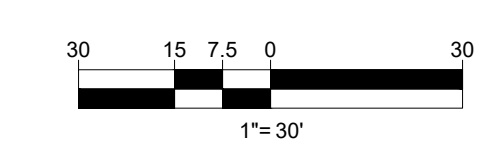
UTILITY PLAN

SHEET NUMBER:

C-501

REVISION 7 - 3/1/2022

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES



LANDS N/F OF HERBERT REDL INSTR. 021996-1732 SECTION 6156-02 LOT 690971

CONTRACTOR TO COORDINATE GAS LINE INSTALLATION WITH UTILITY PROVIDER

SEE PLUMBING DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT THE BUILDING. LOCATIONS SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY AND SHOULD BE VERIFIED PRIOR TO INSTALLATION.

CONTRACTOR TO SEE ELECTRICAL DRAWINGS FOR COORDINATION WITH SITE LIGHTING, TELECOMMUNICATIONS REQUIREMENTS.



WELL ELEV. 259.9

WELL ELEV. 257.3

C:\PROGRAMDATA\BOHLER\320222\TEMP\AC\PUBLISH_200908\B210118390-1\LAYOUT: C-601.EROS

SMITHTOWN ROAD
(PUBLIC-VARIABLE WIDTH)

OSBORNE HILL ROAD
(PUBLIC-VARIABLE WIDTH)

U.S. ROUTE 9 NORTH BOUND
U.S. ROUTE 9 SOUTH BOUND
(PUBLIC-VARIABLE WIDTH)

N 79°10'44" E
160.40' (SURVEY)

N 76°31'09" E
94.33'

PROP. TEMP. STONE OUTLET
ELEV. 250.75

TEMPORARY SETTLING BASIN #1
BOTTOM ELEV. = 249.00

PRES. LANES
800 SF ±

SERVICE
2,600 SF ±

SALES AREA
4,300 SF ±

PROP. 7,700 SF ±
BUILDING AREA

CARWASH
PROP. 1,340 SF ±
BUILDING AREA

AREA OF DISTURBANCE=
285.676 SF (6.66 ACRES)

LANDS N/F OF
HERBERT REDL
INSTR. 021996-1732
SECTION 6156-02 LOT 690971

SOIL RESTORATION REQUIREMENTS

| TYPE OF DISTURBANCE | SOIL RESTORATION REQUIREMENT |
|---|--|
| NO SOIL DISTURBANCE | RESTORATION NOT PERMITTED |
| MINIMAL SOIL DISTURBANCE | RESTORATION NOT REQUIRED |
| AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE | HSG A&B: APPLY 6" OF TOPSOIL HSG C&D: AERATE AND APPLY 6" OF TOPSOIL |
| AREAS OF CUT OR FILL | HSG A&B: AERATE AND APPLY 6" OF TOPSOIL HSG C&D: APPLY FULL SOIL RESTORATION (SEE NOTES ON SHEET C-602) |
| HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN 5 FOOT PERIMETER AROUND FOUNDATION WALLS) | APPLY FULL SOIL RESTORATION (DE-COMPACTION AND COMPOST ENHANCEMENT, PER CURRENT VERSION OF NYS DEC DEEP RIPPING AND DECOMPACTION) |
| AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED | RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES. |
| REDEVELOPMENT PROJECTS | SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA. |

**THIS PLAN TO BE UTILIZED FOR SITE
SOIL AND EROSION CONTROL
PURPOSES ONLY**

**REFER TO SOIL EROSION CONTROL
NOTES & DETAIL SHEET FOR EROSION
NOTES AND DETAILS**

30 15 7.5 0 30
1"= 30'

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FOR

**CARMAX AUTO
SUPERSTORES,
INC.**

PROPOSED
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NEW YORK LICENSE No. 071284-1
FLORIDA LICENSE No. 65202

SHEET TITLE:

**SOIL EROSION &
SEDIMENT
CONTROL PLAN**

SHEET NUMBER:

C-601

REVISION 7 - 3/1/2022

EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
- 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
- 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
- 10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

| | | |
|---|---|------------------------------|
| LOCATION PROTECT AREA | MULCH STRAW | RATE (1000 SF) 100 POUNDS |
| WINDY AREA | SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)* | 185-275 POUNDS 100 POUNDS |
| MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1 | JUTE MESH OR EXCELSIOR MAT | AS REQUIRED |
| GREATER THAN 3:1 | (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT) | |

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING

ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:
- 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
- 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION OFF SITE (AS SHOWN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDING
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 80% STABILIZATION OR GREATER.

SOIL RESTORATION NOTES:

SOIL RESTORATION PROCEDURE, PER NYSDEC "BLUE BOOK":

- DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:
1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL
2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS
3. ROCK-PICK UNTIL UPLIFTED STONEROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE
4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES
5. VEGETATE AS REQUIRED BY APPROVED PLAN.

AT THE END OF THE PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12 INCHES INTO THE SOIL, JUST WITH BODY WEIGHT. TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.

COMPOST SPECIFICATIONS:

COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEE SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS WITH NO OBJECTIONABLE ODORS.

MAINTENANCE:

A SIMPLE MAINTENANCE AGREEMENT SHOULD IDENTIFY WHERE SOIL RESTORATION IS APPLIED, WHERE NEWLY RESTORED AREAS ARE/CANNOT BE CLEARED, WHO THE RESPONSIBLE PARTIES ARE TO ENSURE THAT ROUTINE VEGETATION IMPROVEMENTS ARE MADE (I.E., THINNING, INVASIVE PLANT REMOVAL, ETC.). SOIL COMPOST AMENDMENTS WITHIN A FILTER STRIP OR GRASS CHANNEL SHOULD BE LOCATED IN PUBLIC RIGHT OF WAY, OR WITHIN A DEDICATED STORMWATER OR DRAINAGE EASEMENT.

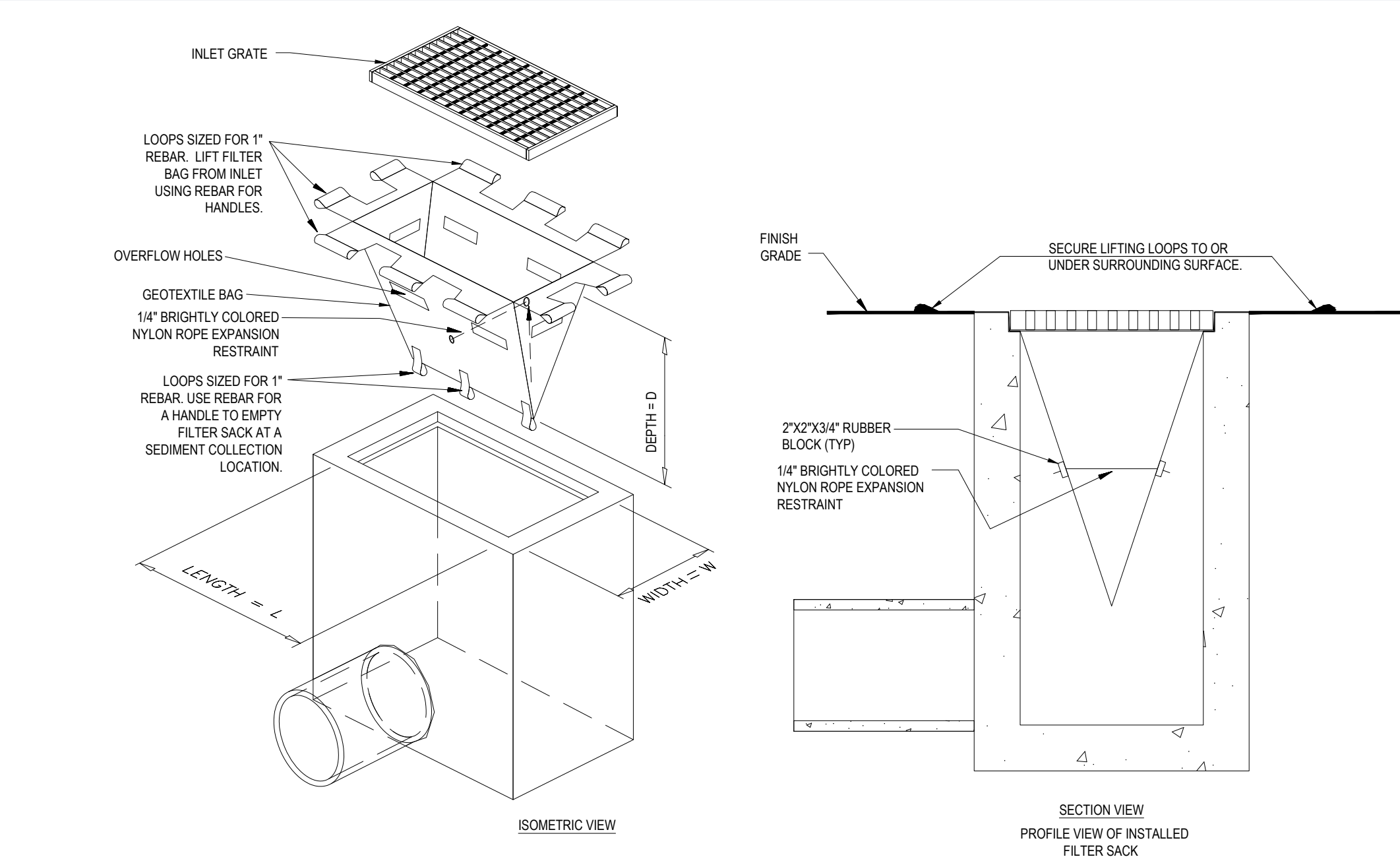
FIRST YEAR MAINTENANCE OPERATIONS INCLUDES:

- INITIAL INSPECTIONS FOR THE FIRST SIX MONTHS (ONCE AFTER EACH STORM GREATER THAN HALF-INCH)
- RESEEDING TO REPAIR BARE OR ERODING AREAS TO ASSURE GRASS STABILIZATION
- WATER ONCE EVERY THREE DAYS FOR FIRST MONTH, AND THEN PROVIDE A HALF INCH OF WATER PER WEEK DURING FIRST YEAR. IRRIGATION PLAN MAY BE ADJUSTED ACCORDING TO THE RAIN EVENT.
- FERTILIZATION MAY BE NEEDED IN THE FALL AFTER THE FIRST GROWING SEASON TO INCREASE PLANT VIGOR.

ONGOING MAINTENANCE:

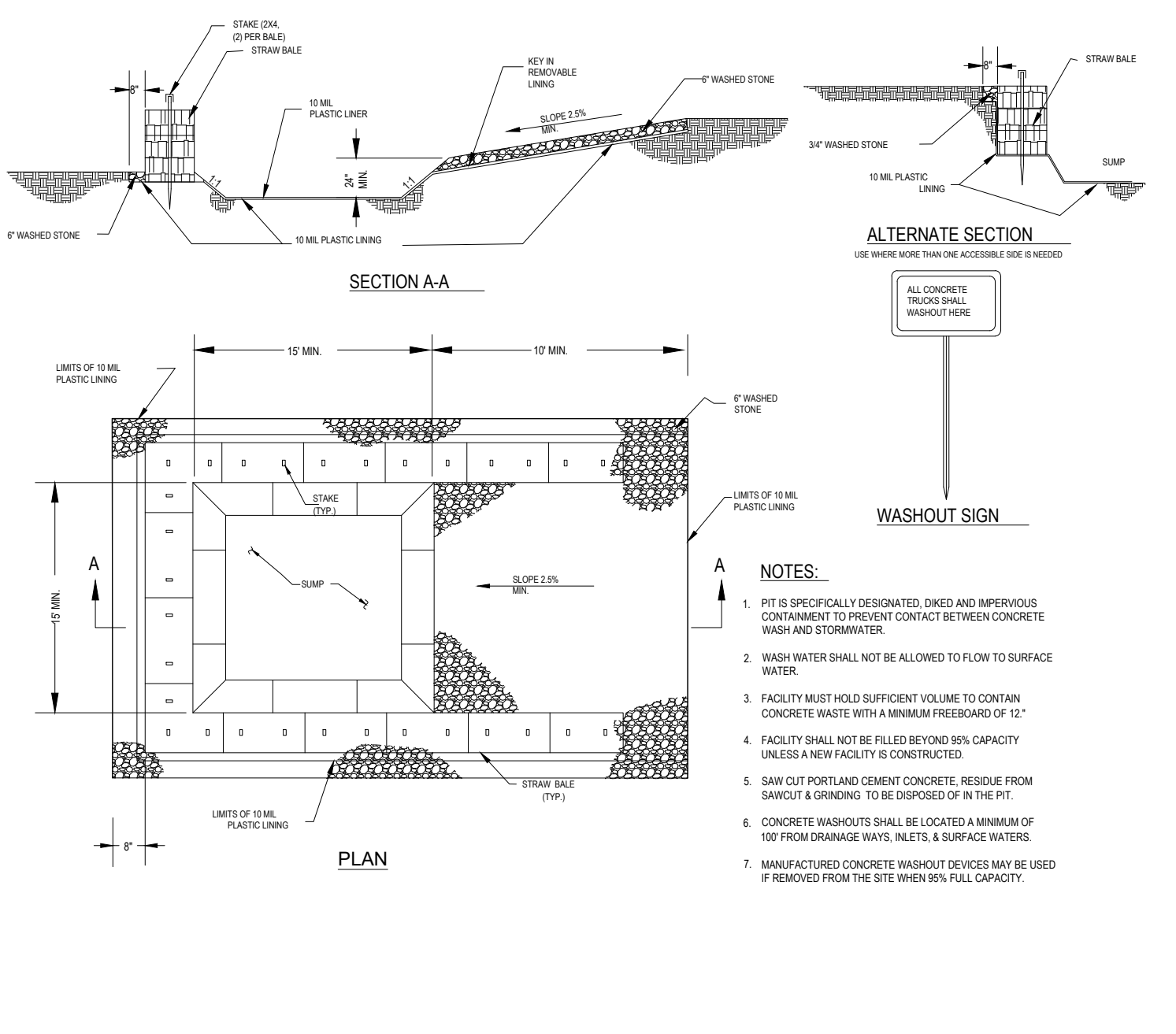
TWO POINTS HELP ENSURE LASTING RESULTS OF DECOMPOSITION:

1. PLANTING THE APPROPRIATE COVER COVER WITH DEEP ROOTS TO MAINTAIN SOIL STRUCTURE.
2. KEEPING THE SITE FREE OF VEHICULAR AND FOOT TRAFFIC OR OTHER WEIGHT LOADS. CONSIDER PEDESTRIAN FOOTPATHS. (SOMETIMES IT MAY BE NECESSARY TO DE-HATCH THE TURF EVERY FEW YEARS).



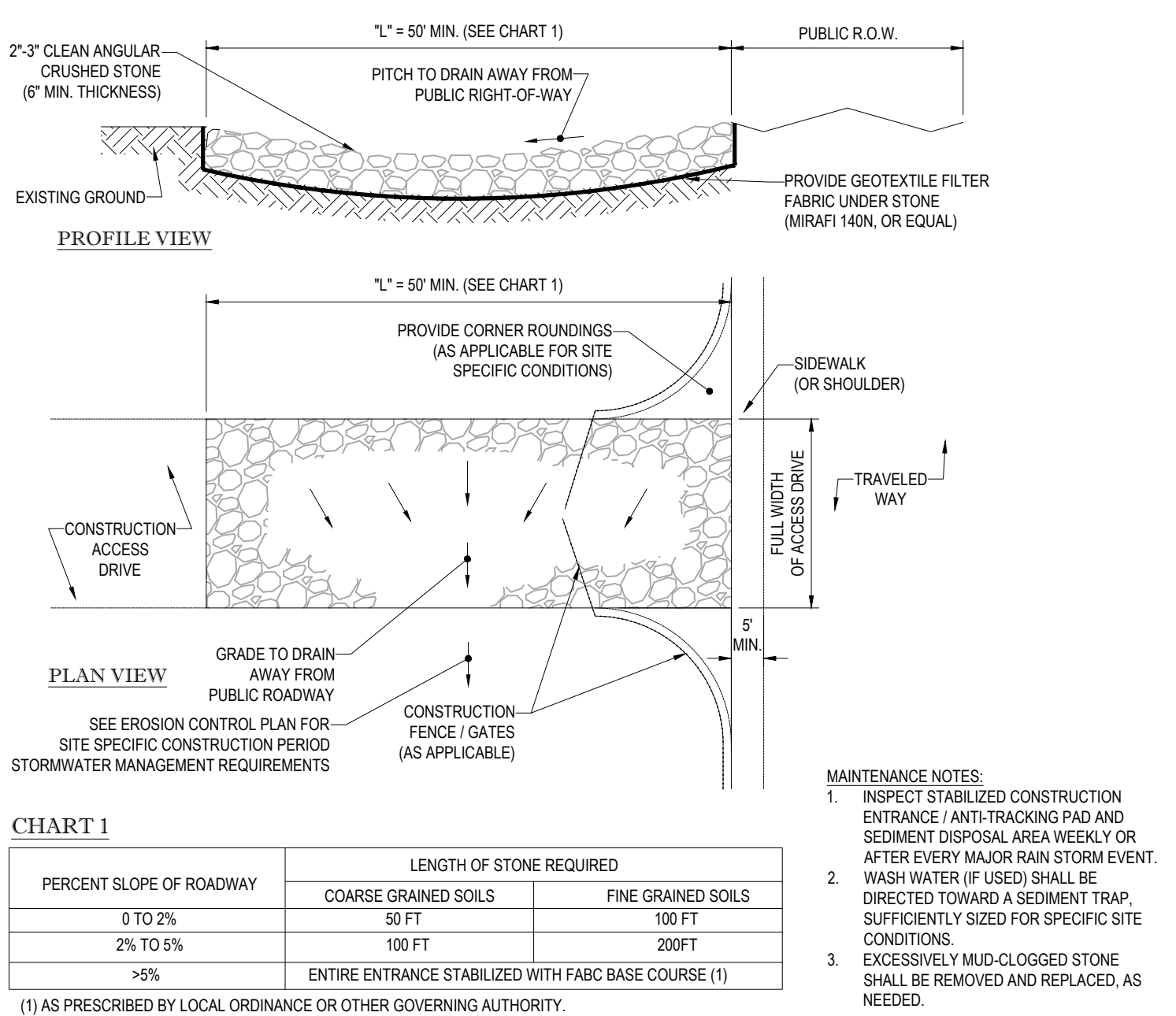
FILTER SACKS (GRATED INLETS)

N.T.S.



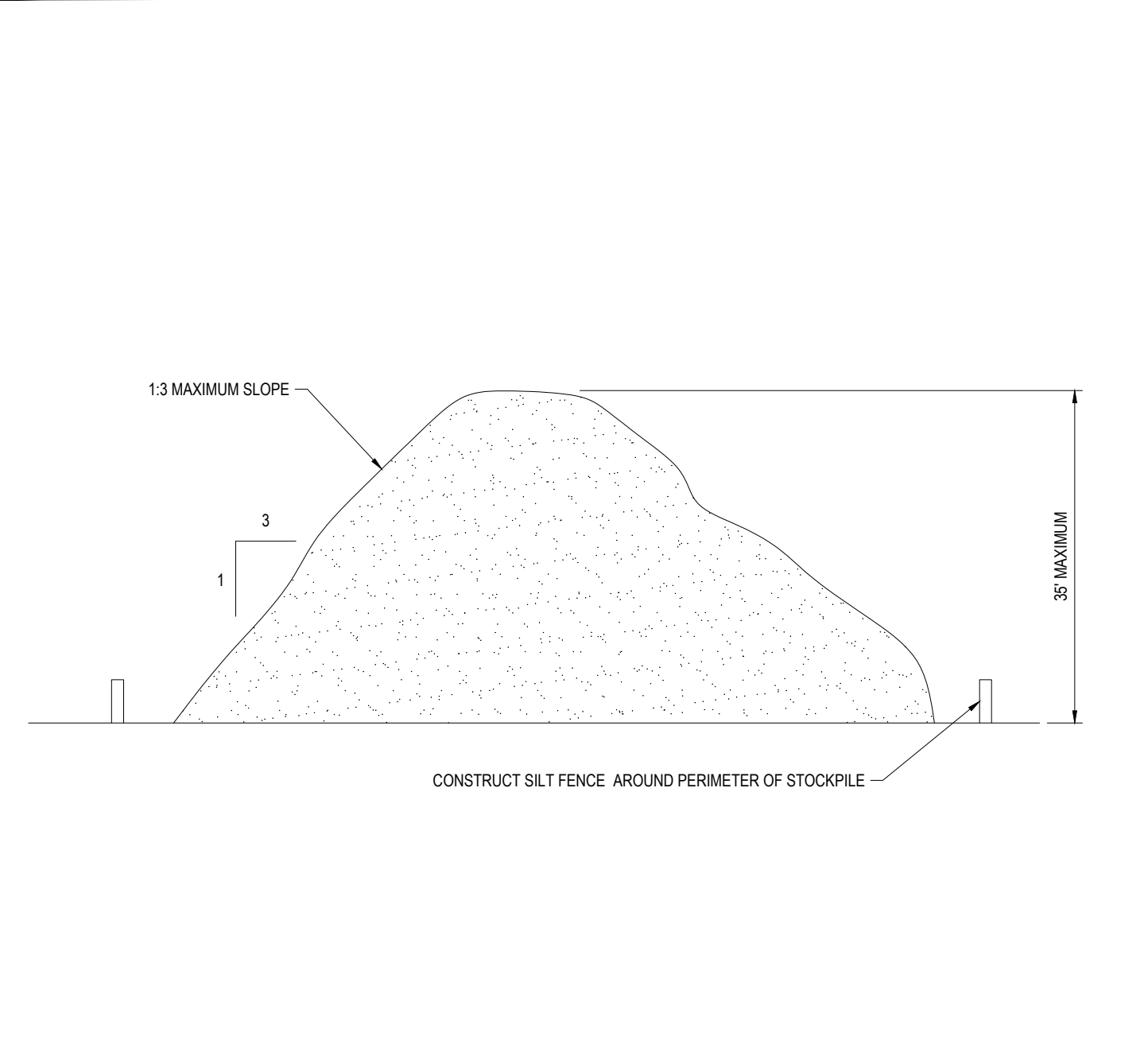
CONCRETE WASHOUT DETAIL

N.T.S.



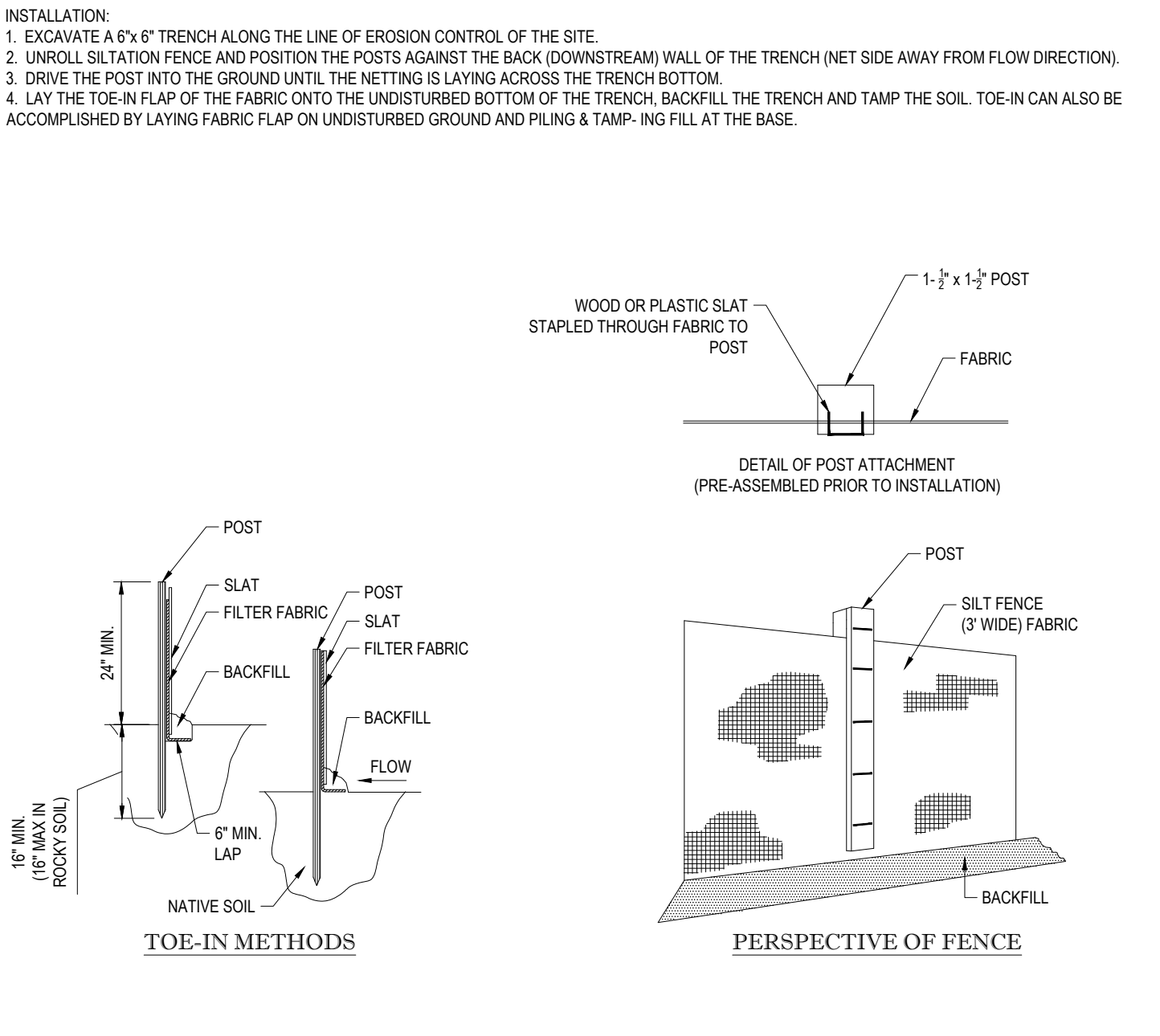
STABILIZED CONSTRUCTION EXIT

N.T.S.



TEMPORARY STOCKPILE DETAIL

N.T.S.



TYP. SILTATION FENCE DETAIL

N.T.S.

| LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
|--|-------------|------------------|
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 300 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4633 | 120 LBS |
| MULLEN BURST | ASTM D-3786 | 800 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 120 LBS |
| UV RESISTANCE | ASTM D-4355 | 80 % |
| APPARENT OPENING SIZE | ASTM D-4751 | 40 US SIEVE |
| FLOW RATE | ASTM D-4491 | 40 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 0.55 SEC -1 |

| MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
|---|-------------|-------------------|
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 350 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4633 | 135 LBS |
| MULLEN BURST | ASTM D-3786 | 420 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 45 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APPARENT OPENING SIZE | ASTM D-4751 | 20 US SIEVE |
| FLOW RATE | ASTM D-4491 | 200 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 1.5 SEC -1 |

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS
- THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 38 INCHES
- THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

TO BE USED IN EXISTING RIGHT OF WAY

TM

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY |
|-----|------------|----------------------------|----------|
| 1 | 9/24/2021 | CONCEPT DESIGN PLANS | MDL |
| 2 | 10/05/2021 | FUTURE UTILITY CONNECTIONS | MDL |
| 3 | 12/17/2021 | REVISED SITE LAYOUT | MDL |
| 4 | 01/11/2022 | PER CLIENT COMMENTS | MDL |
| 5 | 02/07/2022 | INITIAL DESIGN PLANS | MDL |
| 6 | 2/16/2022 | PER CLIENT COMMENTS | MDL |
| 7 | 3/1/2022 | PER CLIENT COMMENTS | MDL |
| | | | |
| | | | |
| | | | |



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PRELIMINARY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: B210118
DRAWN BY: RWO
CHECKED BY: RWO
DATE: 09/01/2021
CAD I.D.: B210118SS00

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

CARMAX AUTO
SUPERSTORES,
INC.

PROPOSED DEVELOPMENT

SEC. 6156-02-PARCEL 664986
1105-1115 ROUTE 9
TOWN OF WAPPINGER
DUTCHESS COUNTY,
NEW YORK

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NEW YORK LICENSE No. 071284-1
FLORIDA LICENSE No. 65202

SHEET TITLE:

EROSION AND
SEDIMENT
CONTROL NOTES
AND DETAILS

SHEET NUMBER:

C-602

REVISION 7 - 3/1/2022



WELL ELEV: 229.9

WELL ELEV: 257.3

OSBORNE HILL ROAD
(PUBLIC VARIABLE WIDTH)

SMITHTOWN ROAD
(PUBLIC VARIABLE WIDTH)

U.S. ROUTE 9 NORTH BOUND
(PUBLIC VARIABLE WIDTH)
U.S. ROUTE 9 SOUTH BOUND
(PUBLIC VARIABLE WIDTH)

EXISTING TREES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION (TYP.)

PROP. HYDROSEED LAWN OVER 6" TOPSOIL (TYP.)

PROP. EVERGREEN TREE (TYP.)

EXISTING HEDGE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION (TYP.)

MEANDERING BORDER OF SHRUBS, PERENNIALS, AND GROUNDCOVERS AT SITE FRONTAGE (TYP.)

PROP. SHADE TREE (TYP.)

PROP. SNOW STORAGE AREA (TYP.)

PROP. SNOW STORAGE AREA (TYP.)

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SEED AND SOD KEY

PROPOSED HYDROSEED
PROPOSED SOD

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNERS (OR OWNER CONTRACTORS) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR RIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE RIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES &
DETAILS SHEET FOR LANDSCAPE
ZONING, DETAILS AND LANDSCAPE
ZONING REQUIREMENTS TABLE.

LANDSCAPE SCHEDULE

| KEY | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | CONT. |
|------------------|------|---------------------------------------|------------------------------|--------------|---------------------|
| SHADE TREES | | | | | |
| ARA | 6 | ACER RUBRUM 'ARMSTRONG' | ARMSTRONG COLUMNAR RED MAPLE | 3 3/4" CAL. | B+B |
| LSR | 20 | LIQUIDAMBAR STYRACIFLUA 'ROTUNDOLOBA' | SEEDLESS SWEETGUM | 3 3/4" CAL. | B+B |
| PLO | 16 | PLATANUS OCCIDENTALIS | AMERICAN SYCAMORE | 3 3/4" CAL. | B+B |
| TA | 14 | TILIA AMERICANA | BASSWOOD | 3 3/4" CAL. | B+B |
| SUBTOTAL: | 56 | | | | |
| ORNAMENTAL TREES | | | | | |
| CFA | 4 | CORNUS FLORIDA 'APPALACHIAN SNOW' | WHITE FLOWERING DOGWOOD | 2 1/2" CAL. | B+B |
| SUBTOTAL: | 4 | | | | |
| EVERGREEN TREES | | | | | |
| ABC | 6 | ABIES CONCOLOR | WHITE FIR | 6'7" | B+B |
| PAB | 10 | PICEA ABIES | NORWAY SPRUCE | 6'7" | B+B |
| PPH | 10 | PICEA PUNGENS 'HOOPSII' | COLORADO BLUE SPRUCE | 7'8" | B+B |
| SUBTOTAL: | 26 | | | | |
| DECIDUOUS SHRUBS | | | | | |
| AAB | 8 | ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA' | RED CHOKEBERRY | 3'4" | B+B |
| CA | 43 | CLETHRA ALNIFOLIA | SUMMERSWEET CLETHRA | 24-30" | CONTAINER |
| CSA | 121 | CORNUS STOLONIFERA 'ARCTIC FIRE' | COMPACT RED TWIG DOGWOOD | 18-24" | B+B |
| IWR | 27 | ILEX VERTICILLATA 'WINTER RED' | WINTER RED WINTERBERRY HOLLY | 30-36" | CONTAINER |
| RAGL | 81 | RHUS AROMATICA 'GRO-LOW' | GRO-LOW SUMAC | 1 GAL. | CONTAINER |
| SUBTOTAL: | 280 | | | | |
| EVERGREEN SHRUBS | | | | | |
| KLE | 6 | KALMA LATIFOLIA 'ELF' | ELF MOUNTAIN LAUREL | 18-24" | CONTAINER |
| PMM | 23 | PINUS MUGO 'MUGUS' | DWARF MUGO PINE | 18-24" | CONTAINER |
| SUBTOTAL: | 29 | | | | |
| GROUND COVERS | | | | | |
| AU | 330 | ARCTOSTAPHYLOS UVA-URSI | BEARBERRY | 12-15" | 75% SAND & 25% LOAM |
| JS | 181 | JUNIPERUS CHINENSIS VAR. SARGENTII | SARGENT JUNIPER | 15-18" SPRD. | CONTAINER |
| SUBTOTAL: | 511 | | | | |
| PERENNIALS | | | | | |
| AT | 100 | ASCLEPIAS TUBEROSA | BUTTERFLY WEED | 2 GAL. | CONTAINER |
| EP | 243 | ECHINACEA PURPUREA | PURPLE CONEFLOWER | 2 GAL. | CONTAINER |
| RFG | 253 | RUDBECKIA FULGIDA 'GOLDSTURM' | GOLDSTURMBLACK-EYED SUSAN | 2 GAL. | CONTAINER |
| SUBTOTAL: | 596 | | | | |

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICTATE.

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PROJECT No.: B210118
DRAWN BY: MDL
CHECKED BY: RWO
DATE: 09/01/2021
CAD I.D.: B210118-LND-0

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

CARMAX AUTO
SUPERSTORES,
INC.

PROPOSED DEVELOPMENT

SEC. 6156-02- PARCEL 664986
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RHODE ISLAND No. 419
NEW YORK No. 002559
NEW HAMPSHIRE No. 058
CONNECTICUT No. 1359
MAINE No. 4340
VIRGINIA No. 22064

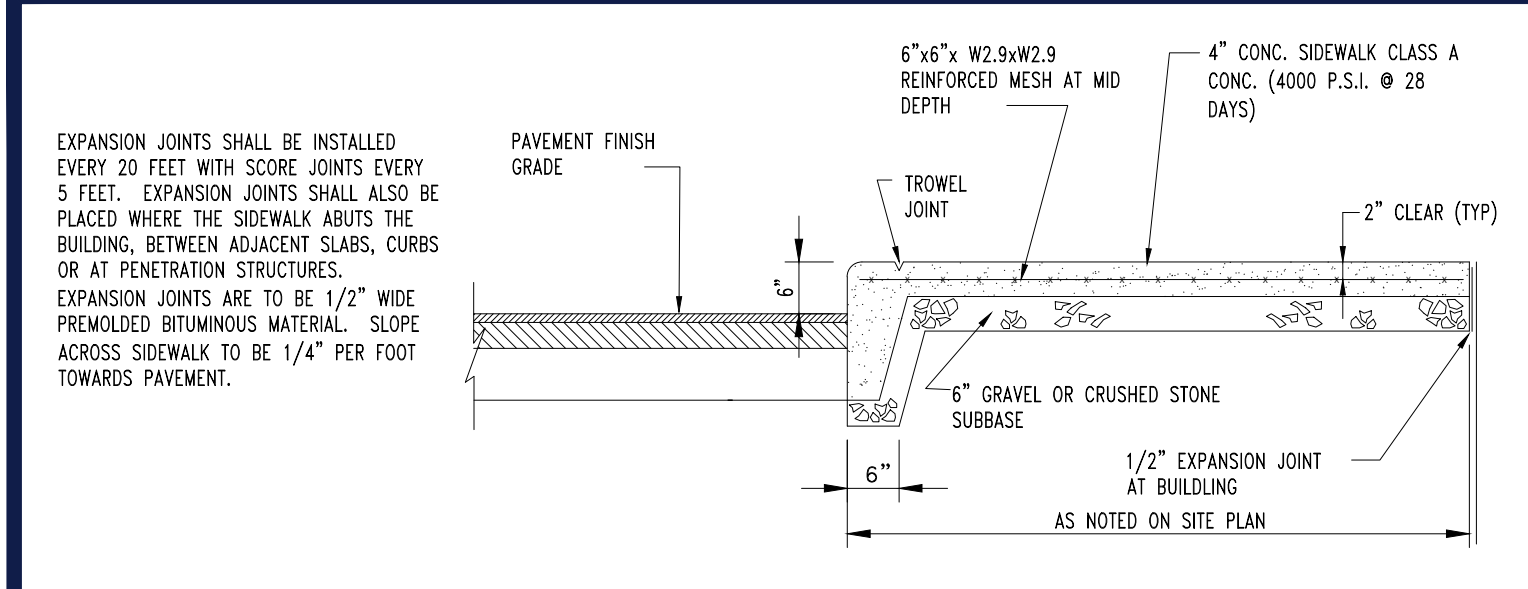
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LANDSCAPE PLAN

SHEET NUMBER:

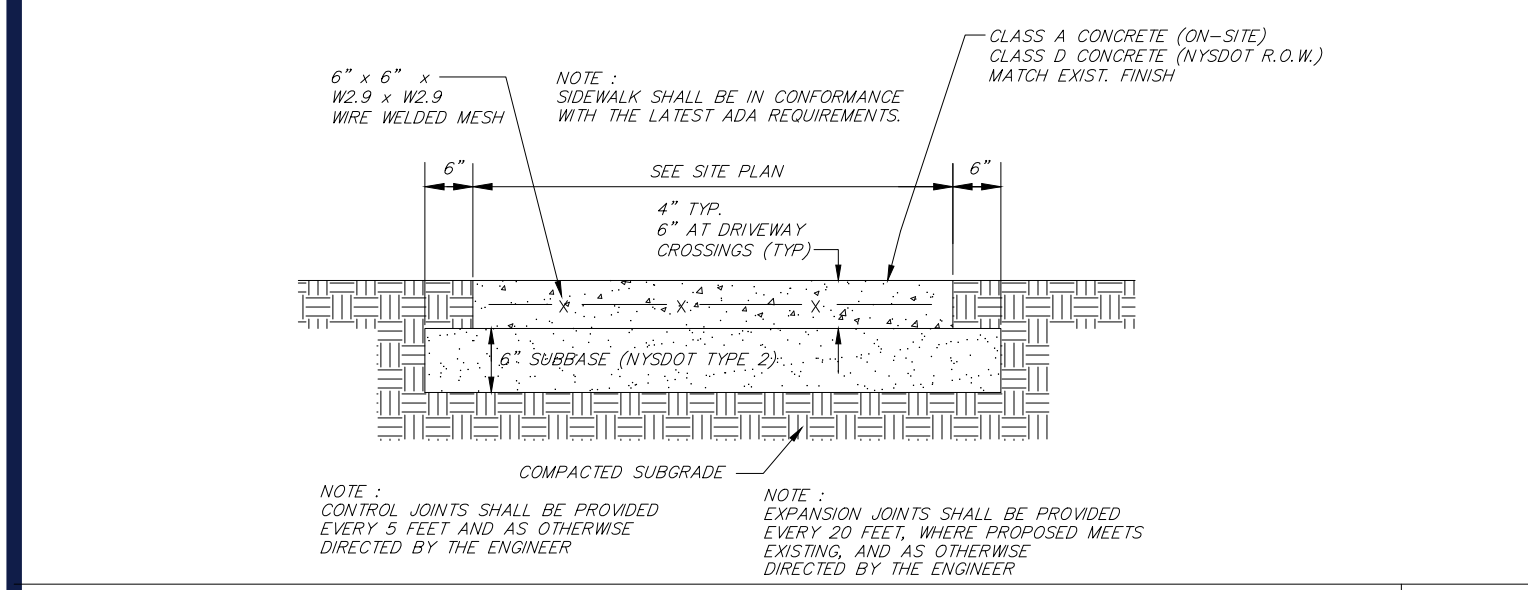
C-701

REVISION 7 - 3/1/2022



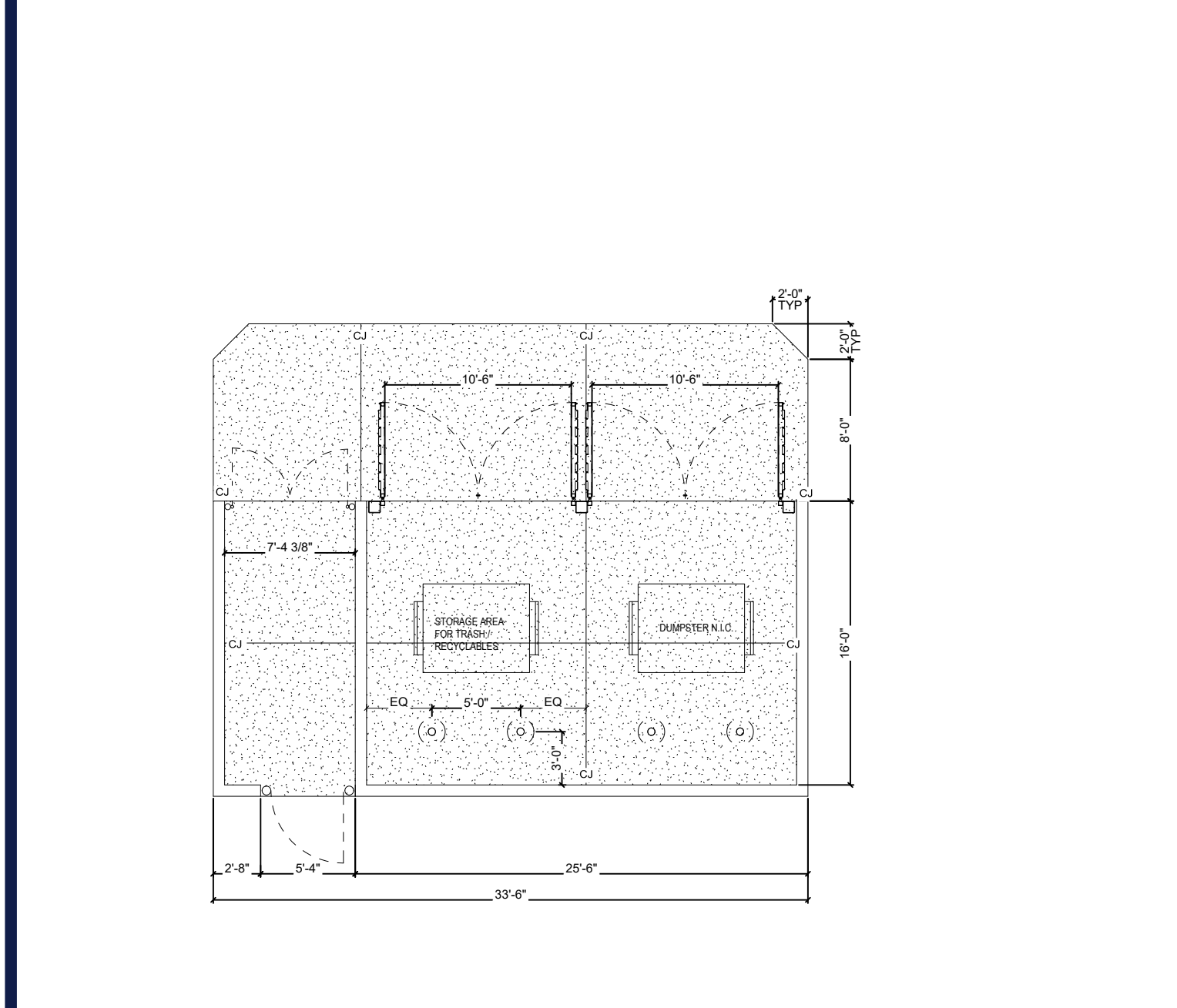
SIDEWALK AT CURB DETAIL

N.T.S.



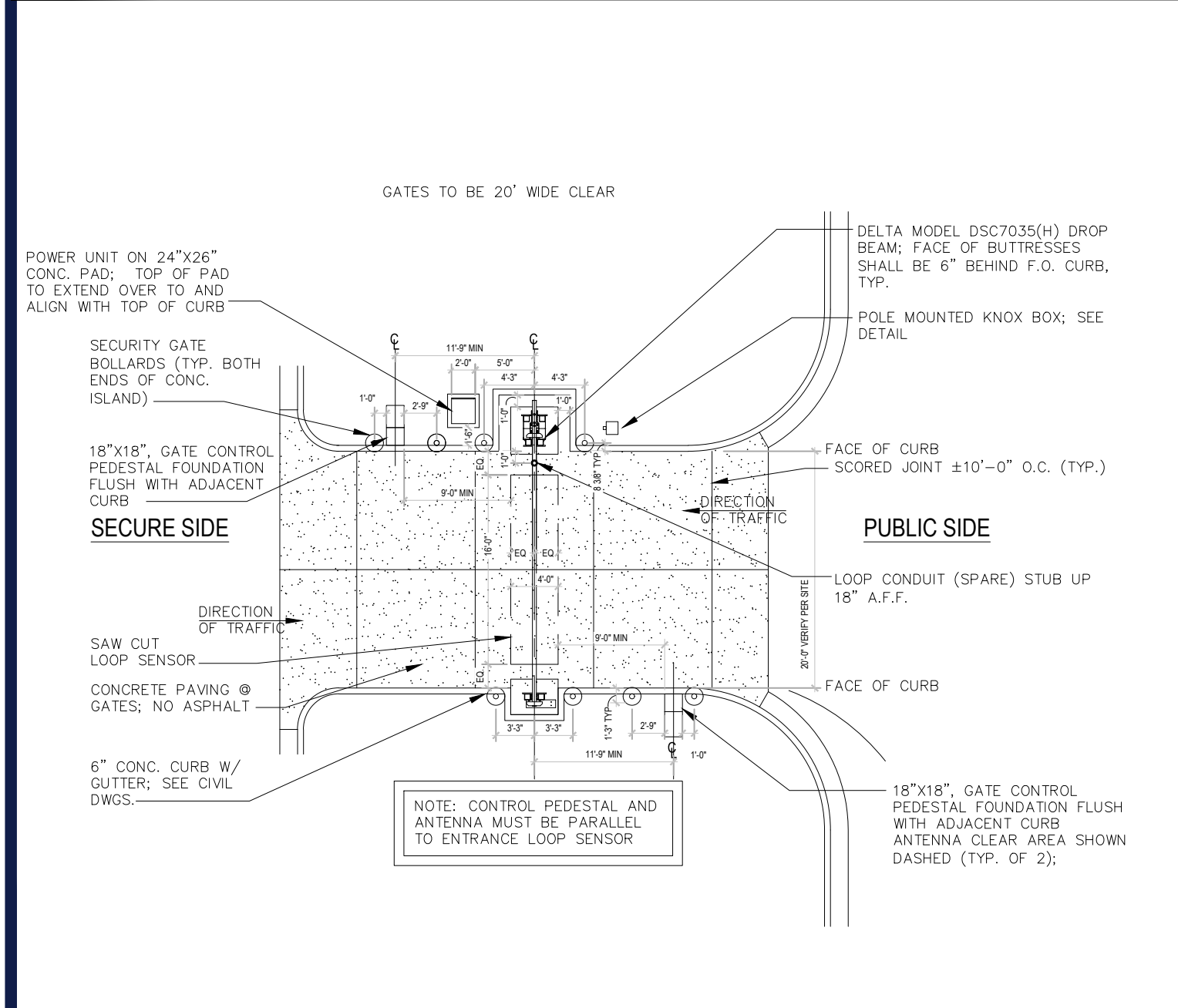
SIDEWALK DETAIL

N.T.S.



DUMPSTER DETAIL

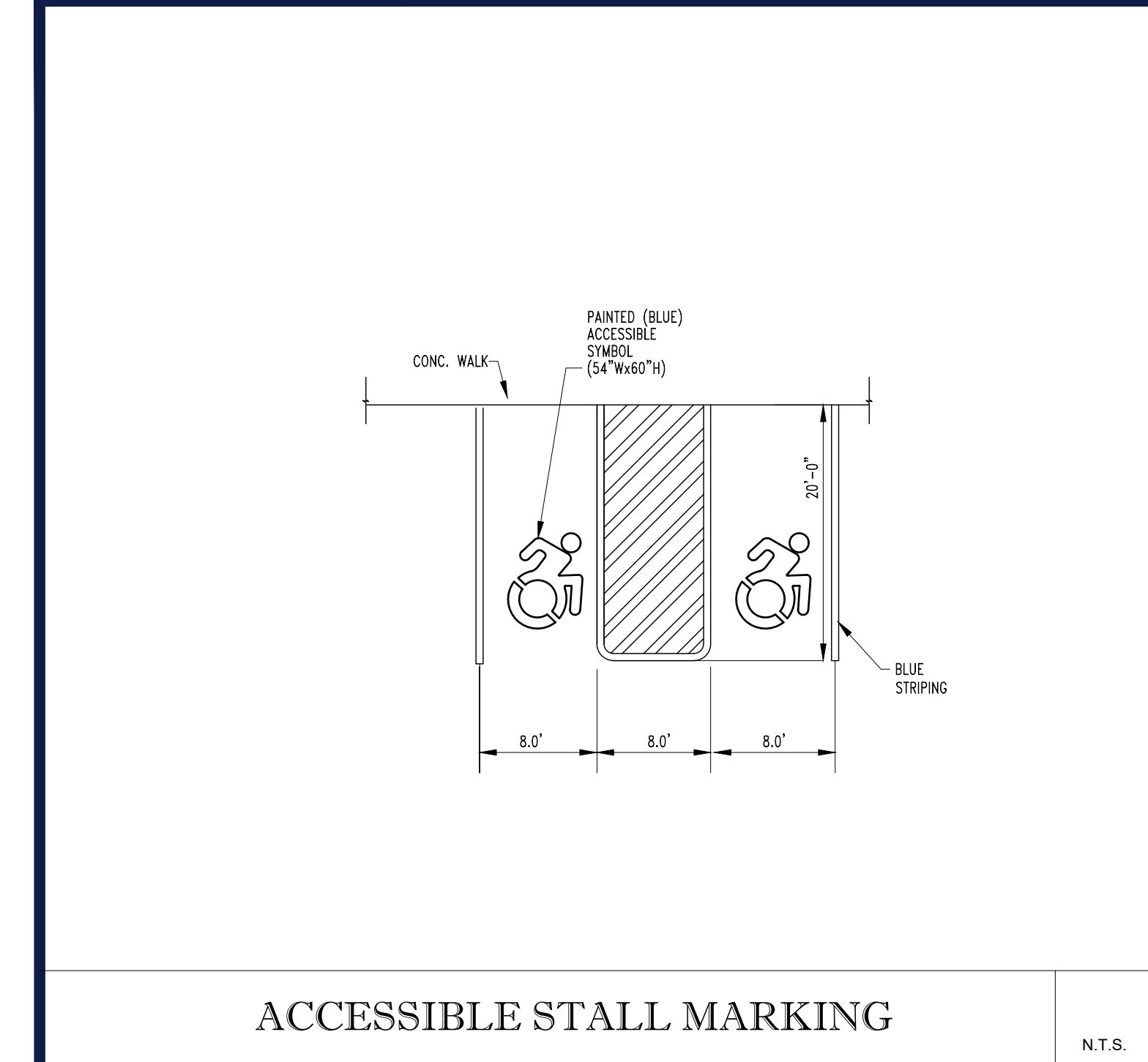
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SINGLE GATE DROP BEAM

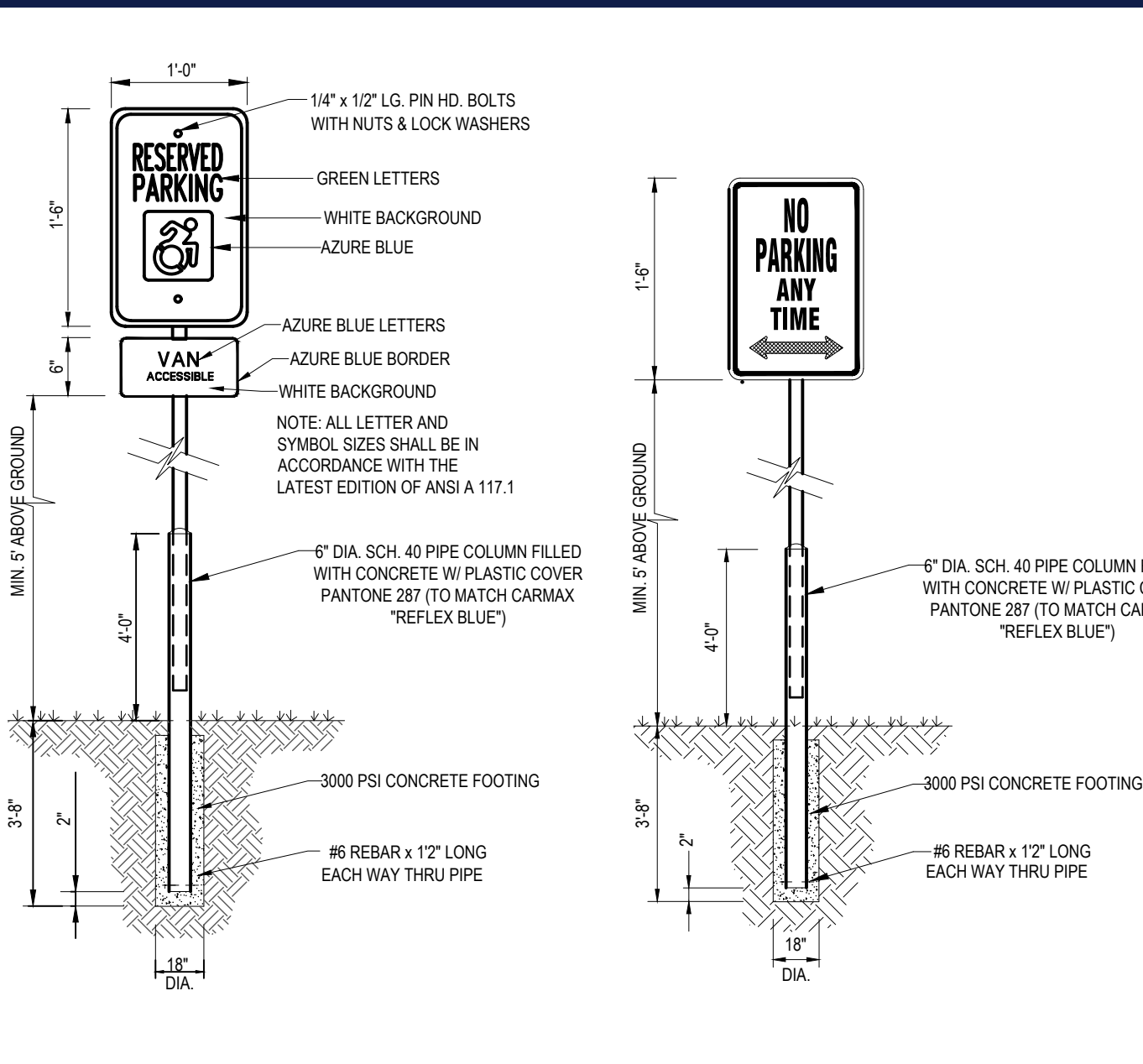
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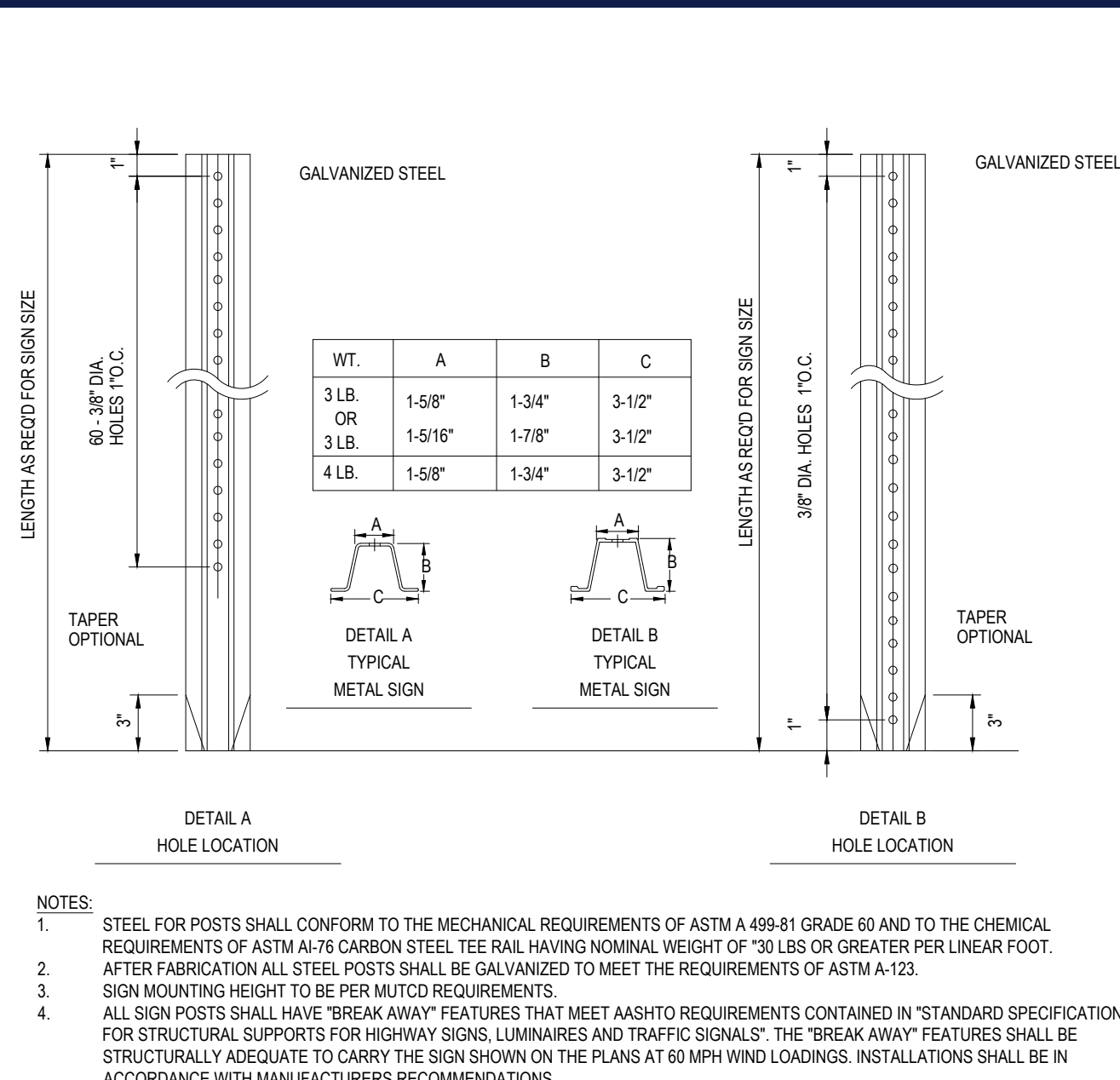
ACCESSIBLE STALL MARKING

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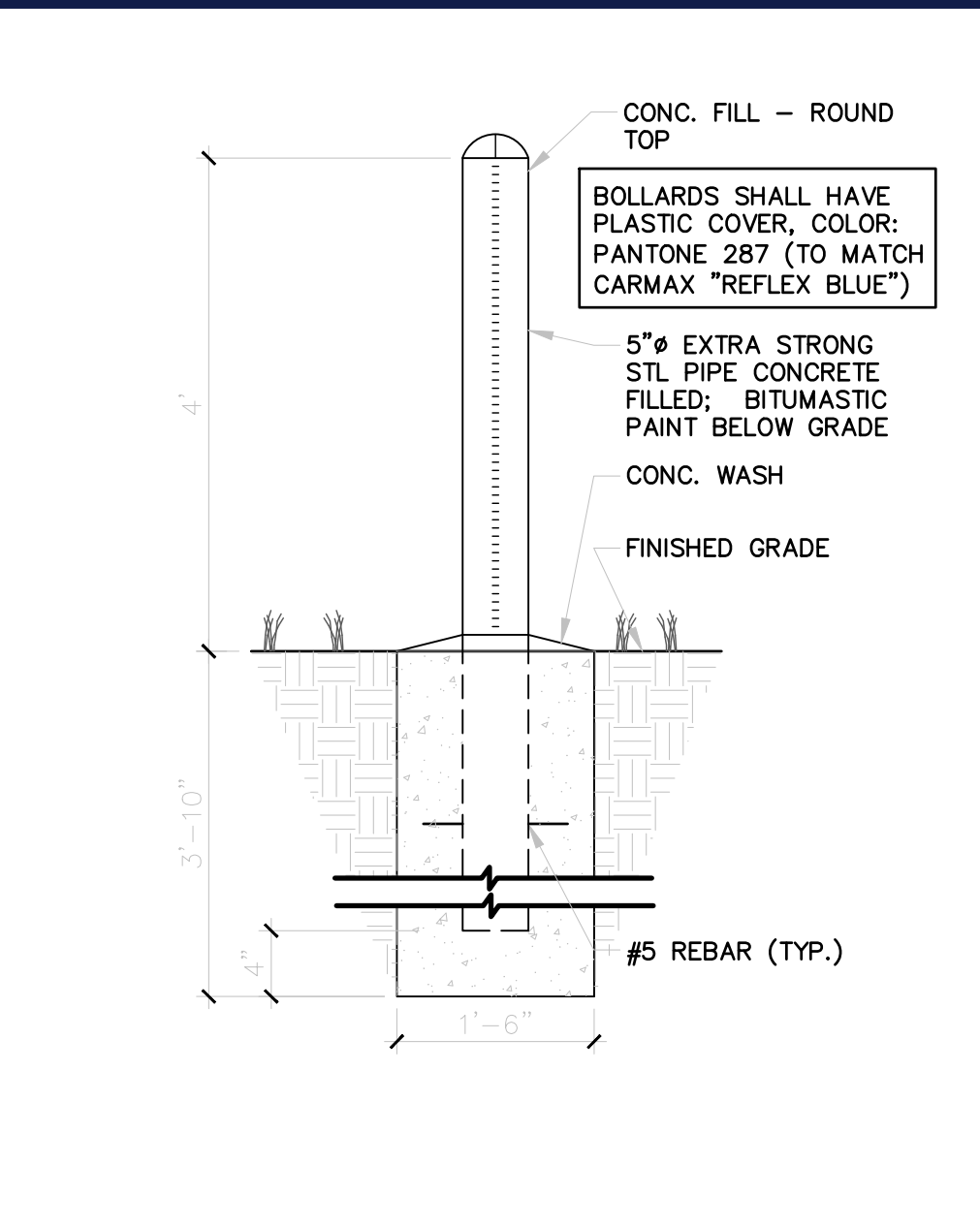
ACCESSIBLE / NO PARKING SIGN DETAILS

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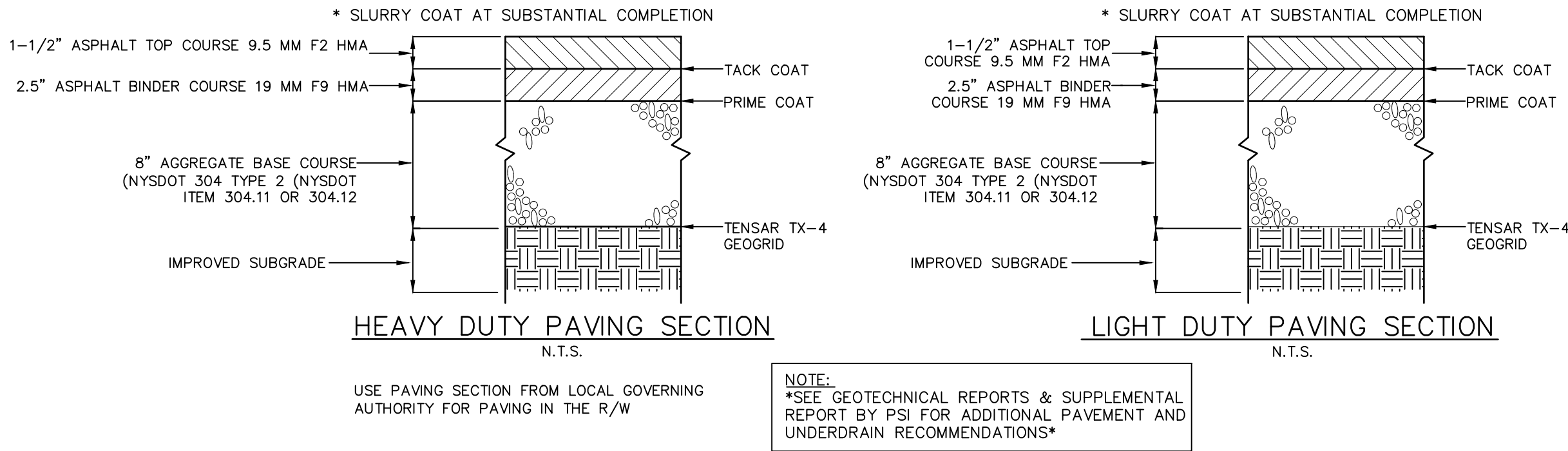
TYPICAL ON-SITE METAL SIGN POSTS

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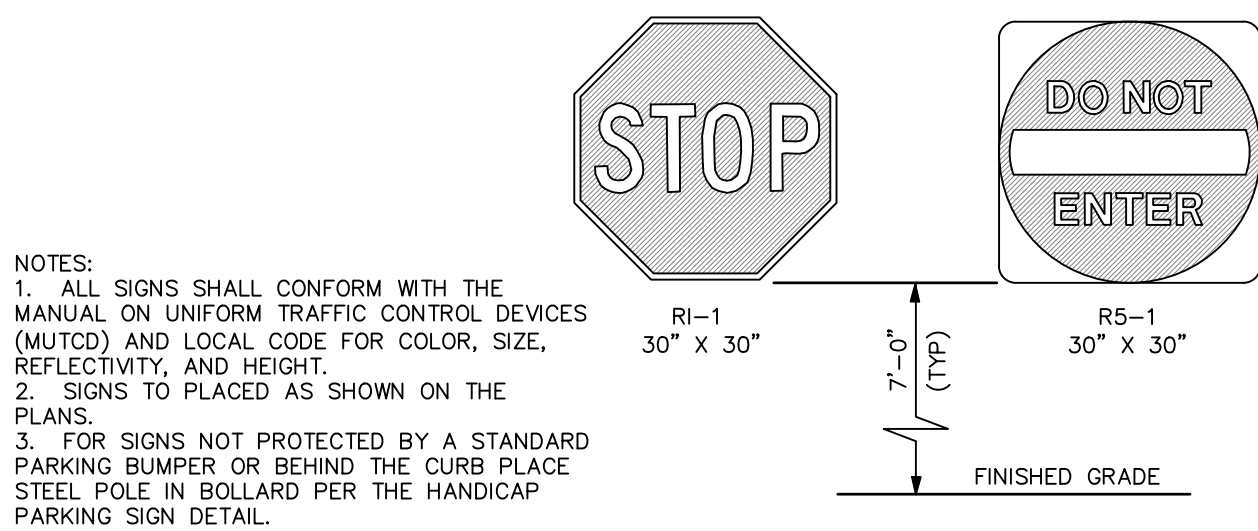
SITE POST/ BOLLARD DETAIL

N.T.S.



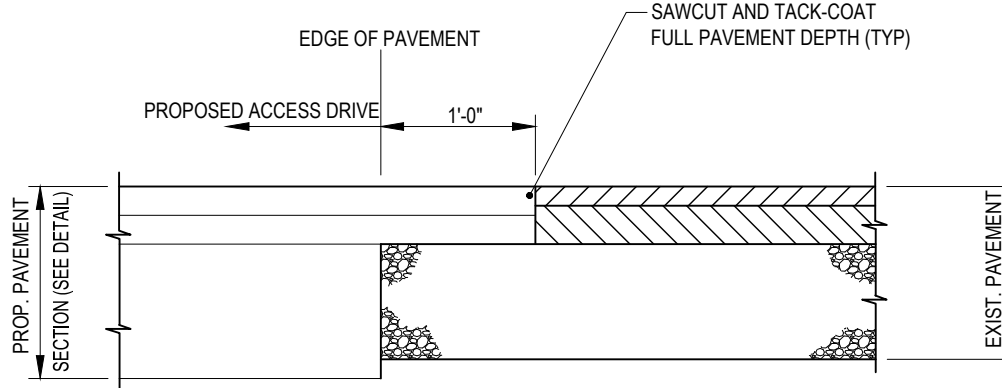
ASPHALT PAVEMENT DETAIL

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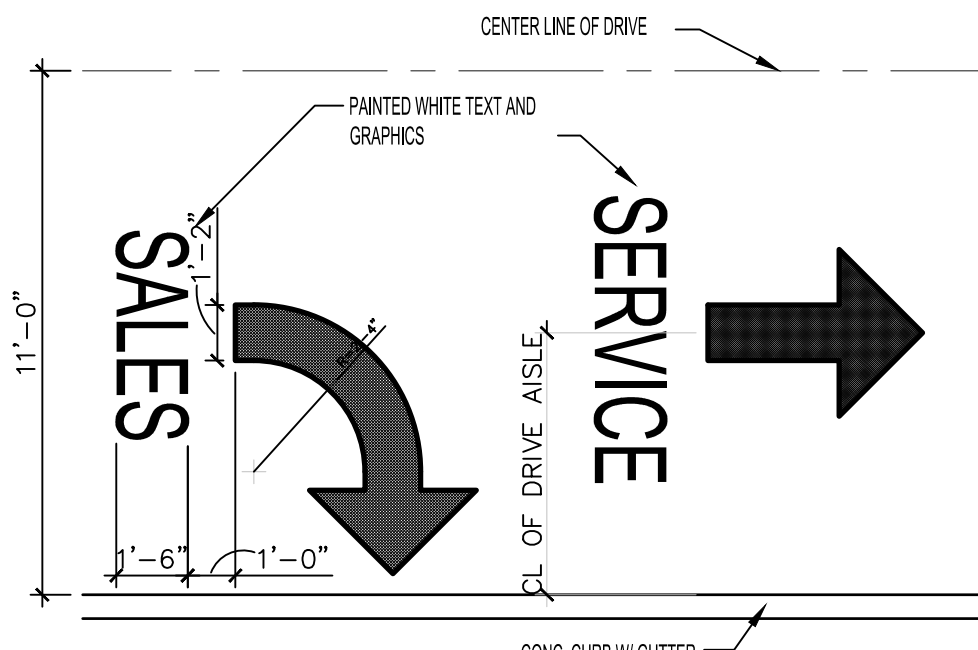
TYPICAL SIGN DETAILS

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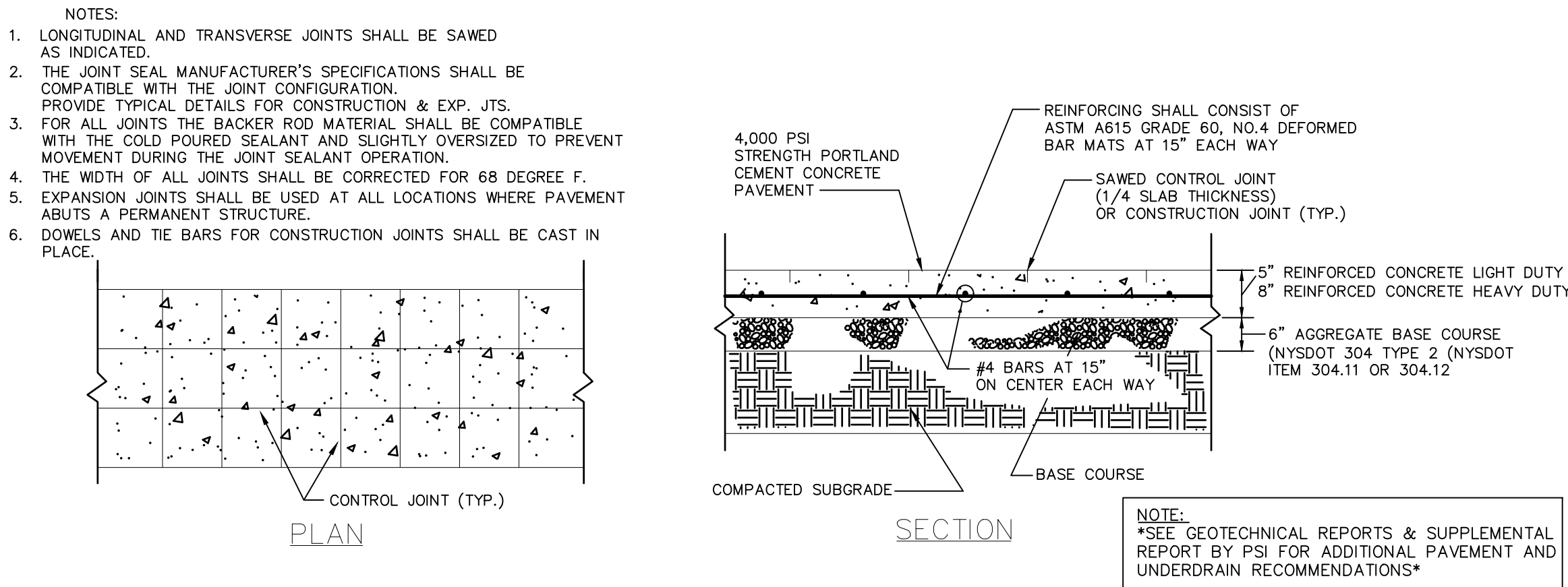
TYPICAL PAVEMENT TIE IN DETAIL

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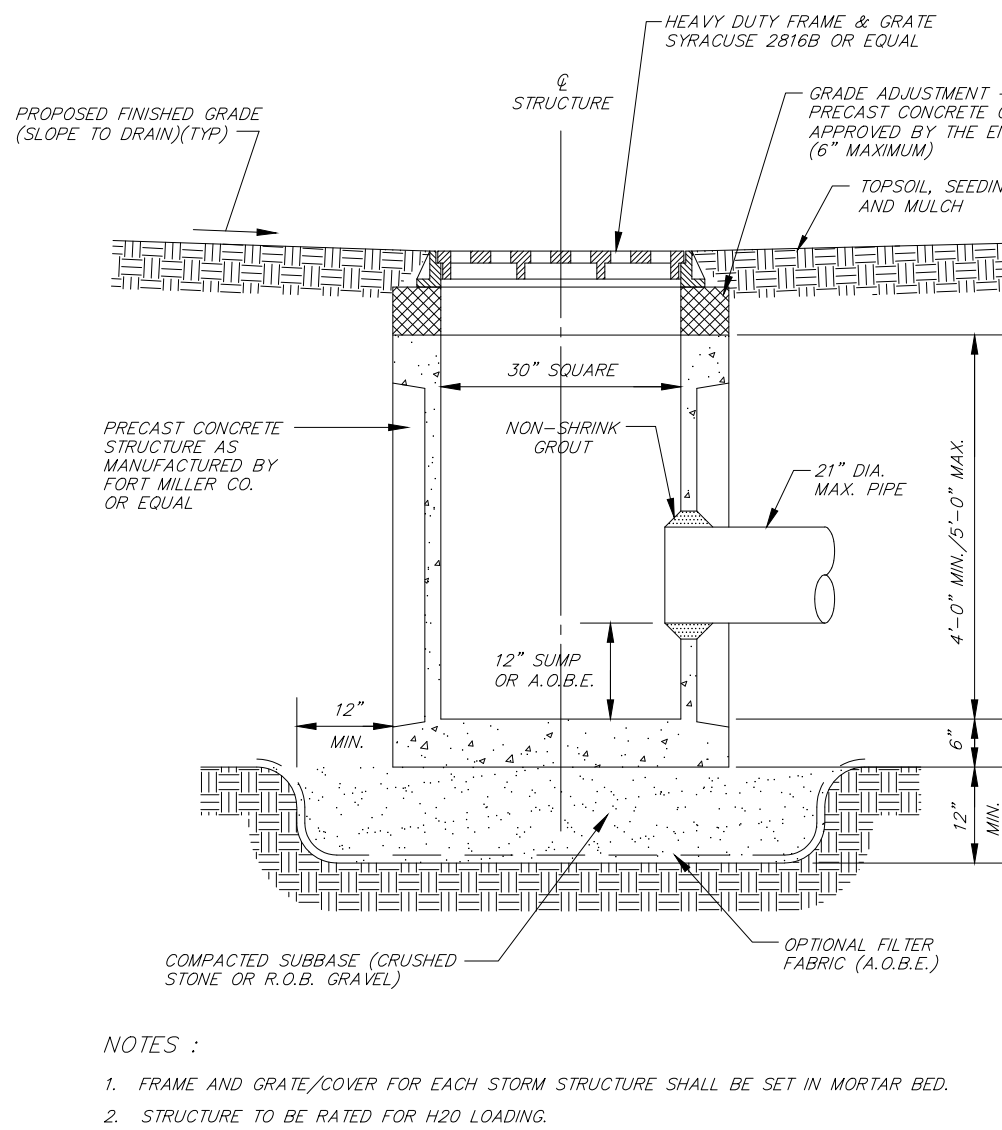
DIRECTIONAL SIGNAGE DETAIL

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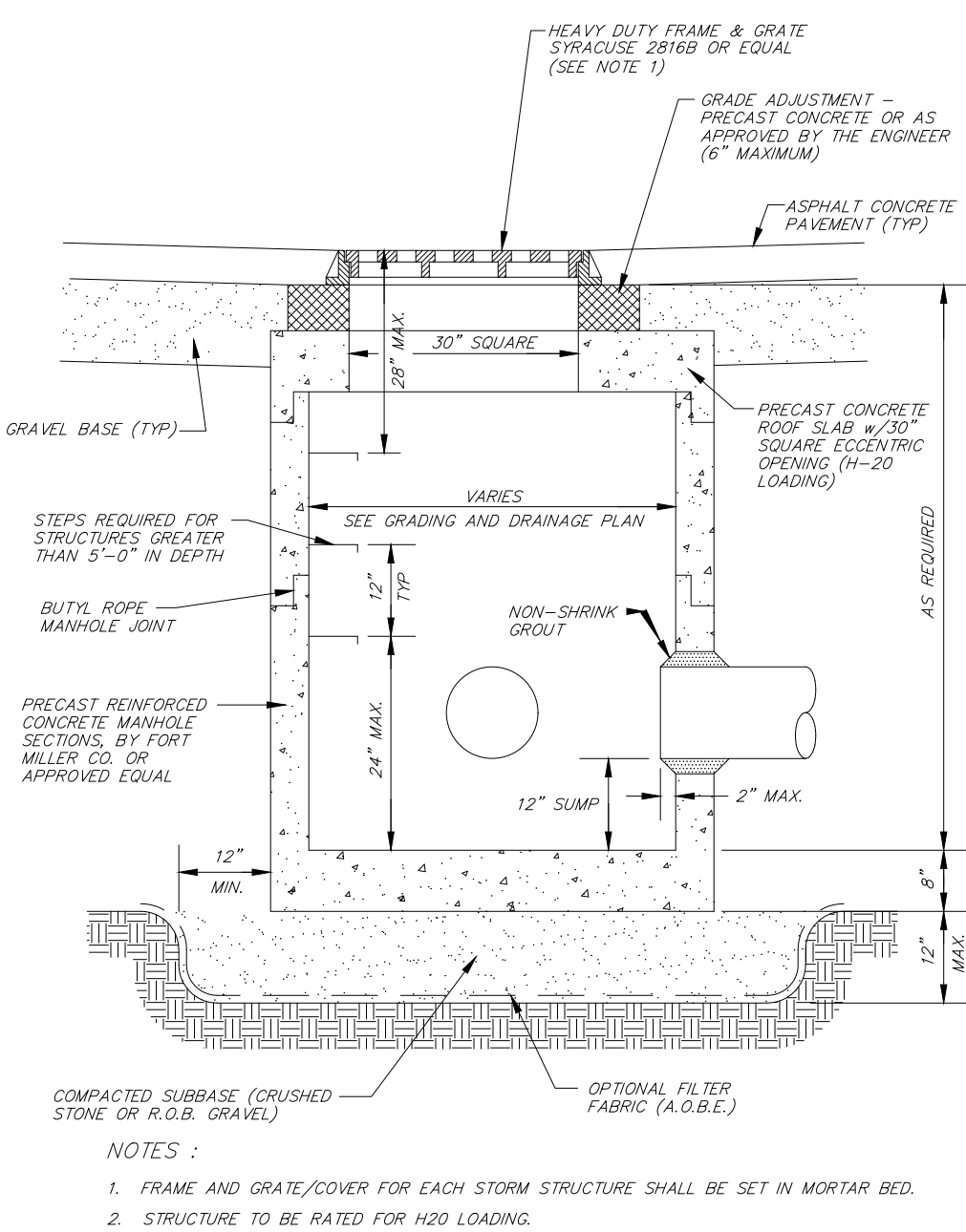
CONCRETE PAVEMENT DETAIL

N.T.S.



PRECAST CONCRETE CATCH BASIN DETAIL

N.T.S.



PRECAST CONCRETE STORM MANHOLE DETAIL

N.T.S.

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PROJECT No.: B210118
DRAWN BY: MDL
CHECKED BY: RWO
DATE: 09/01/2021
CAD ID: B210118SS00

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

CARMAX AUTO SUPERSTORES, INC.

PROPOSED DEVELOPMENT

SEC. 6156-02- PARCEL 664986
1105-1115 ROUTE 9
TOWN OF WAPPINGER
DUTCHESS COUNTY,
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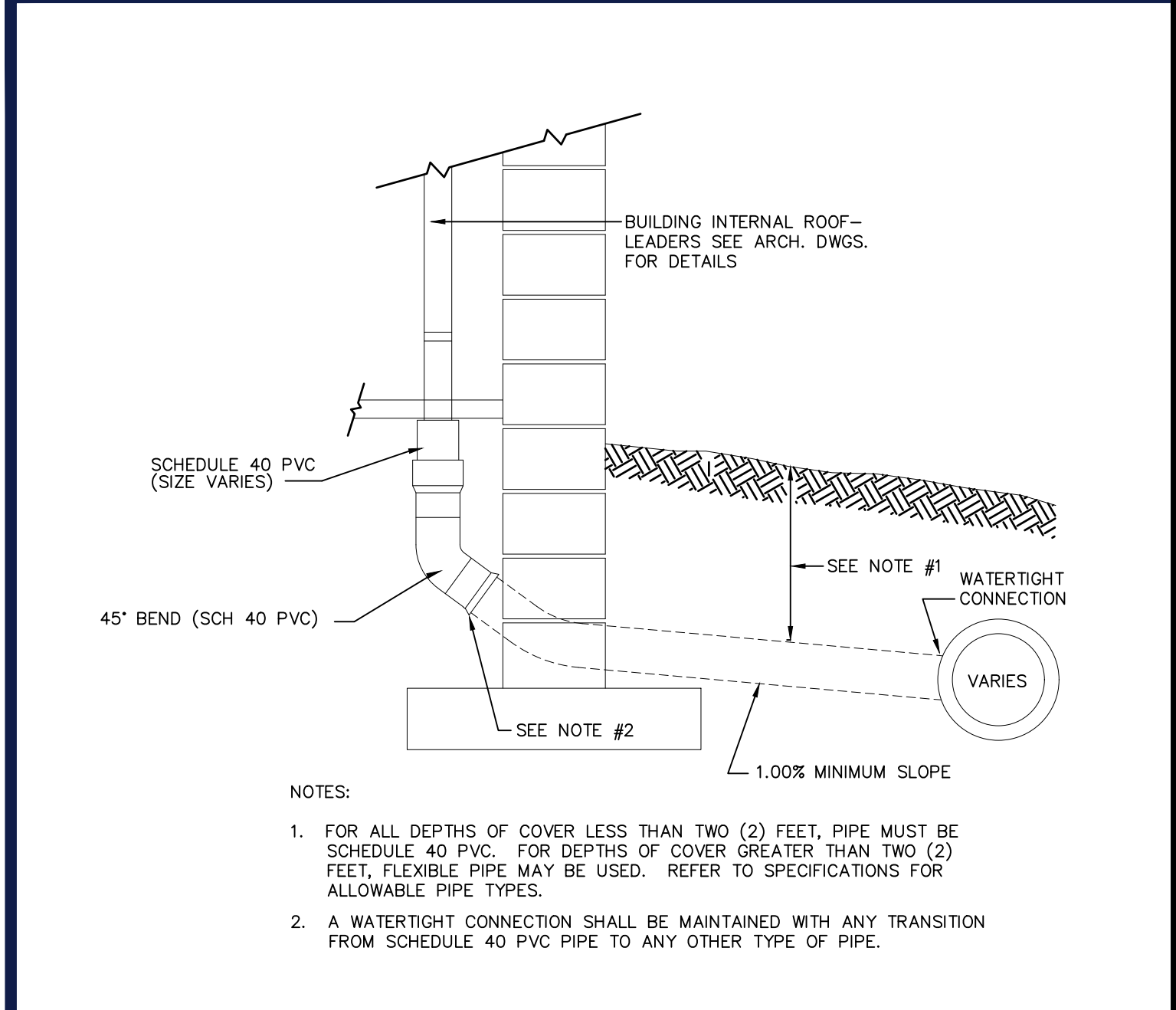
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DETAIL SHEET

SHEET NUMBER:

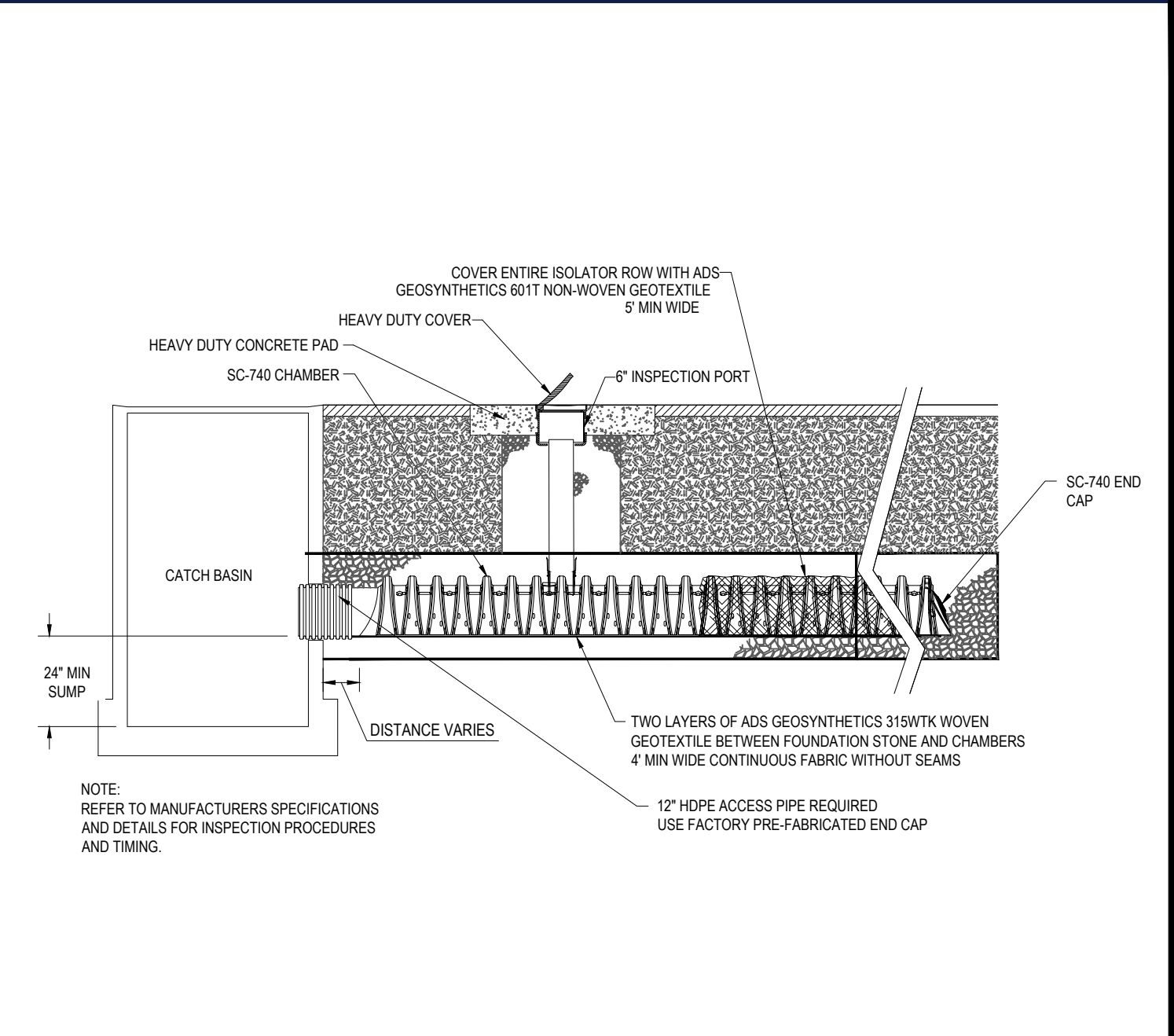
C-902

REVISION 7 - 3/1/2022



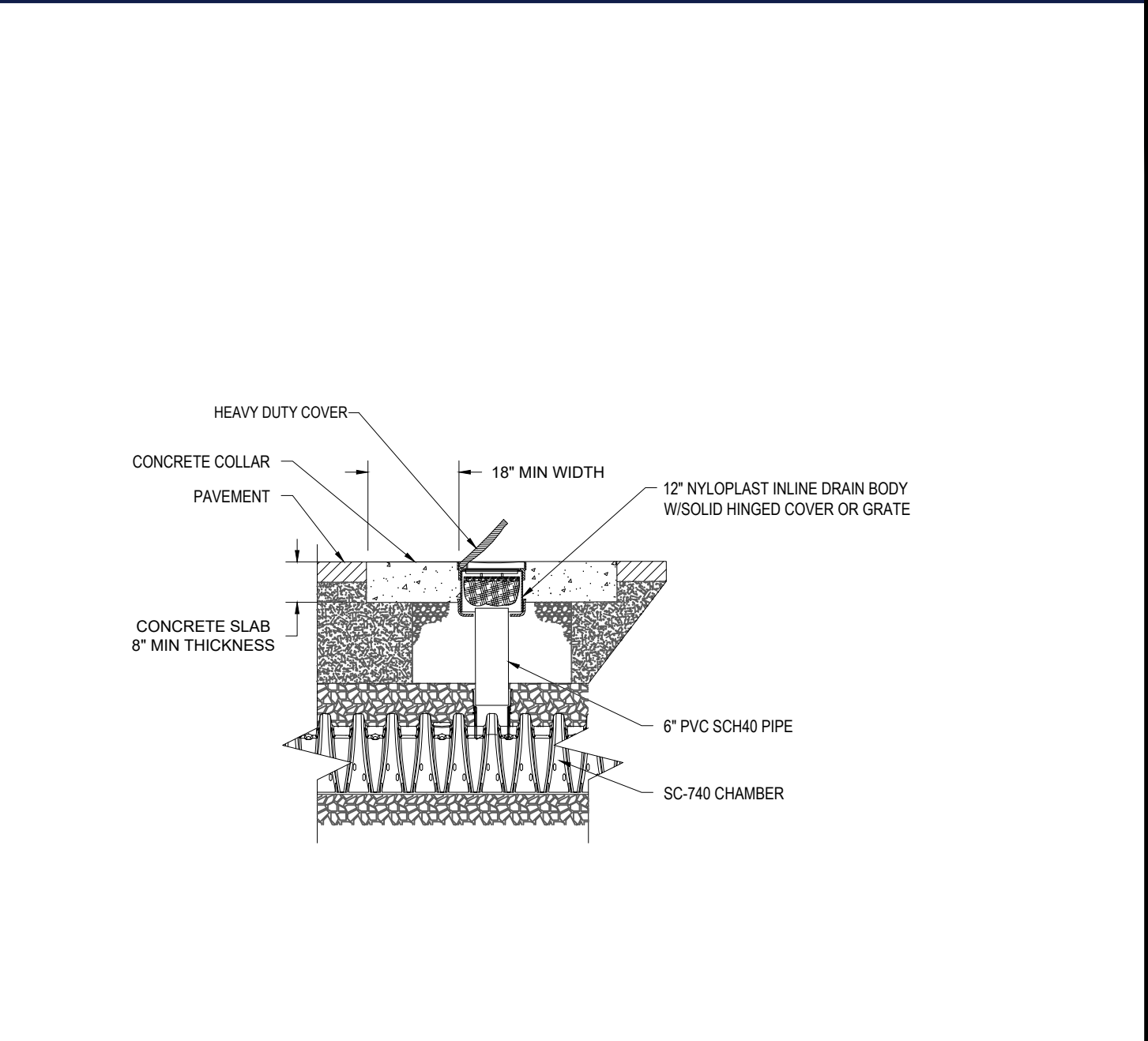
INTERNAL ROOF-LEADER COLLECTOR DETAIL

N.T.S.



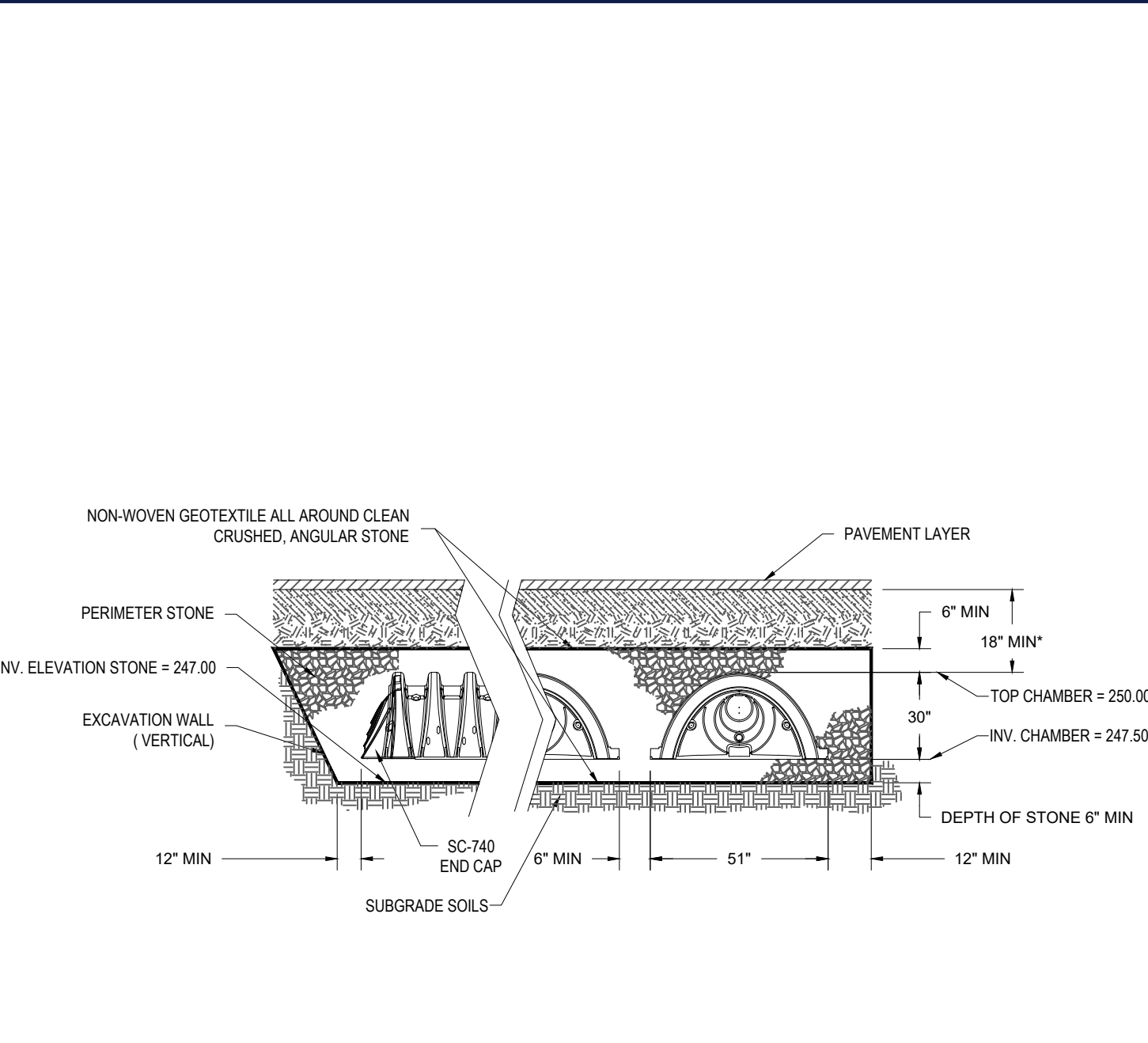
SC- 740 ISOLATOR ROW DETAIL

N.T.S.



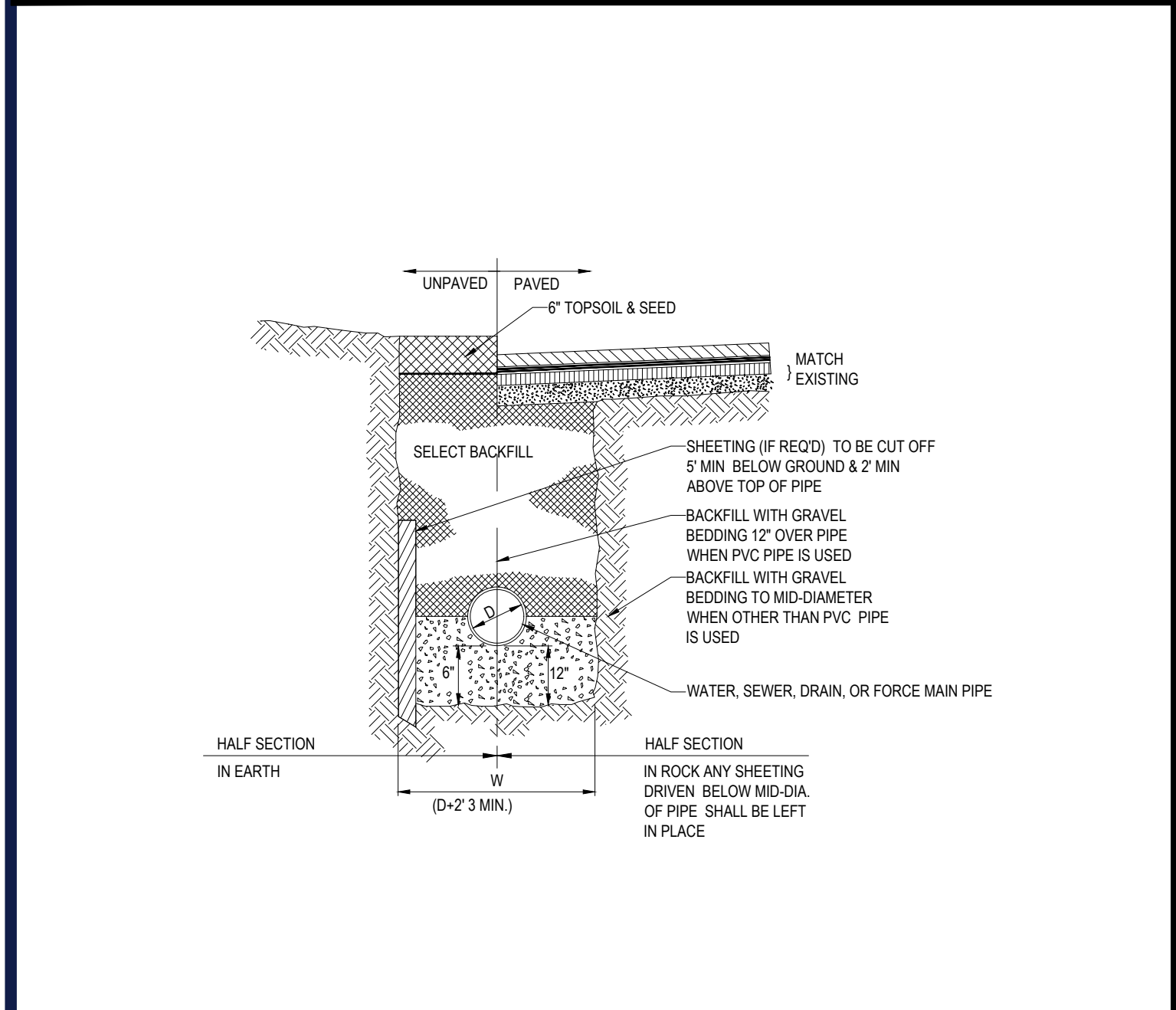
SC-740 6" INSPECTION PORT DETAIL

N.T.S.



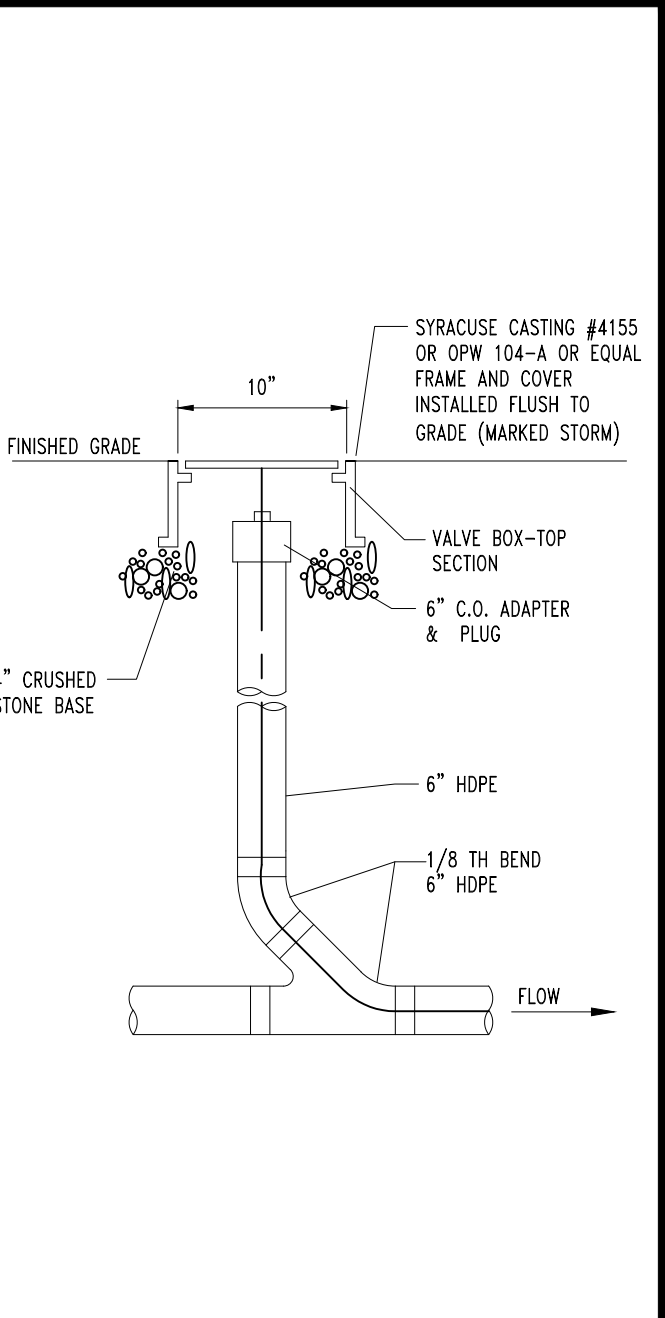
STORMTECH SC-740 CHAMBER SYSTEM #1

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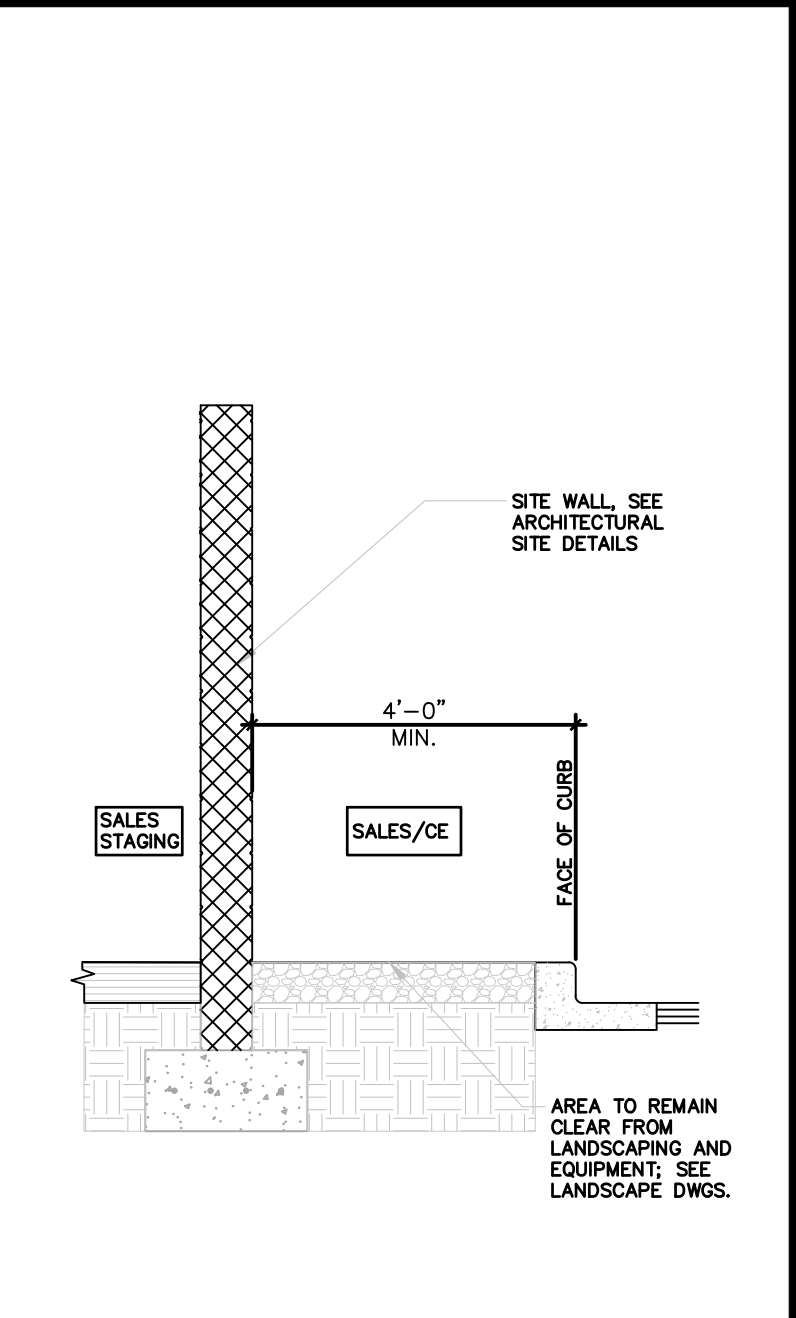
TYPICAL UTILITY TRENCH

N.T.S.



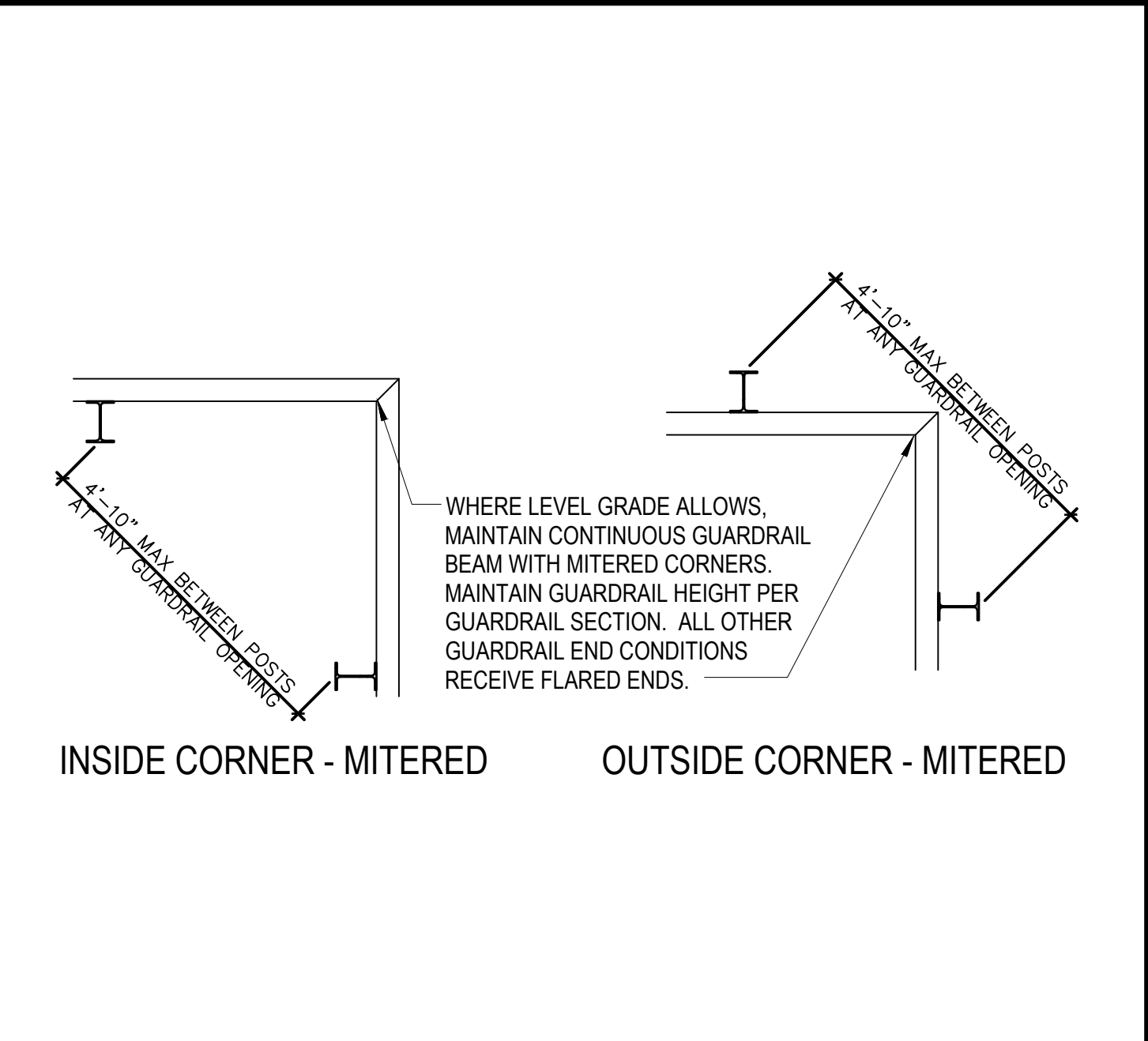
STORM LINE CLEANOUT

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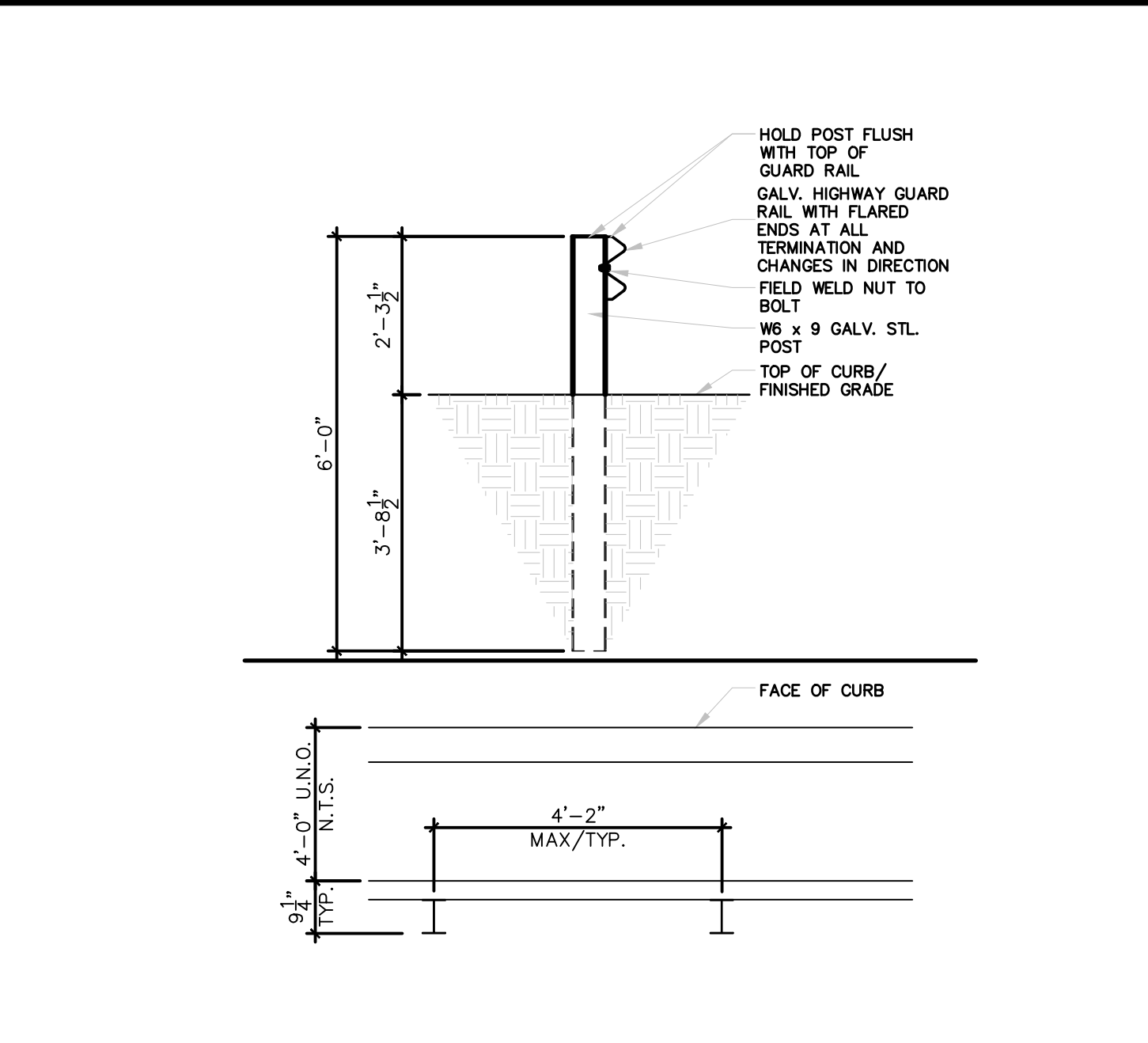
SALES STAGING WALL SECTION

N.T.S.



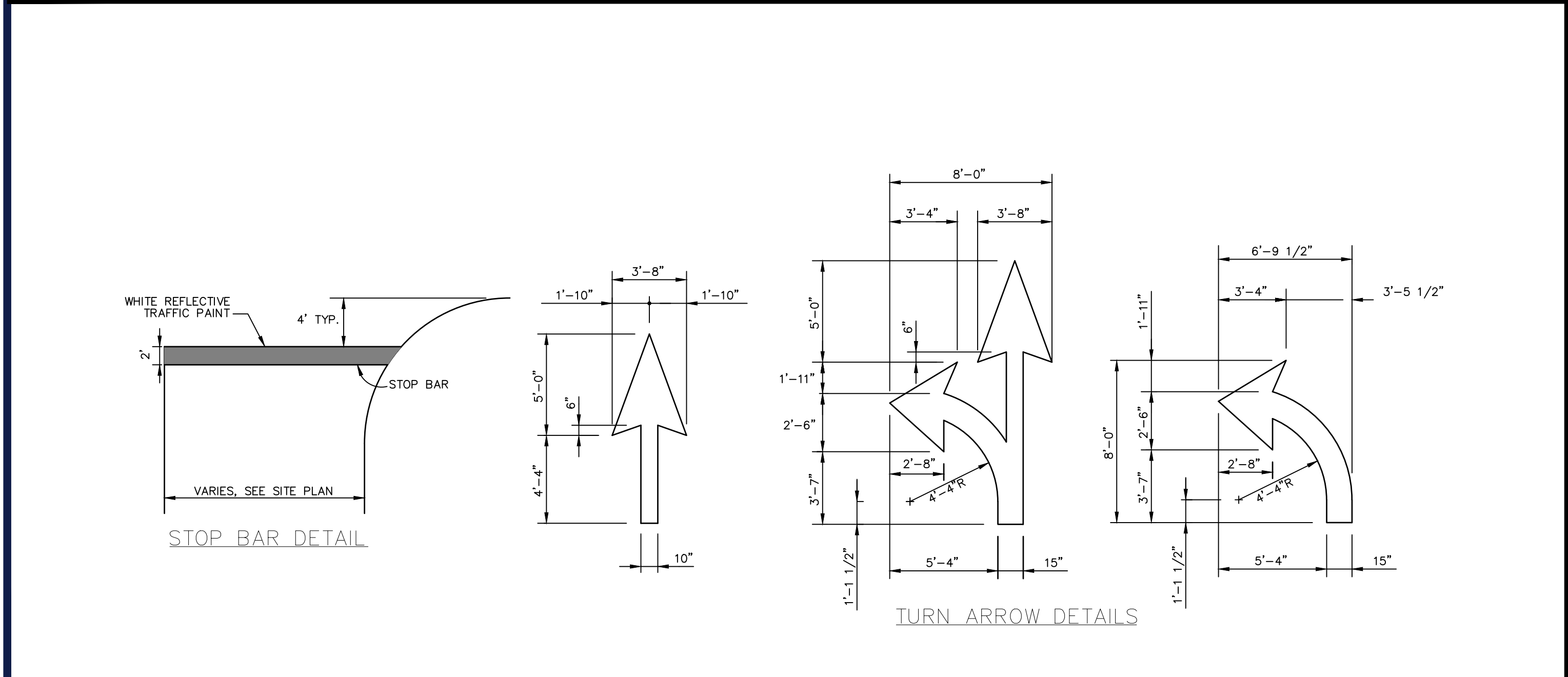
GUIDE RAIL CORNER DETAIL

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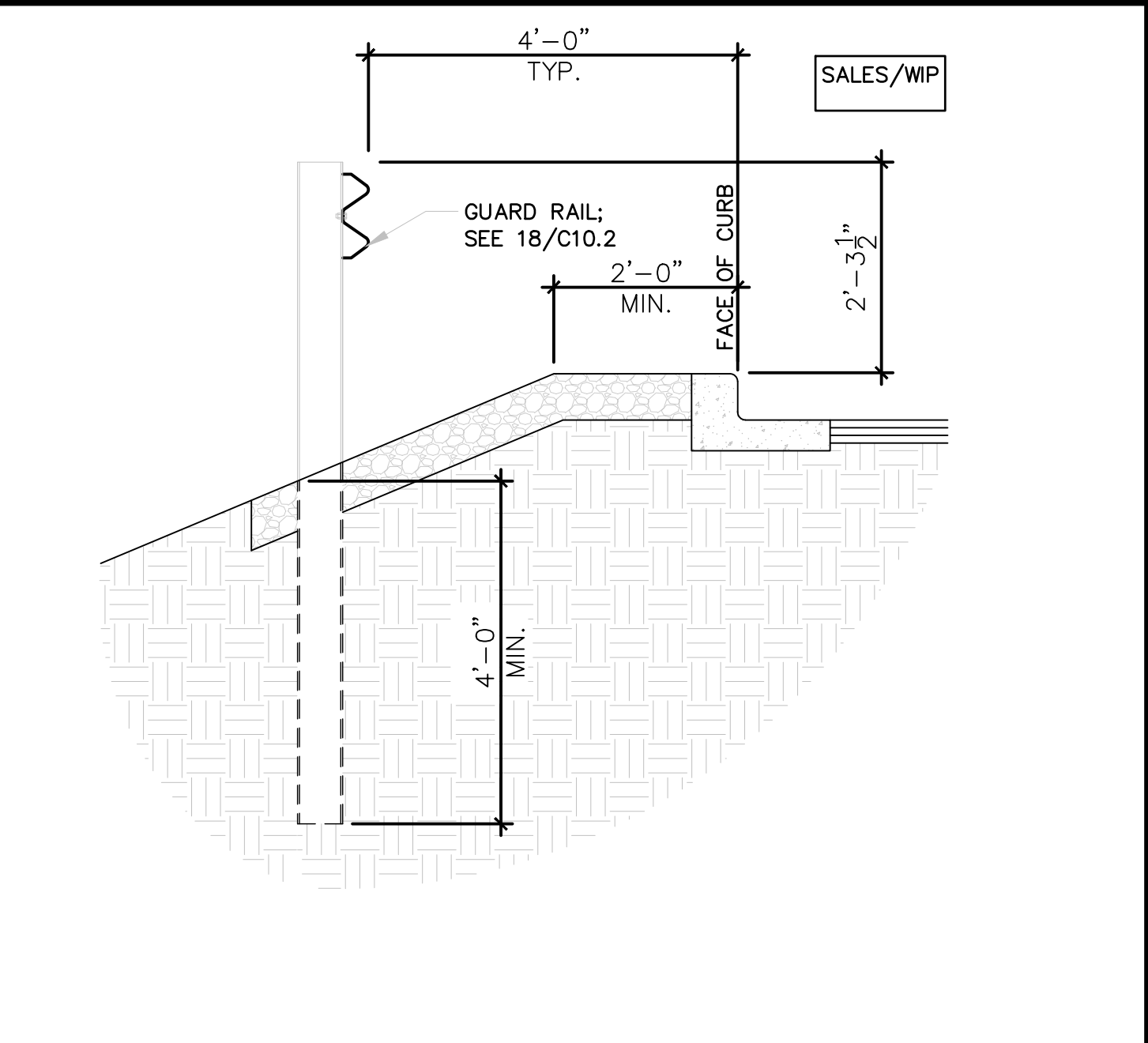
GUIDE RAIL DETAIL

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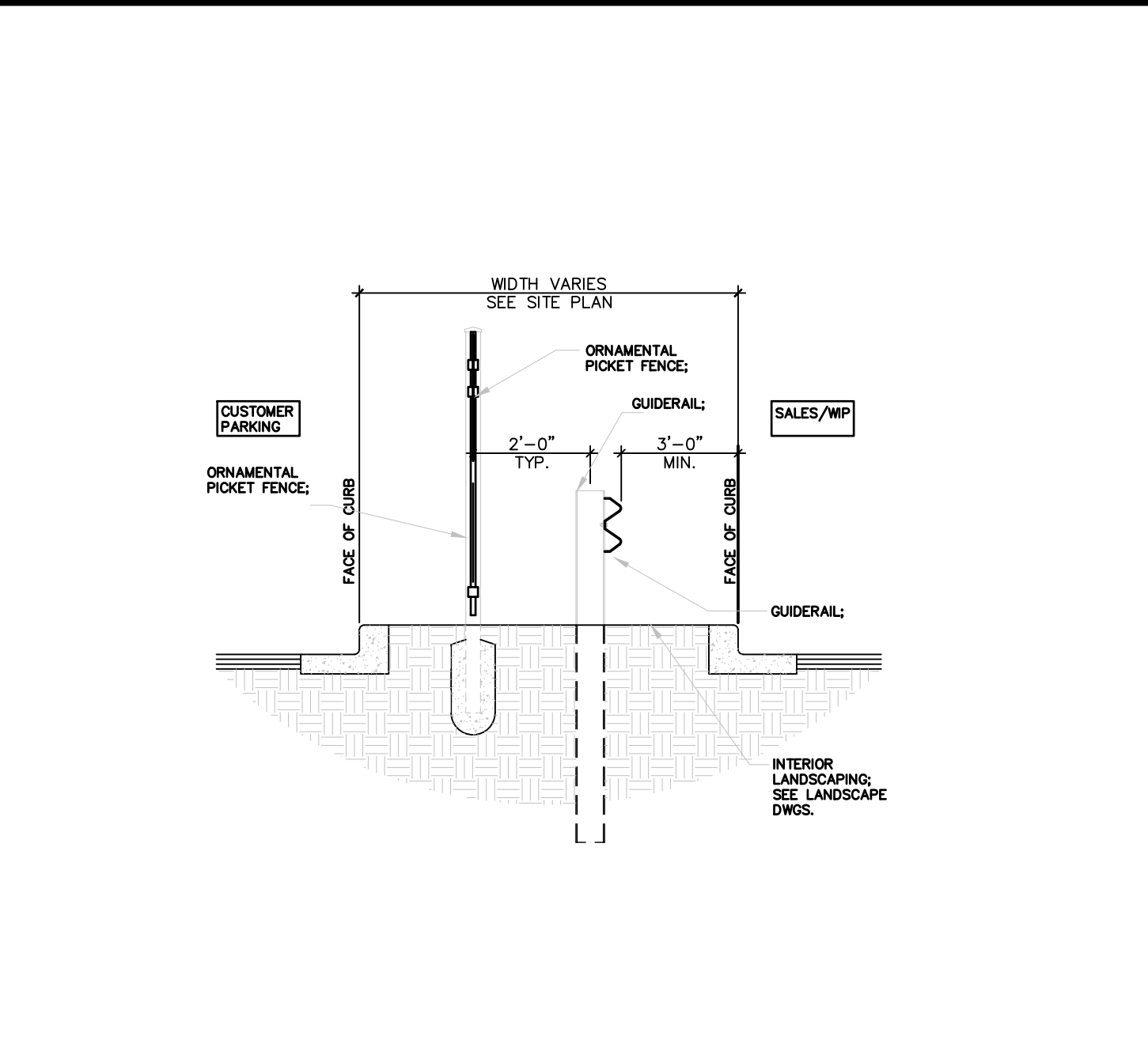
TYPICAL PAVEMENT MARKINGS

N.T.S.



SECTION-GUARD RAIL

N.T.S.



GUIDE RAIL/ FENCE DETAIL

N.T.S.

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SHEET TITLE:

DETAIL SHEET

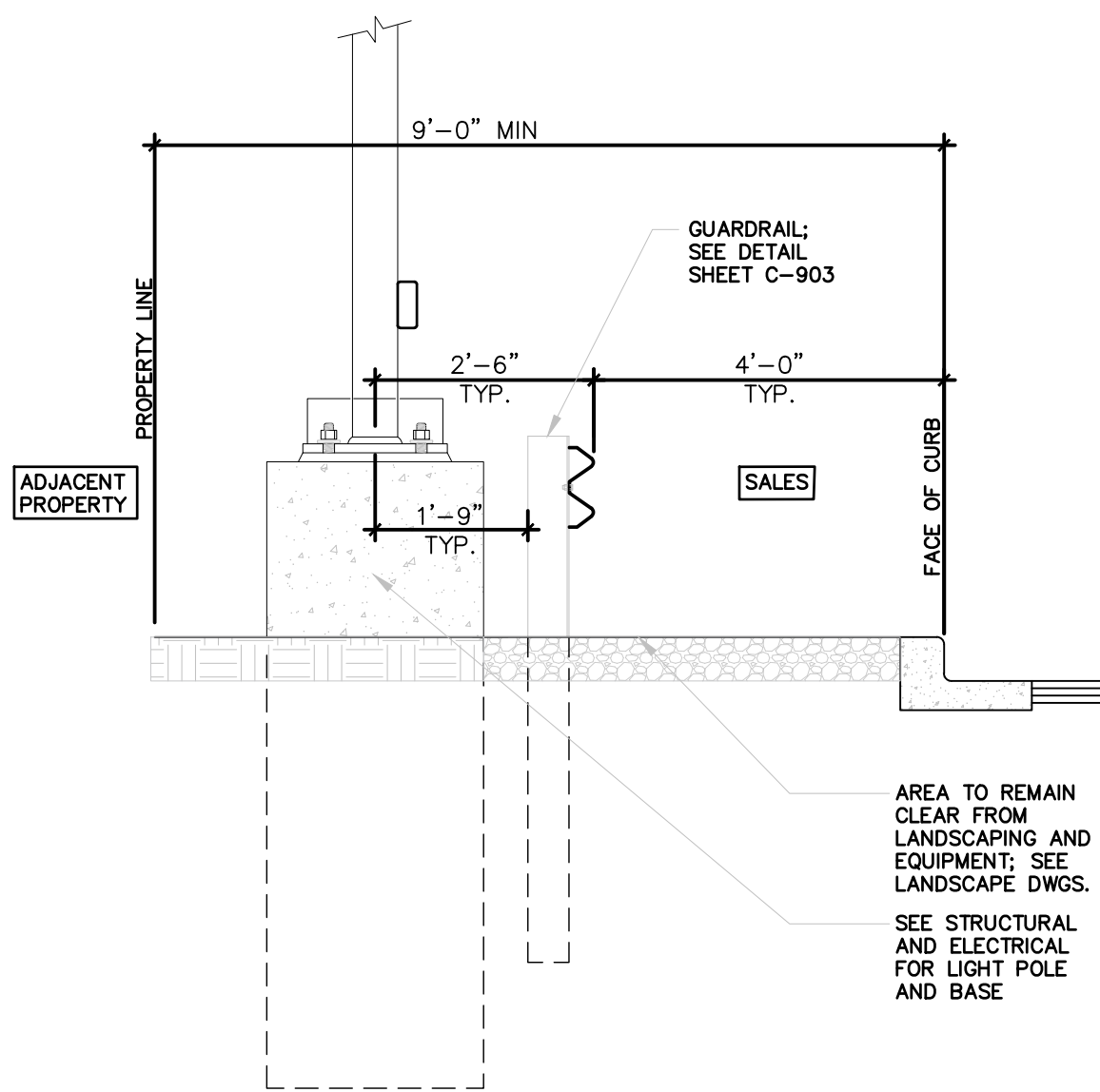
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C-903

REVISION 7 - 3/1/2022

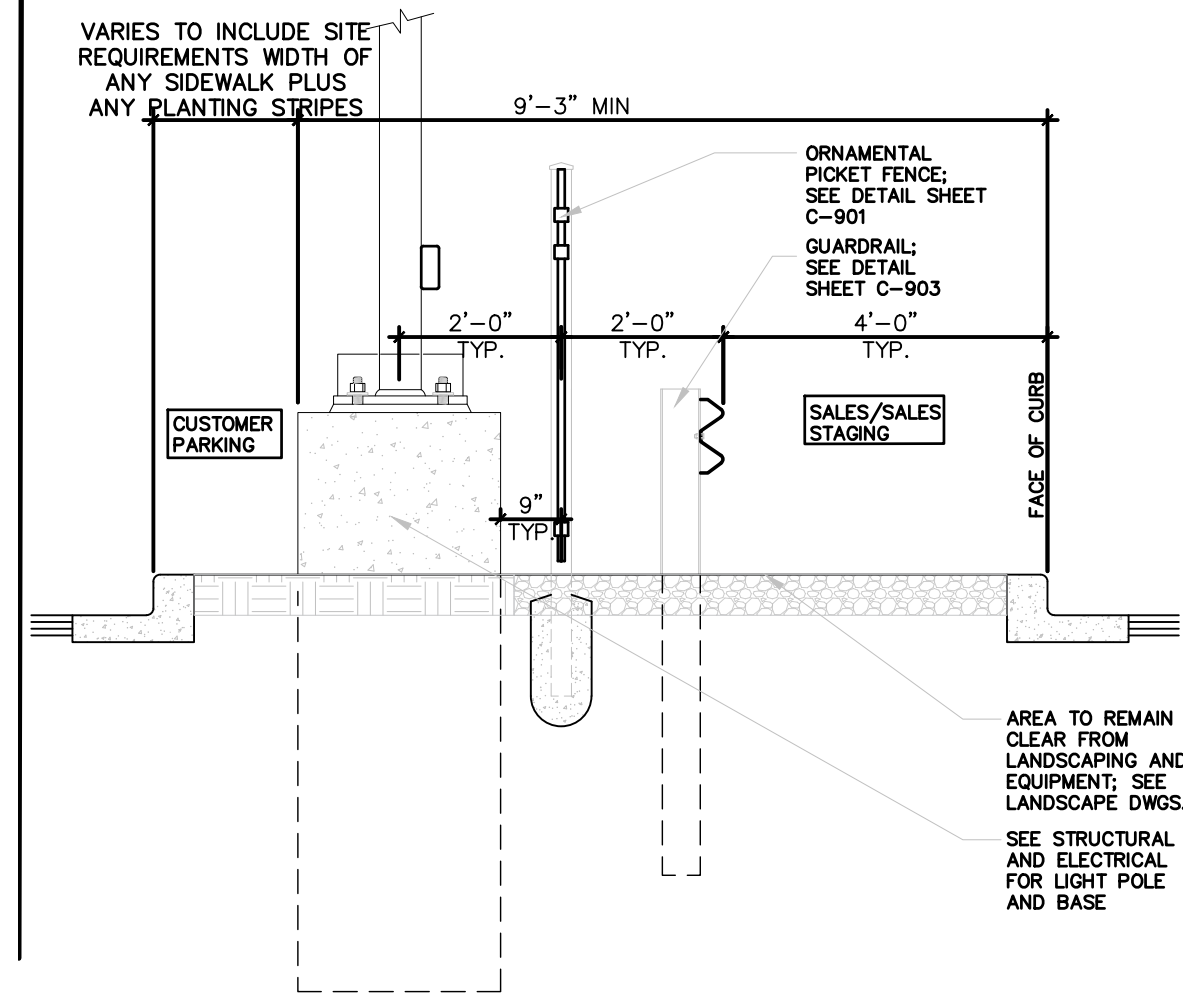
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SECTION- SALES STAGING
LOT AT PROPERTY LINE

N.T.S.



SECTION- SALES AND C/E
PARKING

N.T.S.

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SHEET TITLE:

**DETAIL
SHEET**

SHEET NUMBER:

C-904

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