

PRELIMINARY AMENDED SITE PLAN

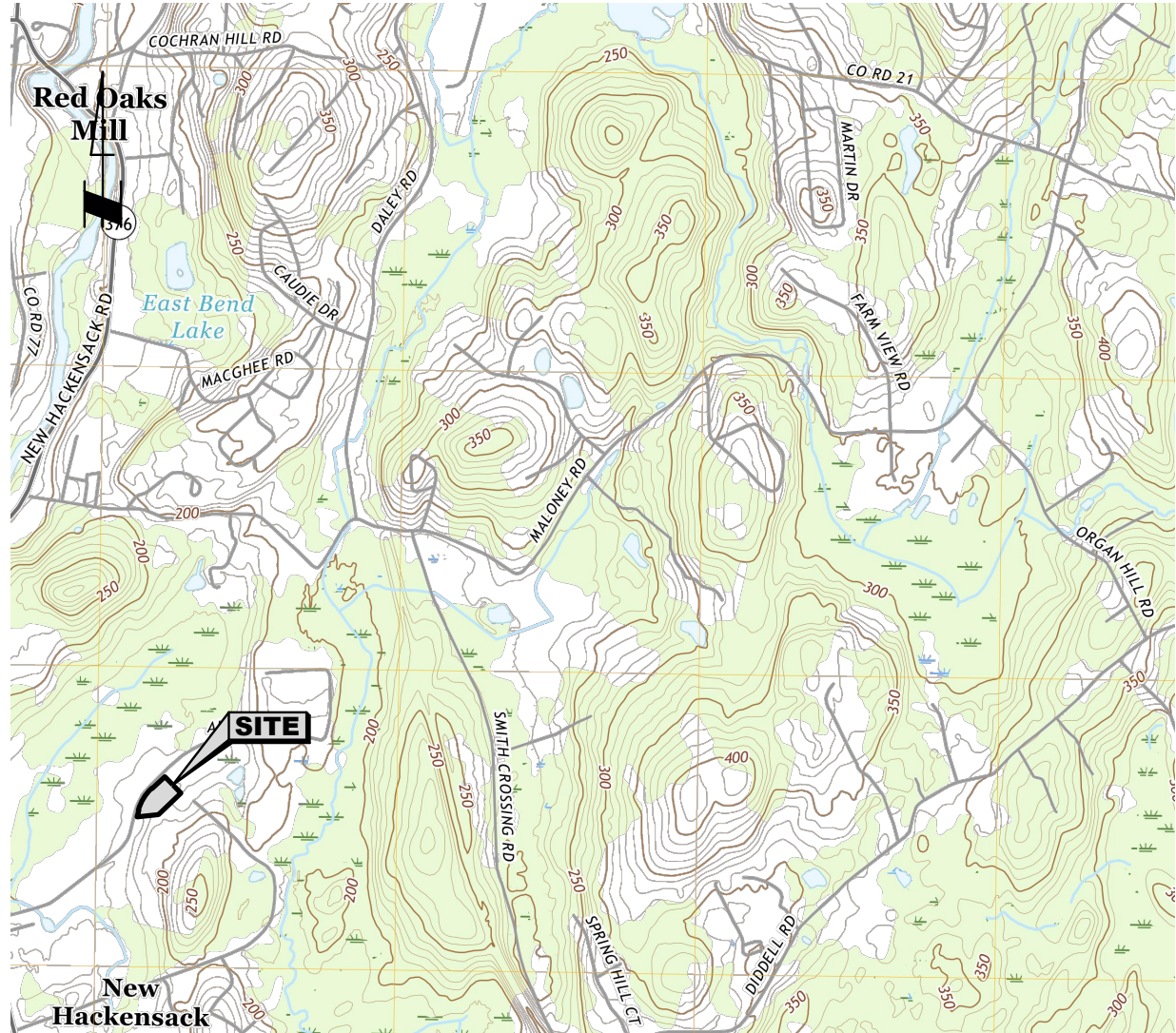
FOR

LOCUST TREES RESIDENTIAL PROPERTIES, LLC LANDSCAPE BUSINESS

TOWN OF WAPPINGER, DUTCHESS COUNTY, NY

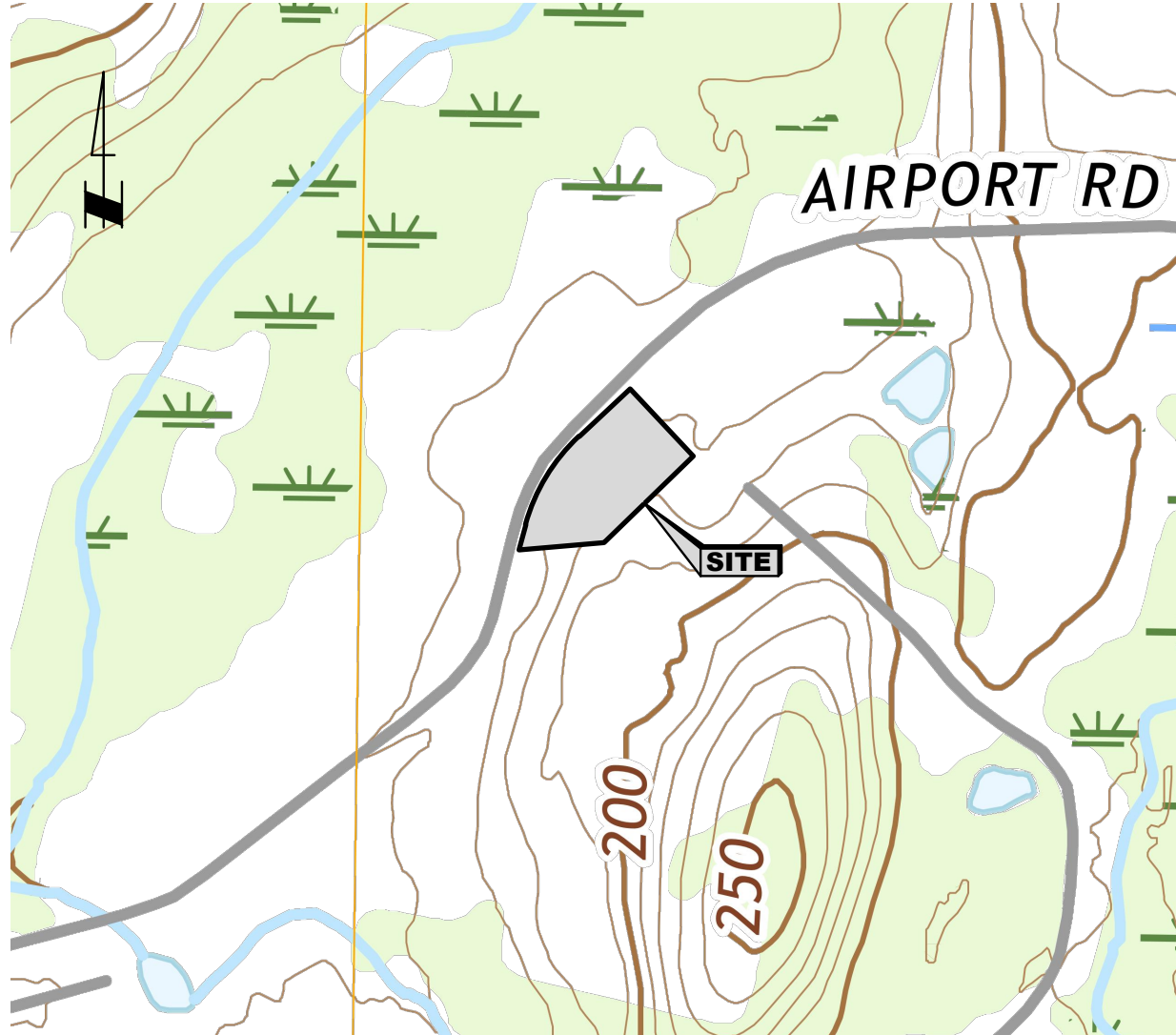
GENERAL NOTES

1. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT.
2. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. ALL UTILITIES HAVE BEEN IDENTIFIED BASED ON THE BEST AVAILABLE INFORMATION AND LISTED ON THESE PLANS IN ACCORDANCE WITH ACT 187 REQUIREMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION, INCLUDING LANDSCAPING, SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING THE SAFE FLOW OF TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND THE EXISTING ROAD RIGHTS-OF-WAY WHILE ENTERING AND LEAVING THE SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
5. ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND TO THE STANDARDS OF THE MUNICIPAL ORDINANCES.
6. THERE SHALL BE NO CHANGES OR DEVIATION FROM THESE PLANS UNLESS APPROVED BY THE ENGINEER. SUCH PLAN CHANGES, SHOULD THEY BECOME NECESSARY, ARE SUBJECT TO APPROVAL BY THE TOWN OF WAPPINGERS FALLS ENGINEER.
7. THE CONTRACTOR SHALL INSPECT EXISTING SITE/PROJECT AREA CONDITIONS AND VERIFY ALL QUANTITIES AND MATERIALS PRIOR TO THE START OF CONSTRUCTION.



SITE LOCATION MAP

SOURCE: PLEASANT VALLEY USGS
QUAD SCALE: 1" = 2000'



AREA MAP

QUAD SCALE: 1" = 500'

SITE INFORMATION

TAX MAP NUMBER	6259-04-679493
TOTAL AREA	2.47± ACRES
LAND OWNER / DEVELOPER	LOCUST TREE RESIDENTIAL PROPERTIES, LLC 80 AIRPORT DRIVE WAPPINGERS FALLS, NY 12590
SITE ADDRESS:	80 AIRPORT DRIVE TOWN OF WAPPINGER DUTCHESS COUNTY, NY
EXISTING USE	LANDSCAPE BUSINESS
PROPOSED USE	LANDSCAPE BUSINESS

REFERENCE MAPS

1. EXISTING CONDITIONS SURVEY PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS, LLP, DATED JANUARY 27, 2021.

BULK TABLE REQUIREMENTS

AI - AIRPORT INDUSTRY

USE: LANDSCAPE BUSINESS	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	2.47 ACRES	NO CHANGE
MINIMUM LOT WIDTH	200 FT	500± FT	NO CHANGE
MINIMUM LOT DEPTH	200 FT	251± FT	NO CHANGE
MINIMUM LOT FRONTAGE	150 FT	543 FT	NO CHANGE
MINIMUM FRONT YARD	100 FT	99 FT	NO CHANGE
MINIMUM REAR YARD	50 FT	83 FT	NO CHANGE
MINIMUM REAR YARD (ACCESSORY BLDG)	50 FT	7.6 FT	NO CHANGE
MINIMUM SIDE YARD	50 FT	128 FT	NO CHANGE
MINIMUM SIDE YARD (ACCESSORY BLDG)	50 FT	5.1 FT	NO CHANGE
MAXIMUM BUILDING HEIGHT	35 FT/2.5 STYS.	<35 FT/2.5 STYS	NO CHANGE
MAXIMUM BUILDING COVERAGE	20% / 21,519 SF	9,016 SF BLDG/ 3,192 SF ACCESSORY BLDG/ 12,208 SF TOTAL (11.3%)	NO CHANGE
MAXIMUM IMPERVIOUS	75% / 80,695 SF	51.0%/54,870 SF	54.4%/59,900 SF
PARKING	1/EMPLOYEE OR 1/1,000 SF = 15 (15 OFFICE EMPLOYEES)	38	43

VARIANCE NOTES

THE TOWN OF WAPPINGER ZONING BOARD OF APPEALS APPROVED THE FOLLOWING VARIANCES ON 3/8/2022:
1. SAND STORAGE STRUCTURE SIDE YARD SETBACK = 5.1 FT; REAR YARD SETBACK = 7.6 FT
2. THREE (3) POLY STORAGE TANKS REAR YARD SETBACK = 10 FT

TOWN OF WAPPINGER PLANNING BOARD SITE PLAN APPROVAL WAPPINGERS FALLS, NEW YORK

THE SITE PLAN FOR THE PROPERTY AS DEPICTED HEREON WAS APPROVED BY THE TOWN OF WAPPINGER PLANNING BOARD AT A MEETING HELD ON _____ AND THE CONDITIONS OF THE SITE PLAN APPROVAL HAVE BEEN SATISFIED OR ARRANGEMENTS HAVE BEEN MADE TO ENSURE THE COMPLETION OF ANY OUTSTANDING OR INCOMPLETE CONDITIONS.

CHAIRMAN

DATE

OWNER / APPLICANT SIGNATURES

THE UNDERSIGNED APPLICANT(S) FOR THE PROPERTY AND THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON, CERTIFY THAT THEY ARE FAMILIAR WITH THIS MAP, ITS NOTES AND ITS CONTENTS AS STATED HEREON INCLUDING ALL CONDITIONS OF APPROVAL. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN TO KEEP THIS PREMISES AS PER PLAN APPROVAL BY THE TOWN PLANNING BOARD UNTIL A NEW OR REVISED PLAN FOR DEVELOPMENT OR USE OF THE SITE IS APPROVED BY THE PLANNING BOARD. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE TOWN FOR THE OCCUPANCY AS APPROVED HEREON.

OWNER

DATE

APPLICANT

LIST OF DRAWINGS

- 1 OF 9COVER SHEET
- 2 OF 9EXISTING CONDITIONS/DEMO PLAN
- 3 OF 9SITE PLAN
- 4 OF 9GRADING AND DRAINAGE PLAN
- 5 OF 9EROSION CONTROL PLAN
- 6 OF 9UTILITY PLAN
- 7 OF 9LANDSCAPING PLAN AND NOTES
- 8 OF 9SITE DETAILS
- 9 OF 9SITE DETAILS

TW ENGINEERING, P.C.

P.O. BOX 913
WAPPINGER FALLS, NY 12590
845-594-1529

TROY A. WOJCIEKOFSKY, P.E., LEED-AP CONSULTING ENGINEER

COVER SHEET

FOR

LOCUST TREES RESIDENTIAL PROPERTIES, LLC AMENDED SITE PLAN

80 AIRPORT ROAD

TOWN OF WAPPINGER

DUTCHESS COUNTY, NY

PROJ. No.: TW2101

DATE: FEBRUARY 2021

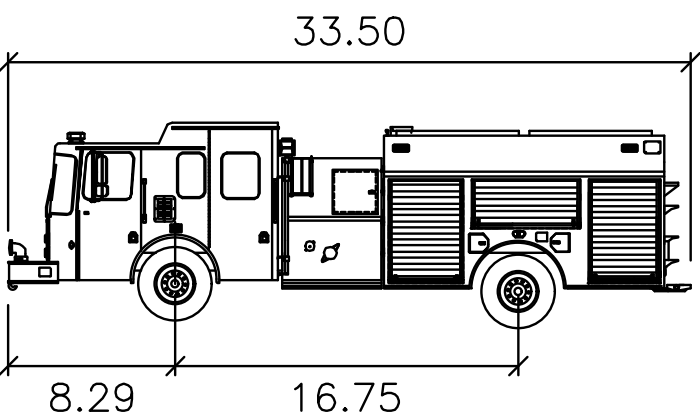
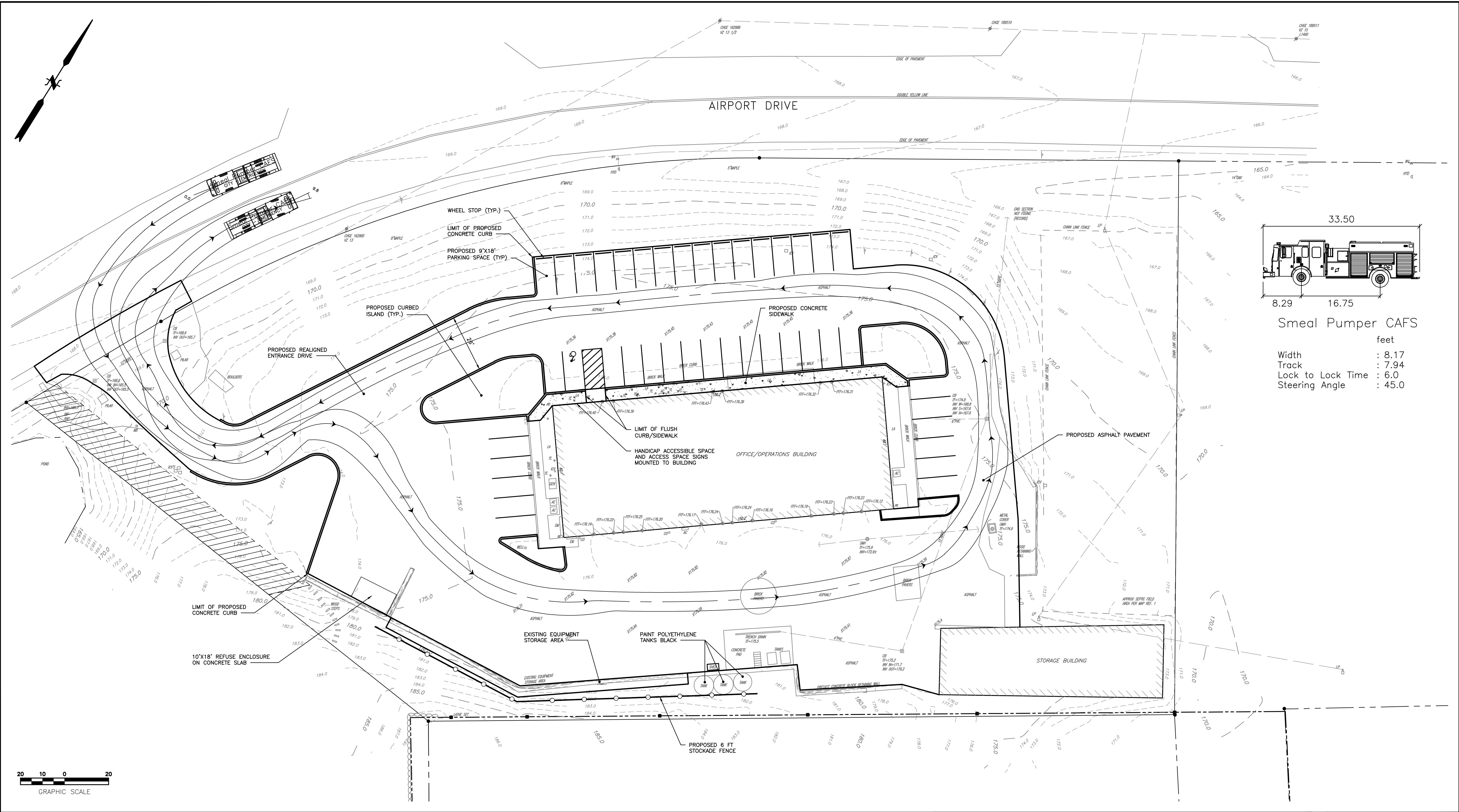
SCALE: NONE

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1 OF 9

3	03/08/22	REVISED PER PB COMMENTS	SHW
2	08/03/21	REVISED PER PB COMMENTS	SHW
1	04/16/21	REVISED PER PB COMMENTS	SHW
No.	DATE	DESCRIPTION	BY
REVISIONS			

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Smeal Pumper CAFS

feet
Width : 8.17
Track : 7.94
Lock to Lock Time : 6.0
Steering Angle : 45.0

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P.O. BOX 913
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TROY A. WOJCIEKOFSKY, P.E., LEED-AP CONSULTING ENGINEER

SITE PLAN

FOR

LOCUST TREES RESIDENTIAL PROPERTIES, LLC AMENDED SITE PLAN

80 AIRPORT ROAD

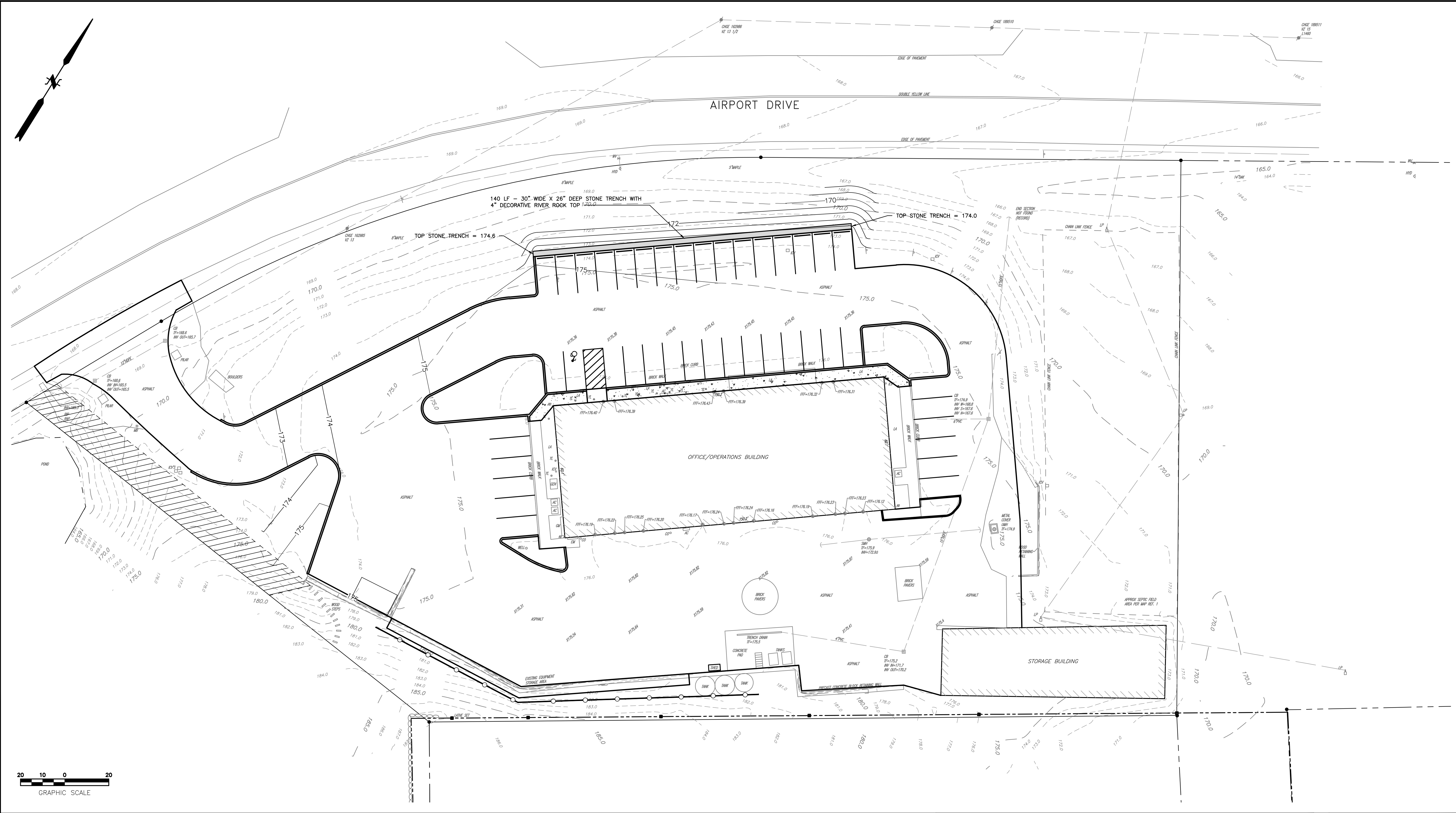
TOWN OF WAPPINGER

DUTCHESS COUNTY, NY

PROJ. No.: TW2101
DATE: FEBRUARY 2021
SCALE: 1" = 20'

C-02

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845-594-1529

TROY A. WOJCIEKOFSKY, P.E., LEED-AP CONSULTING ENGINEER

GRADING AND DRAINAGE PLAN

FOR

LOCUST TREES RESIDENTIAL PROPERTIES, LLC AMENDED SITE PLAN

80 AIRPORT ROAD

TOWN OF WAPPINGER

DUTCHESS COUNTY, NY

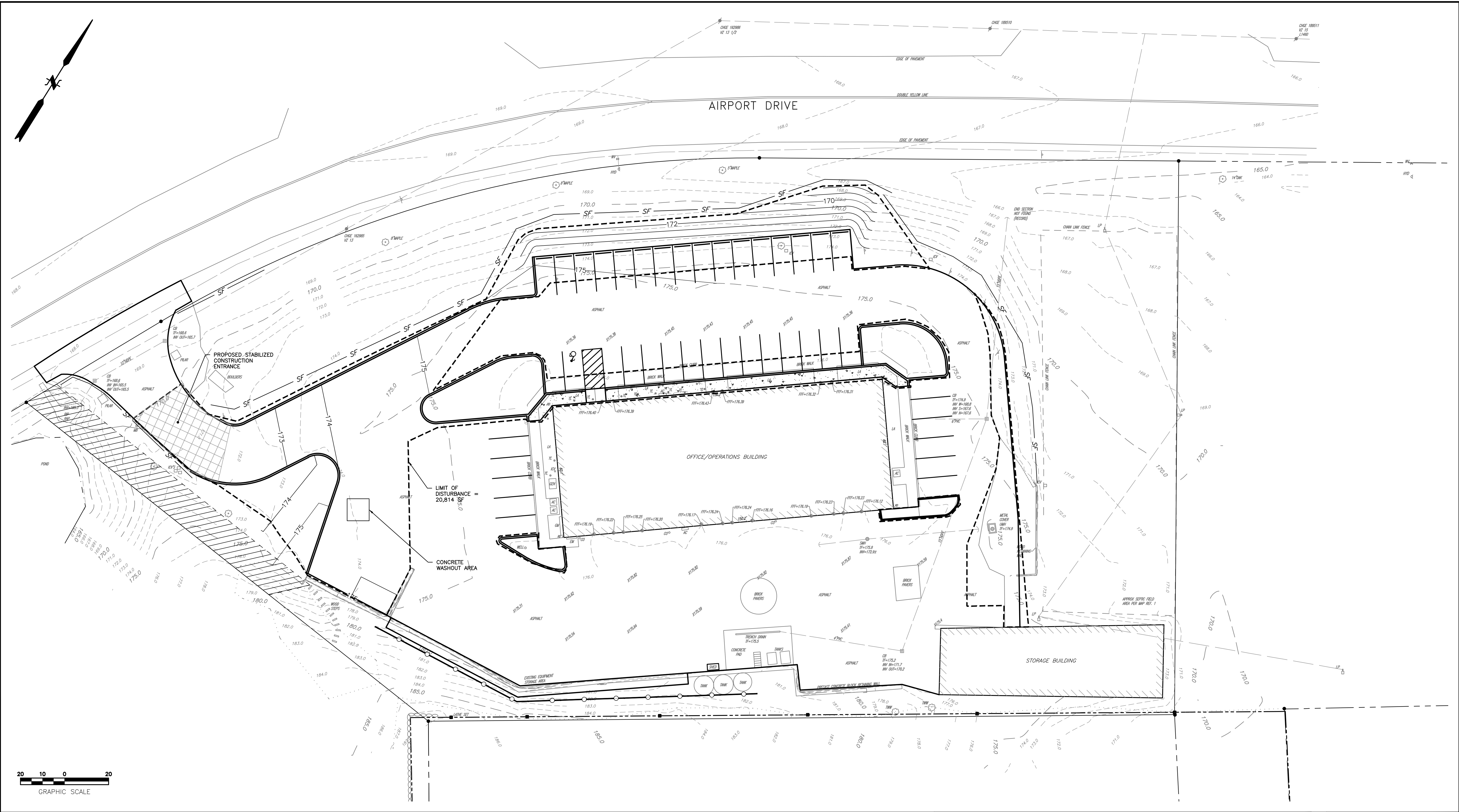
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DATE: FEBRUARY 2021

SCALE: 1" = 20'

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P.O. BOX 913
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845-594-1529

TROY A. WOJCIEKOFSKY, P.E., LEED-AP CONSULTING ENGINEER

EROSION CONTROL PLAN

FOR

LOCUST TREES RESIDENTIAL PROPERTIES, LLC AMENDED SITE PLAN

80 AIRPORT ROAD

TOWN OF WAPPINGER

DUTCHESS COUNTY, NY

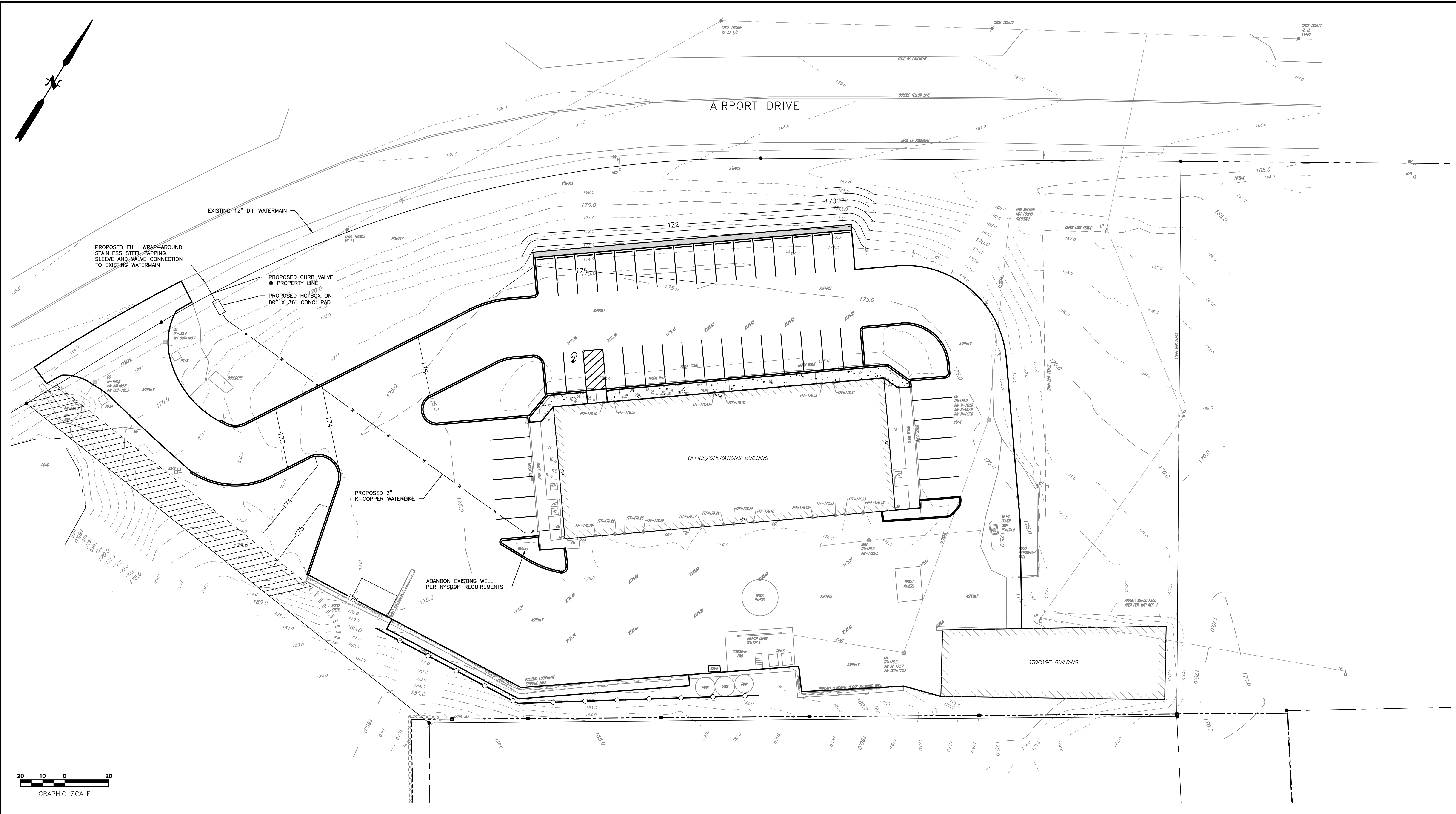
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SCALE: 1" = 20'

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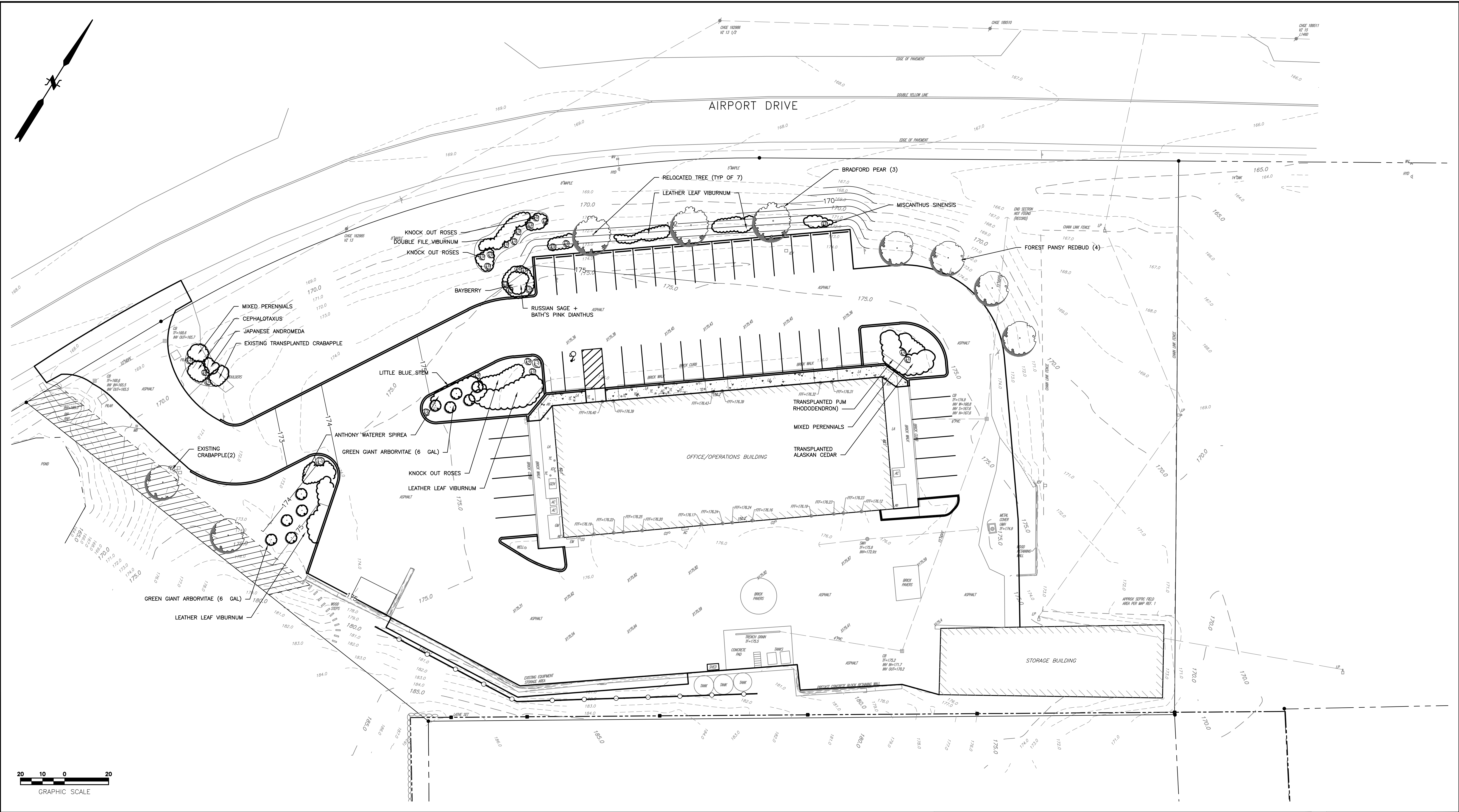
TROY A. WOJCIEKOFSKY, P.E., LEED-AP CONSULTING ENGINEER

UTILITY PLAN
FOR
LOCUST TREES RESIDENTIAL PROPERTIES, LLC AMENDED SITE PLAN
80 AIRPORT ROAD
TOWN OF WAPPINGER DUTCHESS COUNTY, NY

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LANDSCAPING PLAN AND NOTES

FOR

LOCUST TREES RESIDENTIAL PROPERTIES, LLC AMENDED SITE PLAN

80 AIRPORT ROAD

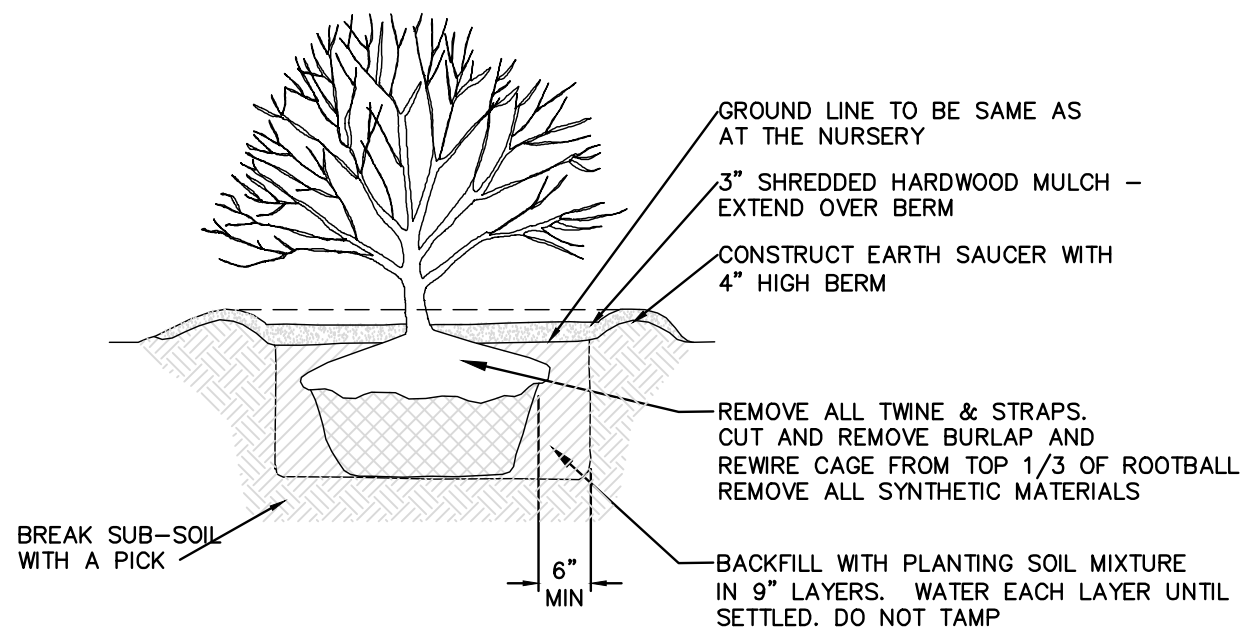
TOWN OF WAPPINGER

DUTCHESS COUNTY, NY

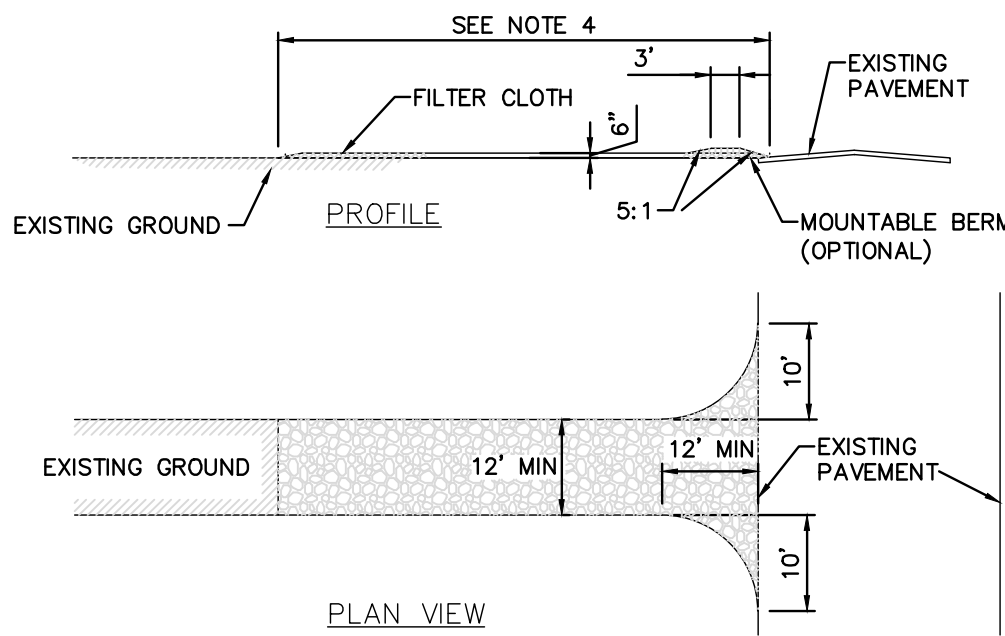
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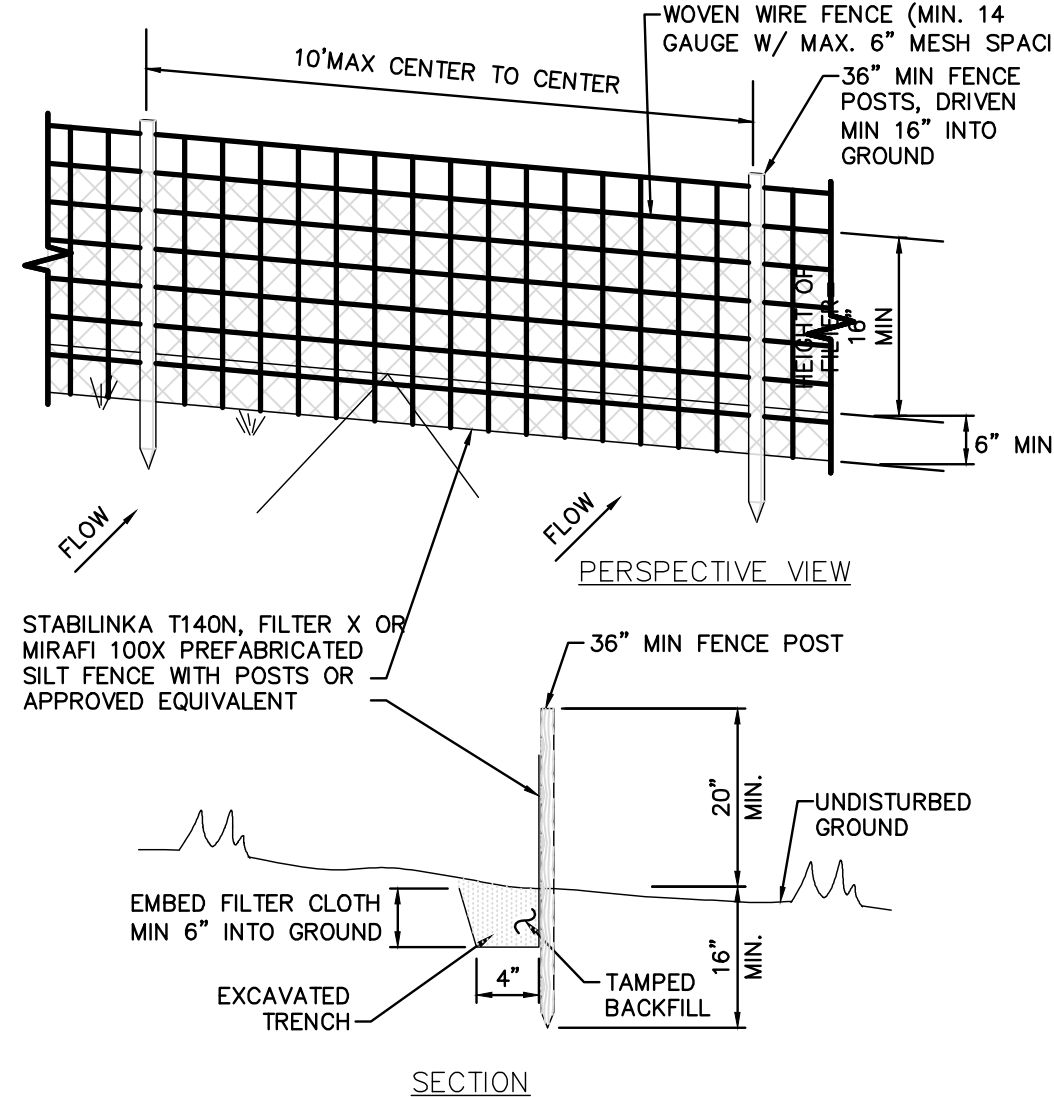
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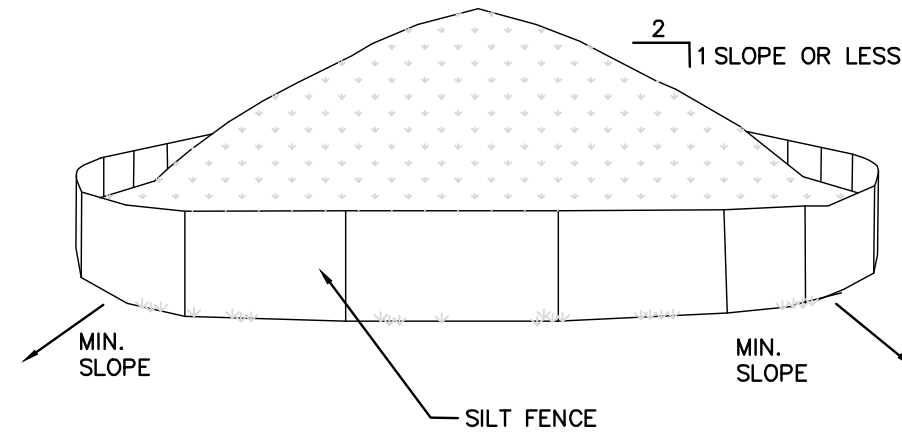
1 SHRUB PLANTING DETAIL FOR ALL SHRUBS BALLED & BURLAPPED
NOT TO SCALE



2 EVERGREEN TREE PLANTING
NOT TO SCALE

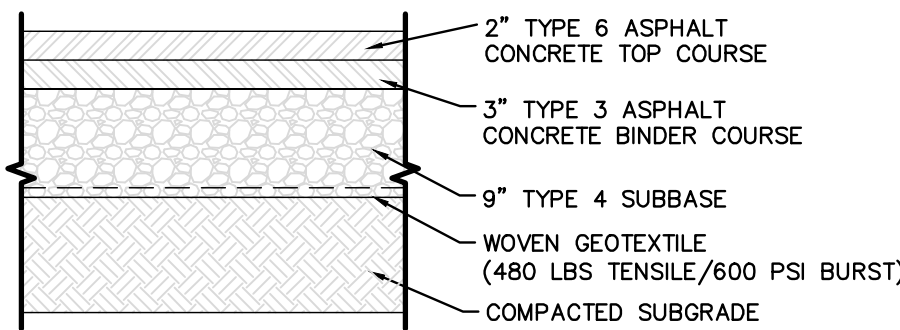


3 DECIDUOUS TREE
NOT TO SCALE



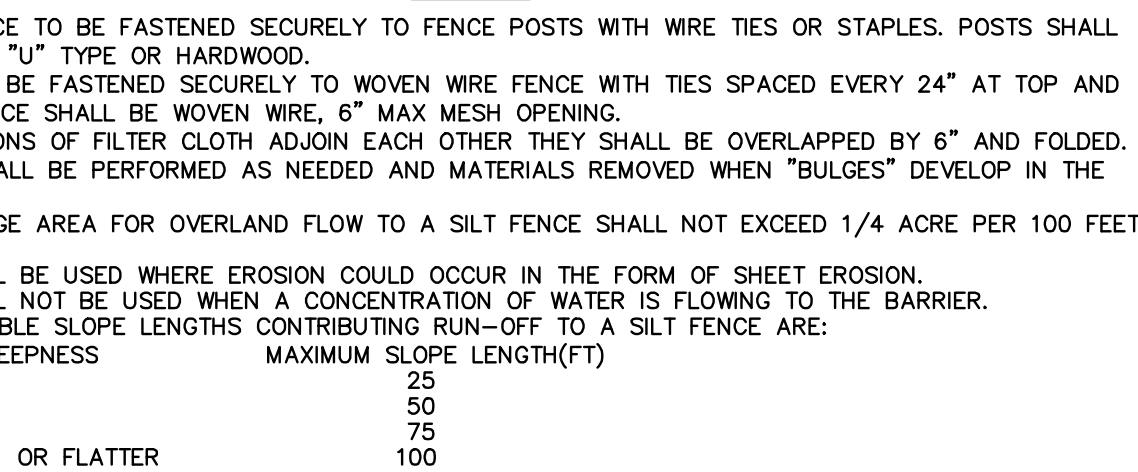
4 SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS
NOT TO SCALE

7 TEMPORARY SOIL STOCKPILE
NOT TO SCALE

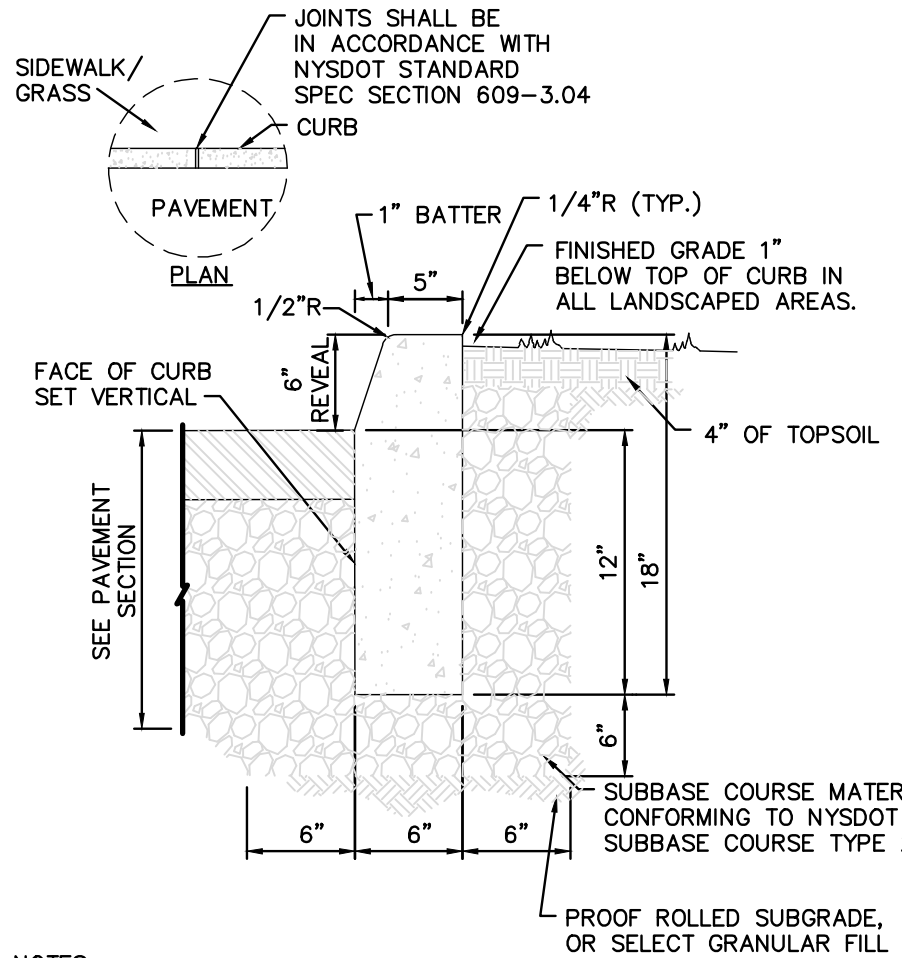


5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

6 SILT FENCE INSTALLATION
NOT TO SCALE



8 ASPHALT PAVEMENT SECTION
NOT TO SCALE



9 SITE CAST IN PLACE CONCRETE CURB
NOT TO SCALE

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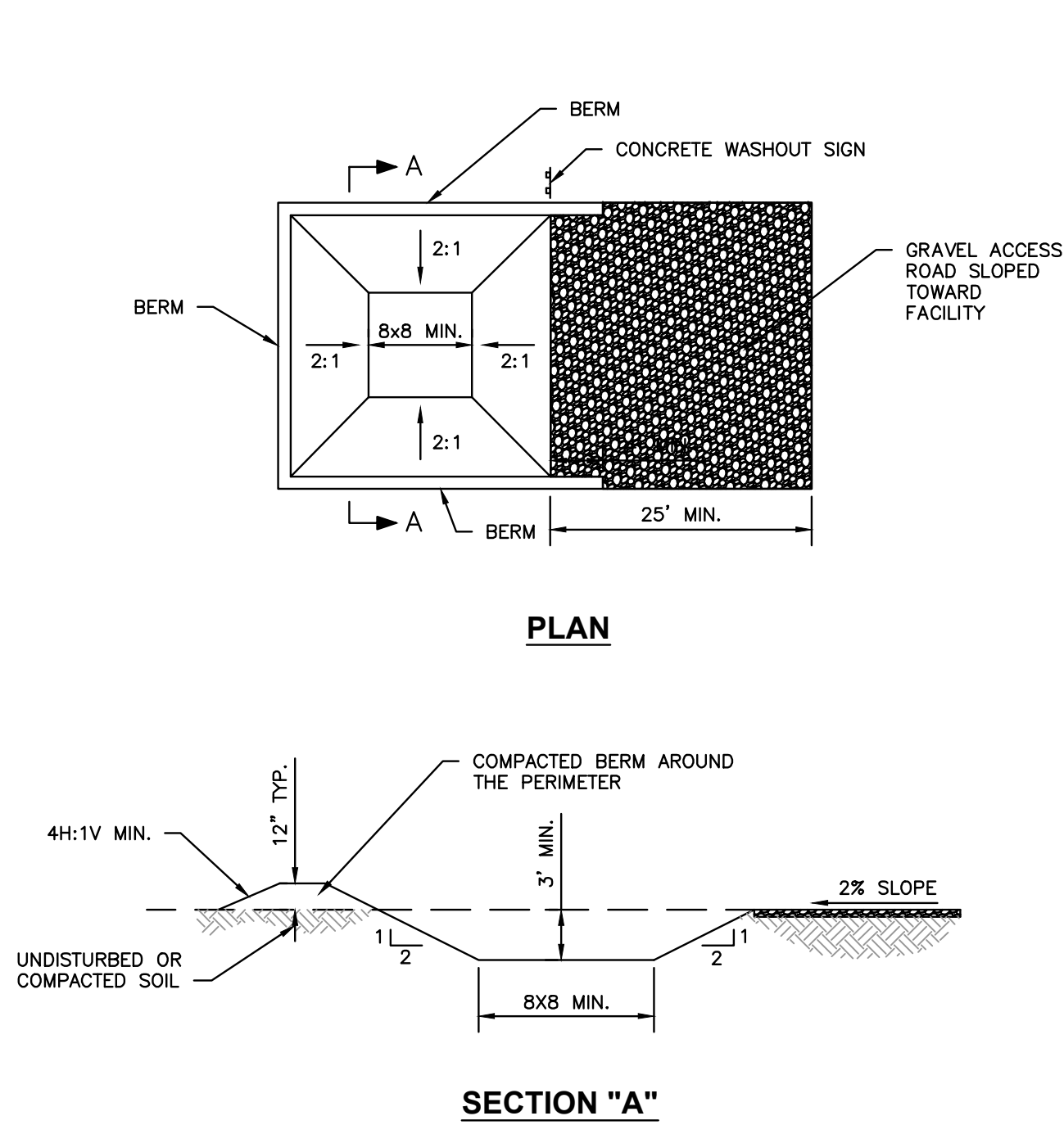
TOWN OF WAPPINGER

DUTCHESS COUNTY, NY

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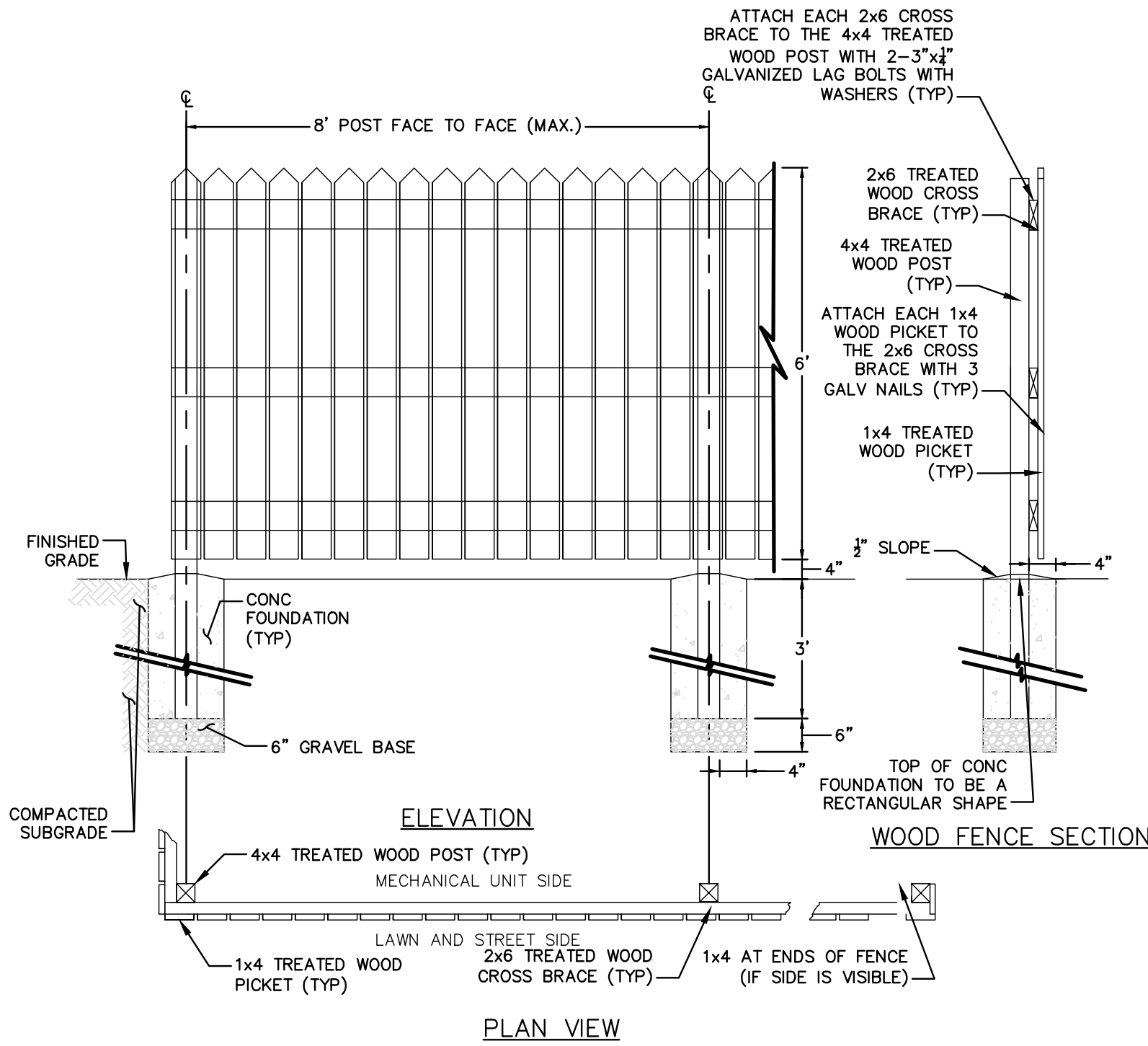
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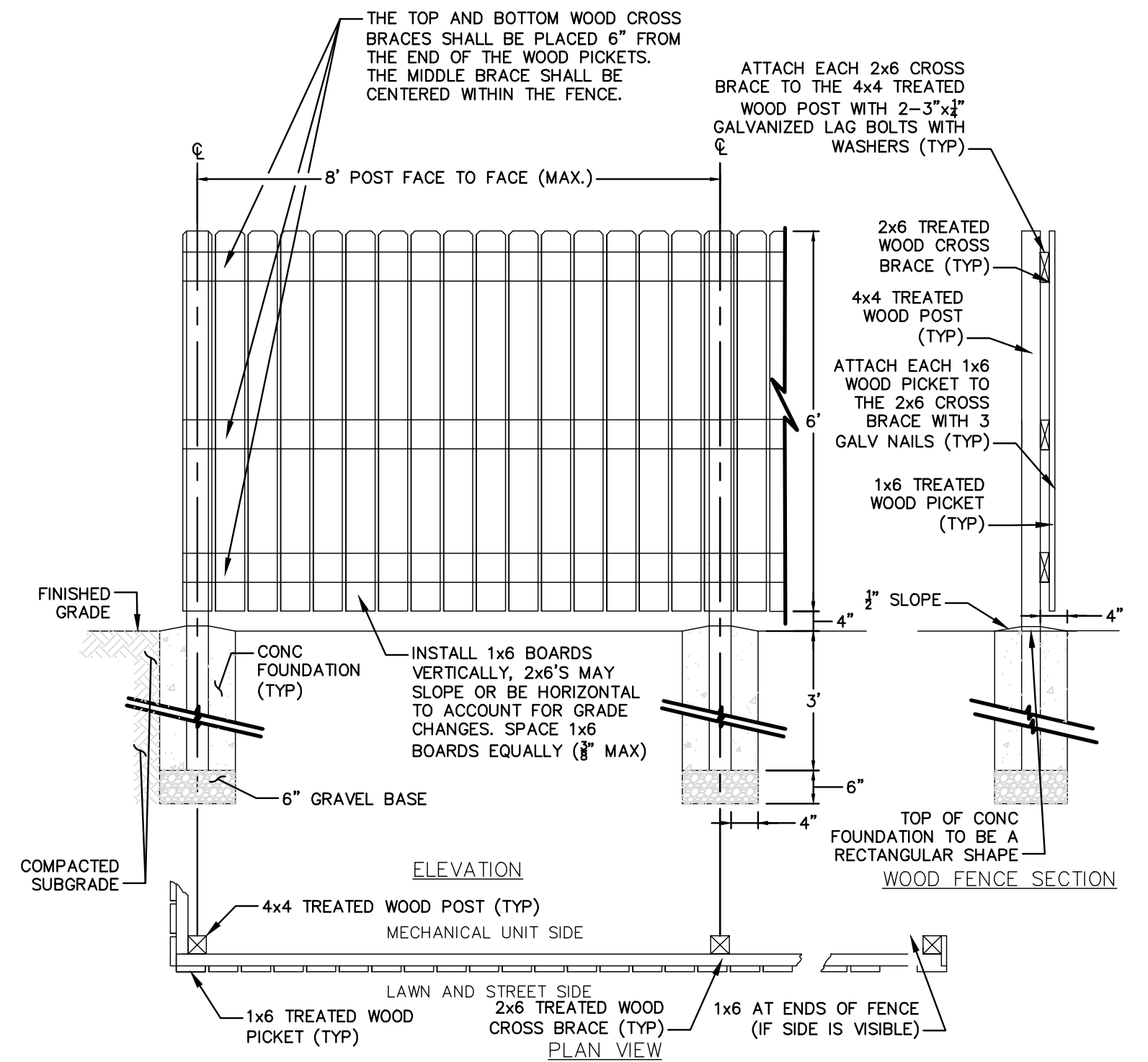


- NOTES:**
- LOCATE THE AREA A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATER.
 - PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD.
 - PROVIDE A GRAVEL ACCESS ROAD TO AREA THAT IS SLOPED DOWN TO AREA.
 - SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE AREA AFTER THEIR LOAD IS DISCHARGED.
 - ALL WASHOUT AREAS SHALL BE LINED TO PREVENT LEACHING OF LIQUIDS INTO THE GROUND. THE LINER SHALL BE PLASTIC SHEETING HAVING A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEARS, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN EARTHEN BERM, SAND BAGS, STONE, OR OTHER STRUCTURAL APPURTENANCES EXCEPT AT THE ACCESS POINT.
 - PREFABRICATED WASHOUT AREAS CAN BE USED BUT THEY MUST CAPTURE AND CONTAIN CONCRETE WASH AND BE SIMILARLY SIZED AS SHOWN ABOVE AND LOCATED AS NOTED ABOVE.
 - WASH WATER IS ESTIMATED TO BE 7 GALLONS PER CHUTE AND 50 GALLONS PER HOPPER OF A PUMP TRUCK AND/OR DISCHARGING DRUM.
- MAINTENANCE:**
- CONCRETE WASHOUT AREA SHALL BE INSPECTED DAILY.
 - DAMAGED OR LEAKING AREAS SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
 - EXCESS ACCUMULATED RAINWATER OVER HARDENED CONCRETE SHALL BE PUMPED TO A STABILIZED AREA, SUCH AS A GRASS FILTER STRIP.
 - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE AREA IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF-SITE AT A PERMITTED C&D LANDFILL. NO ONSITE DISPOSAL WILL BE ALLOWED.
 - THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE AREA.
 - INSPECT PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

1 CONCRETE TRUCK WASHOUT DETAIL
NOT TO SCALE

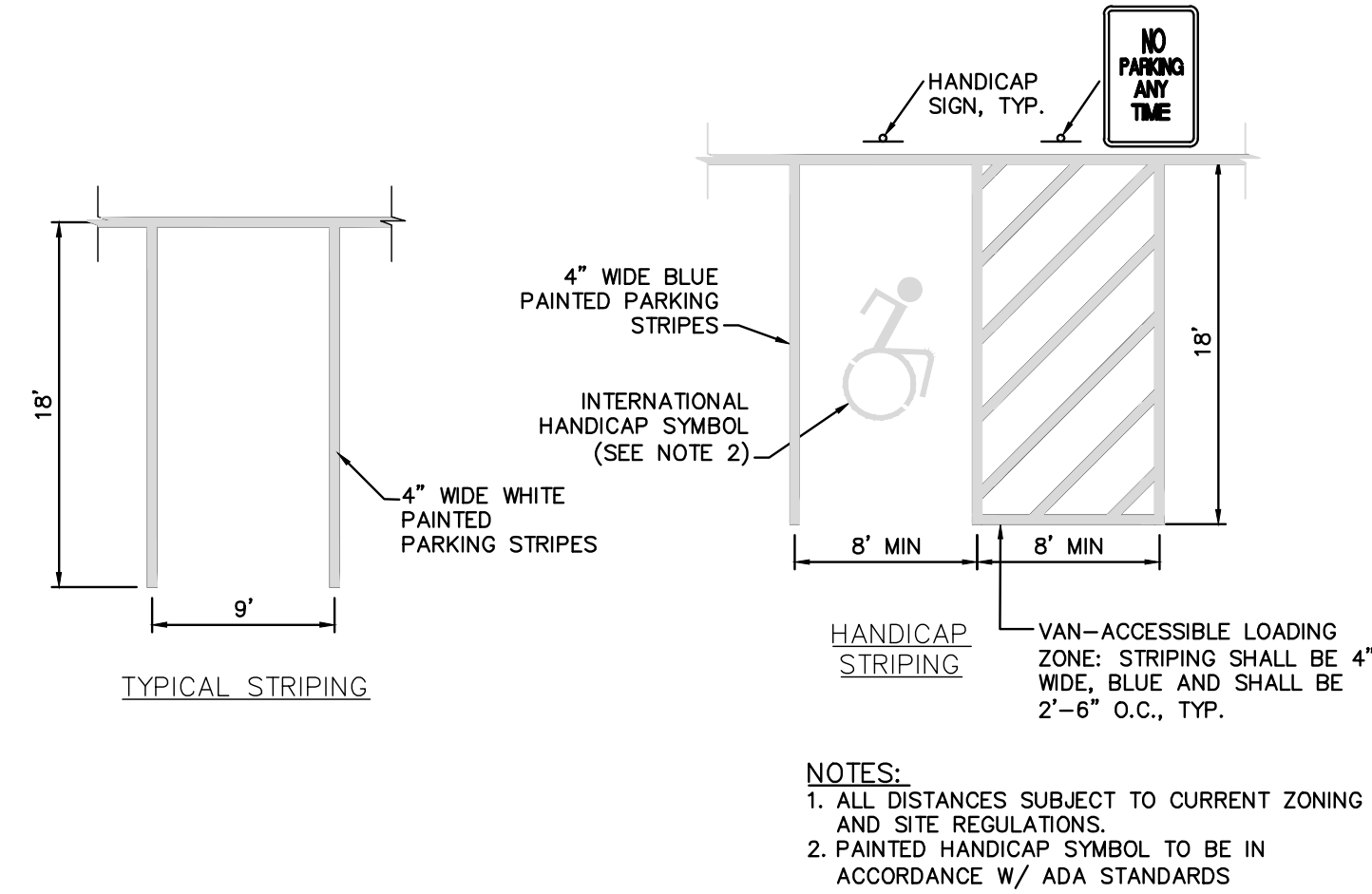


2 WOOD STOCKADE FENCE DETAIL
NOT TO SCALE

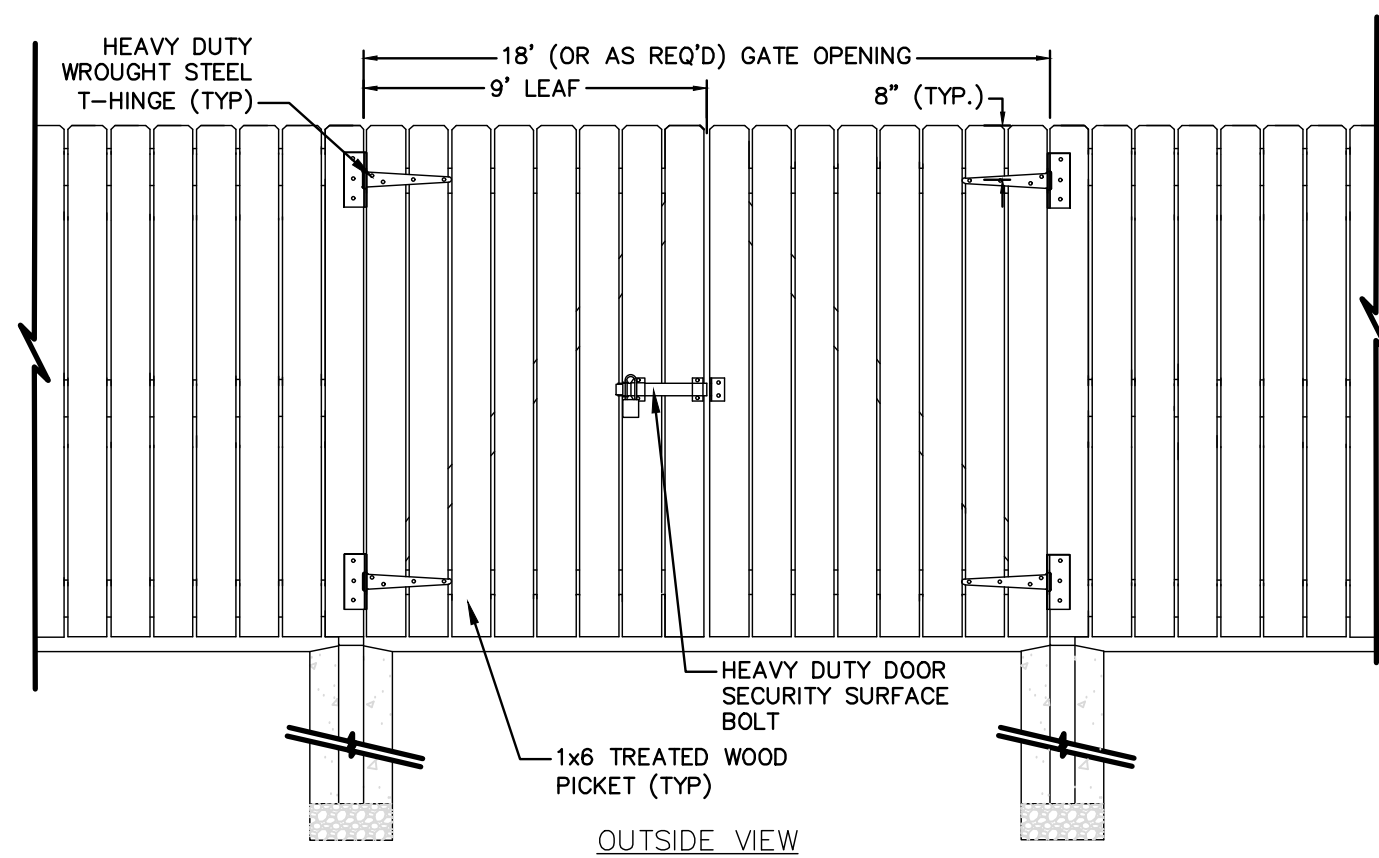


NOTE: VINYL STOCKADE FENCE PANELS CAN BE SUBSTITUTED FOR THE WOOD FENCE SHOWN.

5 WOOD FENCE TRASH ENCLOSURE
NOT TO SCALE

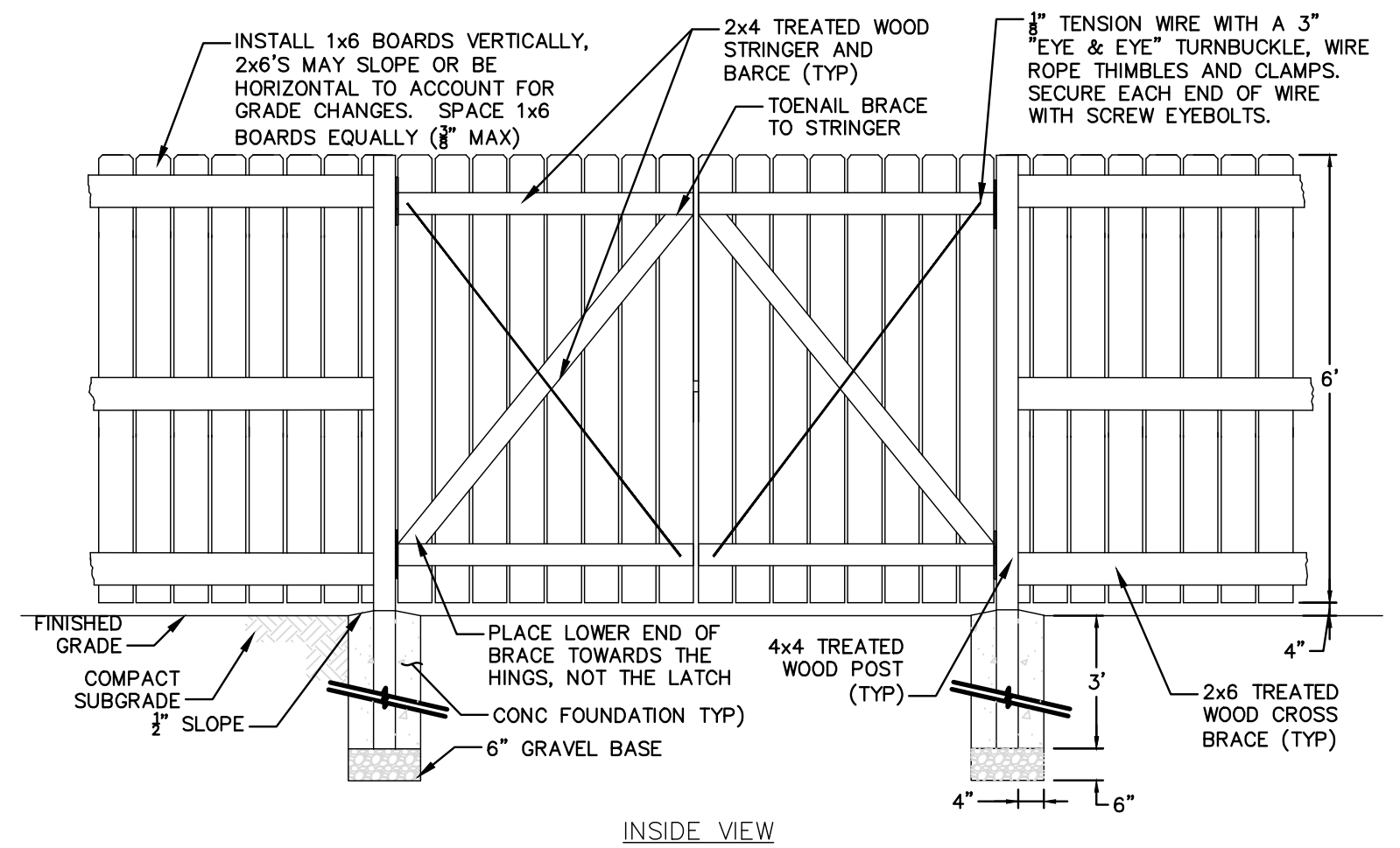


3 PAVEMENT MARKING
NOT TO SCALE



6 WOOD FENCE TRASH ENCLOSURE GATE
NOT TO SCALE

4 INFILTRATION TRENCH
NOT TO SCALE



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TROY A. WOJCIEKOFSKY, P.E., LEED-AP CONSULTING ENGINEER

SITE DETAILS

FOR

LOCUST TREES RESIDENTIAL PROPERTIES, LLC AMENDED SITE PLAN

80 AIRPORT ROAD

TOWN OF WAPPINGER

DUTCHESS COUNTY, NY

PROJ. No.: TW2101
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SCALE: AS SHOWN

C-08