

PROJECT DESCRIPTION						
CONSTRUCTION OF A RE CONSISTING OF ONE (1)			ICK OIL CHANG	E FACILITY	ON AN EXISTI	NG PARCEL
SITE NOTES	3,004 SF BU	JILDING.				
	LINES AND	TOPOGRAPH	HY FOR THIS PR	OJECT ARE	BASED ON A	FIELD
L. SURVEY COMPLE						
PARCEL INFORMATION:						
MAP:		6157-0)7			
BLOCK		2				
LOT OWNER:		653	NGER SHOPPING			
ACRES:			OPMENT: 12.97			
ACILIS.		DLVLL	JI WILINI. 12.37	1 AC		
BUILDING CODE REVIEW						
ACCESSIBILITY CODE	ANSI/ICC	A117.1 - 20	09			
BUILDING CODE	2020 BUILDING CODE OF NEW YORK STATE BUILDING CODE, INTERNATIONAL BUILDING CODE 2018 BUILDING CODE					
ELECTRICAL CODE						ECTRICAL CODE
			RVATION CODE			
ENERGY CODE			E 2018 ENERGY			
MECHANICAL CODE		CHANICAL C	ODE OF NYS, IN	ITERNATIO	NAL MECHAN	NICAL CODE 2018
			DE OF NYS, INTE	RNATIONA	L PLUMBING	CODE 2018
PLUMBING CODE	PLUMBIN	g code				
FIRE CODE		CODE OF N	IYS FIRE CODE I	NTERNATIO	DNAL FIRE CO)DE 2018
ZONING ORDINANCE RE			05 THE -	05.11.1		
ZONING ORDINANCE			OF THE TOWN			
ZONING MAP	ZONING I DATE	VIAP UF THE	TOWN OF WA	rringer, [JUCHESS COL	Υ, ΝΥ, ΝΥ
SITE ZONING	SC, SHOP	PING CENTE	R DISTRICT			
PERMITTED USE	YES, SPEC	IAL USE PEF	RMIT (SECT. 240	ATTACHN	IENT 2, PAGE	5)
BULK REGULATIONS		DFC	QUIRED	סמס		
LOT REQUIREMENTS:		KEC	ζυιλευ	РКО	POSED	ORDINANCE
MIN. LOT AREA		12.07+ AC				
MIN. LOT WIDTH						
MAX. LOT COVERAGE			20%		-	
BUILDING REQUIREMEN	TS:					
MAX. BUILDING HEIGH	IT		35'	22	2.17'	
SETBACK REQUIREMENT	⁻S:					240 ATCH. 4
FRONT BUILDING SETE	BACK (W)		75'		4.3'	
SIDE BUILDING SETBA	CK (N)	50'		1	34'	
SIDE BUILDING SETBA	CK (E)	50'		296'		
SIDE BUILDING SETBA	CK (S)	50'		780'		
PARKING REQUIREMENT	⁻S:					
MIN. STANDARD SPAC	E SIZE	10' x 20'		10' x 20'		240 ATCH. 5
PARKING CALCULATIO	N	-		-		
TOTAL SPACES					4 INTERIOR =19 TOTAL	
ADA SPACES			1		1	ANSI/ICC A117.
SIGNS: ZONING SC - S	HOPPING (CENTER DIS	STRICT			
PYLON SIGN: ALLOWE	D; YES					
	MAXIMUI	VI:	PROVIDED:		CODE:	VARIANCE
AREA:	25 S.F.		N/A			
HEIGHT:	10.0'		N/A			
	FRONT: SI		NI / A		240-29.2.a	NO
SETBACK:	15' FROM PAVEMEN		N/A			
NUMBER OF SIGNS	1		0		240-29.2.a	a NO
ELECTRONIC MESSAG	E DISPLAY:	ALLOWED				
AREA:	N/A		N/A		240-29.6	NO
BUILDING SIGNS: ALLO	OWED: YES	240-29.F				
ELEVATION	SIGN		ALLOWED:		PROVIDED	: VARIANCE
	SIGN - A		PER TOTAL		98 S.F.	NO
FRONT ELEVATION	SIGN - B		PER TOTAL		38 S.F.	NO
SIDE ELEVATION	SIGN - C		PER TOTAL		0 S.F.	NO
SIDE ELEVATION	SIGN - F		PER TOTAL		9 S.F.	NO
REAR ELEVATION	SIGN - B		PER TOTAL		0 S.F.	NO
			2 TIMES BUI			
TOTAL ALLOWED ON BUILDING:			LENGTH (92 OR 100 S.F.		145 S.F.	YES
			WHICHEVER			
NUMBER OF SIGN ALL	OWED PFF			J.I .		
	NUMBER				2	VEC
FRONT ELEVATION	ALLOWED)	1		2	YES
SIDE ELEVATION	NUMBER ALLOWEE		0		1	YES
	NUMBER					
SIDE ELEVATION	ALLOWED)	0		0	NO
REAR ELEVATION	NUMBER ALLOWEE		0		0	NO
		,	1			



Know what's **below. 811 before you dig**.

	DESCRIPTION	ADDRESS	CONTACT
	DEVELOPER	JIFFY LUBE INTERNATIONAL - SHELL LUBRICANTS BUILDING F, RM F 376 D 150 N. DAIRY ASHFORD RD HOUSTON, TX 77079	CLAIRE GILROY 832.337.9809
SITE	PROJECT MANAGER	SEVAN MULTI-SITE SOLUTIONS 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	FRANK MALAWSKI 630-432-2531
	SURVEYOR	CONTROL POINT ASSOCIATES INC. 26 AVIATION ROAD ALBANY, NY 12205	JODY LOUNSBURY, PLS 518.217.5010
gn AcT	CIVIL ENGINEER	SEVAN ENGINEERING, PC 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	TIMOTHY KRATZ, PE 219.841.6535
DESIGN CONTACT	ARCHITECT	SEVAN ENGINEERING, PC 37704 HILLS TECH DRIVE FARMINGTON HILLS, MI 48331	REEM ALHAYES 331.228.0435
	TELEPHONE	VERIZON ENGINEERING DEPARTMENT	LISA MASTROGIACOMC 1.800.VERIZON
	ELECTRIC	25 CENTRAL HUDSON WAY FISHKILL, NY 12524	BRIAN FINN 845.897.6152
λIJ	GAS	25 CENTRAL HUDSON WAY FISHKILL, NY 12524	BRIAN FINN 845.897.6152
υτιμτγ	WATER	20 MIDDLEBUSH ROAD WAPPINGERS FALLS, NY 12590	845.297.6256
	SANITARY SEWER	20 MIDDLEBUSH ROAD WAPPINGERS FALLS, NY 12590	845.297.6256
	STORM SEWER	20 MIDDLEBUSH ROAD WAPPINGERS FALLS, NY 12590	WALTER ARTUS, CPESC CPMSM 845.297.6256 EXT. 125
NMENT	PLANNING DEPARTMENT	20 MIDDLEBUSH ROAD WAPPINGERS FALLS, NY 12590	BARBARA ROBERTI 845.297.6256
GOVERNMENT	BUILDING DEPARTMENT	20 MIDDLEBUSH ROAD WAPPINGERS FALLS, NY 12590	BARBARA ROBERTI 845.297.6256

TOWN REQUIREMENT :

ALL CONSTRUCTION DETAILS CONFIRM TO THE TOWN OF WAPPINGER HIGHWAY SPECIFICATIONS

											7	Sevan
SHEET INDEX											-	
						'IEW						Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331
			AREA VARIANCES SUBMITTAL 11.12.2021		VIEW	FINAL REVIEW						734.367.4445 Telephone
		MIT	ES SUB	IEW	PLANNING BOARD REVIEW 04.01.2022	ARD FIN						Corporate Office: 3025 Highland Parkway, Suite 850
		AN PERI 021	ARIANC 021	AN REV 022	NG B0/ 022	NG B0/ 022						Downers Grove, IL 60515 info@sevansolutions.com www.sevansolutions.com
		SITE PLAN PERMIT 09.23.2021	AREA V/	SITE PLAN REVIEW 01.14.2022	LANNIN	PLANNING BOARD F 04.29.2022						INTEGRITY RESPECT TEAMWORK EXCELLENCE CHARITY
GENERAL		0	1	2	3	3	5	6	7	8		REVISIONS NO. DATE DESCRIPTION
G0.01 G0.02	COVER SHEET GENERAL NOTES	•	•	•	•	•					_	0 09.23.2021 SITE PLAN PERMIT
SURVEY											-	1 11.12.2021 AREA VARIANCES SUBMITTAL 2 01.14.2022 SITE PLAN REVIEW
1 OF 1	ALTA/NSPS LAND TITLE SURVEY	•	•	•	•	•						3 04.01.2022 PLANNING BOARD REVIEW 4 04.29.2022 PLANNING BOARD FINAL REVIEW
CIVIL C1.01	EXISTING COMPOSITE SITE	•	•	•	•	•					-	
C1.02	COMPOSITE SITE PLAN	•	•	•	•	•						
C1.10 C1.11	DEMOLITION SITE PLAN SOIL EROSION AND SEDIMENT CONTROL PLAN	•	•	•	•	•					_	
C1.20	DIMENSION CONTROL SITE PLAN	•	•	•	•	•						
C1.21	FIRE TRUCK TURING EXHIBIT			-		•					-	
C1.30 C1.31	GRADING PLAN STORM WATER MANAGEMENT PLAN	•	•	•	•	•					-	
C1.40	UTILITY PLAN	•	•	•	•	•					1	
C5.00 C5.01	EROSION CONTROL DETAILS SITE DETAILS	•	•	•	•	•					-	
C5.02	UTILITY DETAILS	•	•	•	•	•						CONSULTANT
L1.20	LANDSCAPE PLAN, NOTES AND SCHEDULE	•	•	•	•	•					-	
AG1.01 AG2.01	SITE PLAN - SIGNS SIGN ELEVATIONS	•	•	•	•	•					-	
AG5.01	SIGN DETAILS	•	•	•	•	•					1	
SITE LIGHTING											-	
ES-1	SITE PHOTOMETRICS	•	•	•	•	•					1	SEAL
ARCHITECTUR											-	STATE OF NEW LOD
A-1 A-2	FLOOR PLAN - LOWER BAY FLOOR PLAN - UPPER BAY	•	•	•	•	•					-	*
A-4	EXTERIOR ELEVATIONS	•	•	•	•	•						
A-5	DUMPSTER ENCLOSURE	•	•	•	•	•						TO DO ESSIONAL
												04/29/2022
												CUSTOMER
												jiffy lube [®]
												July labe
												PROJECT DESCRIPTION
												JIFFY LUBE
												MULTI-CARE SERVICES
												PROJECT LOCATION
												1506 US 9
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												1506 US 9
												1506 US 9 WAPPINGERS FALLS, NY 12590
												1506 US 9 WAPPINGERS FALLS, NY 12590 (DUTCHESS COUNTY)
												1506 US 9 WAPPINGERS FALLS, NY 12590 (DUTCHESS COUNTY) SHEET TITLE
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												1506 US 9 WAPPINGERS FALLS, NY 12590 (DUTCHESS COUNTY) SHEET TITLE
												1506 US 9 WAPPINGERS FALLS, NY 12590 (DUTCHESS COUNTY) SHEET TITLE COVER SHEET SHEET MANAGEMENT
												1506 US 9 WAPPINGERS FALLS, NY 12590 (DUTCHESS COUNTY) SHEET TITLE COVER SHEET SHEET MANAGEMENT PROJECT NO.: 156 DATE: -
												1506 US 9 WAPPINGERS FALLS, NY 12590 (DUTCHESS COUNTY) SHEET TITLE COVER SHEET SHEET MANAGEMENT PROJECT NO.: 156 DATE: - CRITERIA: V2021.08-1X4 PROJECT MANAGER: M. PISKO
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1.	FRONT SETBACK VARIANCE FROM WHERE 75 FEET IS REQUIRED TO A COUNTY OR STATE ROAD, THE APPLICANT CAN PROVIDE 57.3 FEET, THUS REQUESTING A VARIANCE OF 17.7 FEET. APPROVED BY ZBA ON 12/14/21, APPEAL NO.: 21-7742 (AREA VARIANCE)
2.	 WE ARE HEREBY REQUESTING FROM THE PLANNING BOARD A WAIVER REQUEST REGARDING AN ADDITIONAL TWO (2) SIGNS FOR THE PROPOSED BUILDING OUTSIDE OF WHAT IS TYPICALLY ALLOWED; SECTION 240-29 F.1. OF THE ZONING CODE (ONE (1) SIGN ALONG PRINCIPAL STREET, NO MORE THAN 100 SF). SIGNAGE TOTAL BELOW: ONE (1) ALLOWED PER CODE SIGN ALONG PRINCIPLE STREET SIZED TO 98 SF. ONE (1) SIGN ALONG THE PRINCIPLE STREET IN ADDITION TO WHAT IS ALLOWED PER CODE, FOR AN ADDITIONAL 38 SF. ONE (1) SIGN ALONG THE SOUTH ELEVATION OF THE BUILDING IN ADDITION TO WHAT IS ALLOWED PER CODE, FOR AN ADDITIONAL 9 SF. * TOTAL BUILDING SIGNS = VARIANCE FOR TWO (2) SIGNS FOR A TOTAL OF 3 SIGNS AFFIXED TO BUILDING
3.	WE ARE HEREBY REQUESTING A WAIVER FROM THE PLANNING BOARD REGARDING PROPOSED PARKING, DUE TO THE PROPOSED PARKING USE IS NOT SPECIFICALLY DEFINED IN THE SCHEDULE OF OFF-STREET PARKING REQUIREMENTS. PER SEC. 240-97-A, THE PLANNING BOARD CAN MODIFY THE PARKING REQUIREMENTS AS IT SEES FIT. OUR PROPOSED TOTAL WOULD BE AS PROPOSED, A TOTAL OF ELEVEN (11), STRIPED LOCATIONS OF WHICH INCLUDES ONE (1) ADA SPACE

GENERAL NOTES:

- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KNOW ALL OBSERVABLE CONDITIONS AND TO CONFORM TO ALL APPLICABLE CODES. THE GENERAL CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE OF ANY NECESSARY OR APPROPRIATE QUESTIONS OR CLARIFICATIONS. THE GENERAL CONTRACTOR SHALL INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND STANDARDS, INCLUDING FEDERAL ADA REQUIREMENTS.
- 2. THE DRAWINGS AND PROJECT MANUAL (INCLUDING ASSOCIATED STUDIES, DRAWINGS, SHOP DRAWINGS AND SIMILAR INSTRUMENTS AS APPLICABLE) CONSTITUTE THE GUIDELINES FOR THE PROJECT AND SHALL BE USED IN CONJUNCTION WITH THE AFOREMENTIONED ENTIRE BODY OF PROJECT INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE COMPLETE INFORMATION TO ALL JURISDICTIONAL AUTHORITIES, SUBCONTRACTORS, ALLIED CONSULTANTS, HIRES, AND ASSIGNS.
- 3. ALL CONSTRUCTION SHALL COMPLY WITH THE DRAWINGS, PROJECT MANUAL, CODES AND STANDARDS OF THE JURISDICTIONAL AUTHORITY OR AUTHORITIES. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA. FEDERAL. STATE AND LOCAL REGULATIONS. IN CASE OF DISCREPANCIES, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 4. THE GENERAL CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A GENERAL "A" LICENSE WITH HAZ MAT CERTIFICATION FROM THE CONTRACTOR'S STATE LICENSE BOARD AND/OR OTHER JURISDICTIONAL AUTHORITY.
- 5. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND DURING THE INVESTIGATION OF EXISTING UTILITIES AND TOPOGRAPHY AND/OR DURING THE CONSTRUCTION PHASE.
- 6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES AND LICENSE FEES. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL REQUIRED WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE ALL TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- 7. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING AGENCY OR AGENCIES HAVING JURISDICTION. GRADING, PAVING, AND MATERIALS SHALL COMPLY WITH THE JURISDICTIONAL ROADWAY AUTHORITY OR AUTHORITIES (E.G., DEPARTMENT OF TRANSPORTATION) STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, ATTAIN CLARIFICATION FROM THE OWNER'S REPRESENTATIVE.
- 8. THE GENERAL CONTRACTOR SHALL ENSURE ALL SITE INSPECTIONS REQUIRED BY CITY AND/OR STATE AGENCIES, AND/OR OTHER JURISDICTIONAL AUTHORITY ARE TO BE SCHEDULED A MINIMUM OF FIVE WORKING DAYS IN ADVANCE OF REQUESTED INSPECTION DATE.
- 9. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER'S REPRESENTATIVE IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE DRAWINGS, PROJECT MANUAL AND/OR FIELD CONDITIONS SO THAT APPROPRIATE ADJUSTMENTS AND/OR REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN THE DRAWINGS AND PROJECT MANUAL SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
- 10. MATERIAL TESTING SHALL BE SUPPLIED BY THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TESTING FIRM. ALL RE-TESTING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 11. SOIL SAMPLES MAY BE REQUIRED TO BE TAKEN FOR TESTING AT THE DIRECTION OF HAZ MAT, OTHER JURISDICTIONAL AUTHORITY, OR THE OWNER'S REPRESENTATIVE.
- 12. THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA. TRASH AND WASTE MATERIALS SHALL BE COLLECTED AT A SAFE POINT, AWAY FROM FLAMES OR OTHER FIRE SOURCES. THE GENERAL CONTRACTOR SHALL PREVENT ANY LEAKS OR DRIPS OF HYDRAULIC FLUID, MOTOR OIL, MOTOR FUELS, SOLVENTS, AND OTHER HYDROCARBONS FROM CONTAMINATING THE GROUND. SUCH SPILLS SHALL BE IMMEDIATELY COVERED WITH AN OIL ABSORBING MEDIUM (E.G. "OIL DRY") AND REMOVED FROM THE SITE IN A LEGAL AND ENVIRONMENTALLY SOUND MANNER. TRASH SHALL BE PROPERLY DISPOSED OF DAILY, UNLESS A COVERED DUMPSTER IS PROVIDED AND ITS LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE.
- 13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH. TRASH, DEBRIS AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- 14. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, OTHER OPENINGS, AND HAZARDOUS AREAS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- 15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. DEWATERING SHALL NOT DISCHARGE TO ANY SANITARY SEWER SYSTEM OR BE PUMPED ONTO ANY PUBLIC ROADWAY.
- 16. PROMPTLY REMOVE ALL DEMOLITIONS. PROJECT DISCARDS. RUBBISH. AND DEBRIS FROM THE LIMITS OF THE OWNER'S PROPERTY AND/OR EFFECTIVE PROJECT LIMITS, AND DISPOSE IN A LEGAL MANNER
- 17. ALL EQUIPMENT TO BE INSTALLED SHALL BE UL APPROVED.
- 18. THE GENERAL CONTRACTOR SHALL PROVIDE A TRAFFIC SEQUENCING AND SCHEDULING PLAN AT THE ON-SITE PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVES AND APPLICABLE LANDLORD'S REPRESENTATIVE(S).
- 19. THE GENERAL CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
- 20. ALL CONSTRUCTION SHALL BE CONDUCTED TO CAUSE MINIMAL INTERFERENCE WITH STREETS, DRIVES OR WALKS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC AND SHALL NOT CAUSE THE CLOSURE OR OBSTRUCTION OF STREETS, DRIVES, WALKS OR USER FACILITIES WITHOUT PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- 21. THE GENERAL CONTRACTOR SHALL PHASE CONSTRUCTION IN SUCH A WAY AS TO MAINTAIN AN ACCESS ROUTE FROM AN ENTRANCE DRIVE TO TRUCK DOCKS AND/OR LOADING AREA(S) AT ALL TIMES.
- 22. CONTRACTOR SHALL KEEP EXISTING STREETS, ROADS AND DRIVES CLEAR OF DIRT, DEBRIS AND EQUIPMENT.
- 23. THE GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE FOR PARKING AND STORAGE OF EQUIPMENT. THIS AREA, AS WELL AS THE JOB SITE, SHALL BE ENCLOSED IN CHAIN LINK FENCING. A TRAFFIC LANE SHALL BE DESIGNATED FOR INGRESS AND EGRESS FROM THE WORK AREA. IF REQUIRED, FLAG MEN SHALL BE PROVIDED TO PROVIDE FOR SAFE AND EFFICIENT MOVEMENT OF VEHICLES. NO CHANGES TO THE WORK AREA OR TO THE AGREED TRAFFIC PATTERN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE; THE OWNER'S REPRESENTATIVE WILL SECURE APPROVAL FOR SUCH CHANGES, IF APPLICABLE.
- 24. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
- 25. FOR THE DURATION OF CONSTRUCTION OPERATIONS, EMPLOYEE(S) WILL PARK IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
- 26. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT ON CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
- 27. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
- 28. WRITTEN DIMENSIONS SHALL PREVAIL. NO DIMENSION MAY BE SCALED. REFER ANY UNCLEAR ITEMS TO THE OWNER'S REPRESENTATIVE FOR INTERPRETATION.
- 29. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED DIMENSIONS FOR BUILDINGS, WALLS, CONCRETE SLABS, UTILITY SERVICE POINT CONNECTIONS, ETC., AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.

- 30. COORDINATES AND/OR DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, OR CENTER OF STRUCTURE OR SIGN UNLESS NOTED OTHERWISE.
- 31. ANY BEARINGS USED HEREON ARE FOR THE PURPOSE OF ANGULAR MEASUREMENT ONLY AND ARE NOT NECESSARILY REFERENCED TO TRUE OR MAGNETIC NORTH.
- 32. UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE BEFORE ANY DIGGING.
- 33. THE GENERAL CONTRACTOR AT ALL TIMES SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD LINES. IF THE GENERAL CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO UNDERGROUND AND/OR OVERHEAD ELECTRIC LINES, CONTACT THE AFFECTED UTILITY COMPANY AND MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS, PRIOR TO OPERATION.
- 34. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
- 35. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- 36. IN ALL CASES THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS ASSUMED TO BE APPROXIMATE. LOCATIONS ARE BASED ON THE BEST AVAILABLE REFERENCE PLANS AND AN ACTUAL FIELD SURVEY OF VISIBLE STRUCTURES. CONTACT THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE BEFORE DIGGING.
- 37. THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES AND/OR SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER, LANDLORD, OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE AFFECTED OWNER, LANDLORD, JURISDICTIONAL AUTHORITY, AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- 38. NOT USED.
- 39. THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND MAKE THEM AVAILABLE TO THE OWNER'S REPRESENTATIVE, SUBCONTRACTORS, AND/OR ALLIED CONSULTANTS THROUGHOUT THE CONSTRUCTION PROCESS.
- 40. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE TIMELY COMPLETION OF ALL PHASES OF CONSTRUCTION. CONSTRUCTION PROJECT TO BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND PROJECT MANUAL, AND TURNED OVER TO THE OWNER'S REPRESENTATIVE IN FULLY OPERATIONAL CONDITION.
- 41. UPON COMPLETION OF THE WORK, THERE SHALL BE A FINAL INSPECTION OF THE PROJECT BY THE OWNER'S REPRESENTATIVE. ALL EQUIPMENT SHALL BE TESTED UNDER NORMAL OPERATING CONDITIONS. THE GENERAL CONTRACTOR SHALL HAVE AN ELECTRICIAN AVAILABLE DURING THE OPENING TO IMPLEMENT ANY APPROPRIATE OR REQUIRED ADJUSTMENTS TO THE EQUIPMENT.
- 42. AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SWEEP THE ENTIRE WORK AREA CLEAN AND REMOVE ALL DIRT. MUD, TRASH, WASTE MATERIAL, CONSTRUCTION EQUIPMENT, AND VEHICLES. DAMAGED PARKING STRIPES OR STAINED PAVEMENT SHALL BE REFINISHED TO ITS ORIGINAL CONDITION BY THE GENERAL CONTRACTOR.
- 43. SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCHING OPERATIONS. SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS NECESSARY OR APPROPRIATE TO PROVIDE MAXIMUM SAFETY TO THE GENERAL CONTRACTOR'S WORKERS, AND SHALL BE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
- 44. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS NEEDED TO INSTALL NEW CONCRETE CURBING, WALKS, UNDERGROUND UTILITIES AND/OR NEW BUILDING(S) OR STRUCTURE(S). SAWCUTS SHALL BE MADE A MINIMUM OF 1' BEYOND THE ACTUAL NEW CURB OR WALK LIMITS.
- 45. REMOVE AND REPLACE EXISTING PAVEMENT AS NEEDED TO MATCH EXISTING AND PROPOSED GRADES.
- PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS.
- 47. ALL PAVEMENTS, ASSOCIATED AGGREGATE MATERIALS AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DOT OR OTHER JURISDICTIONAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS UNLESS OTHERWISE EXPRESSLY SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL.
- 48. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS AND RAILINGS AS NECESSARY.
- 49. WHENEVER REQUIRED OR APPROPRIATE. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER'S REPRESENTATIVE, ENGINEER AND JURISDICTIONAL AUTHORITY OR AUTHORITIES. AND SHALL ACQUIRE SHOP DRAWING APPROVAL PRIOR TO FABRICATION AND/OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW AND APPROVAL.
- 50. THE GENERAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING(S), ROOF DRAINS, RAISED CONCRETE SIDEWALKS, RAMPS, STAIRWAYS, ETC.
- 51. TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS, AND TO THE MOST CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- 52. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, FIRE DEPARTMENT AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- 53. IF APPLICABLE, THE GENERAL CONTRACTOR SHALL REMOVE ON-SITE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY THE OWNER'S REPRESENTATIVE, STATE DOT AND OTHER JURISDICTIONAL AUTHORITY. THE GENERAL CONTRACTOR SHALL EXERCISE CARE TO AVOID INSTALLATION OF CONFLICTING SIGNS AND MARKINGS.
- 54. AGGREGATE AND BITUMINOUS PAVEMENT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS. THE GENERAL CONTRACTOR SHALL SUBMIT AGGREGATE SIEVE ANALYSES AND JOB-MIX FORMULAS FOR AGGREGATE AND BITUMINOUS PAVEMENT TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO PAVEMENT INSTALLATION.
- 55. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND OTHER AFFECTED JURISDICTIONAL AUTHORITY PRIOR TO INSTALLATION.
- 56. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PLANS, SHOP DRAWINGS, LAYOUTS AND SURVEY INFORMATION, AND FOR EXECUTING ALL SURVEY FIELD WORK REQUIRED, TO PERFORM CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND PROJECT MANUAL.
- 57. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THOSE INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PROVIDED THAT ANY ALTERNATE STANDARD COMPLIES WITH ALL JURISDICTIONAL AUTHORITY REQUIREMENTS, AND THAT THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.

DEMOLITION NOTES:

- 1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY SITE DEMOLITION, EXCAVATION OR GRADING.
- 2. PERFORM CLEARING, STRUCTURE REMOVAL, PAVEMENT REMOVAL AND APPLICABLE STOCKPILING IN ACCORDANCE WITH THE PROJECT DRAWINGS AND PROJECT MANUAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE LAWFUL REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, ORGANIC MATERIAL, ETC. SEE GENERAL NOTES #13.
- 3. NO ATTEMPT IS MADE TO STIPULATE EACH ITEM TO BE REMOVED AND/OR DEMOLISHED, EITHER ON THE DRAWINGS OR IN THE PROJECT MANUAL. THE CONTRACTOR MUST VISIT THE SITE TO ASSESS EXISTING PHYSICAL CONDITIONS, AS WELL AS REVIEW THE DRAWINGS, AND ULTIMATELY DETERMINE WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY THE PROJECT DRAWINGS AND PROJECT MANUAL.
- 4. COMPLETELY RESTORE ALL DISTURBED AREAS TO CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF AFFECTED OWNER(S) AND/OR GOVERNING AUTHORITY. ALL COSTS FOR CLEAN-UP, RESTORATION WORK AND OTHER RESTORATION OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGNAGE, STREET SWEEPING AND MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. RESTORATION WORK SHALL BE PERFORMED WITHIN FIVE (5) WORKING DAYS AFTER COMPLETION OF FINAL GRADING.
- 5. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAWCUT PAVEMENT TO FULL DEPTH TO PROVIDE A SMOOTH JOINT WITH PROPOSED PAVEMENT.
- 6. ALL DEMOLITION WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
- 7. IF APPROPRIATE, RETAIN SOIL SPOILS FROM CONSTRUCTION EXCAVATION AND STORE AT DESIGNATED LOCATION FOR RE-USE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PROJECT DRAWINGS, AND OWNER'S REPRESENTATIVE APPROVAL(S).

UTILITY NOTES:

- 1. PROTECT AND MAINTAIN CROSSINGS WITH ANY AND ALL OTHER UTILITY LINES.
- 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE JURISDICTIONAL AUTHORITY OR AUTHORITIES TO PROVIDE FEES AND SECURE PERMITS FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- 3. THOROUGH COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, AND OTHER JURISDICTIONAL AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
- 4. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES AND SERVICE LINES, PRIOR TO CONSTRUCTION.
- 5. THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE GENERAL CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE
- 6. THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN SERVICE RELOCATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES, PAY ALL FEES AND SECURE ALL PERMITS FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS AND DEMOLITION AS NECESSARY OR APPROPRIATE.
- 7. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER'S REPRESENTATIVE, OTHER AFFECTED OWNER(S), THE UTILITY COMPANIES AND JURISDICTIONAL AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE AND CABLE SERVICES TO BUILDING(S) THAT ARE TO REMAIN OPERATIONAL.
- 8. THE GENERAL CONTRACTOR SHALL PROVIDE SLEEVES UNDER FOOTINGS AND/OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- 9. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS AND ROOF LEADERS, AND TO THE STORM DRAINAGE SYSTEM.
- 10. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE UTILITY COMPANY OR COMPANIES, AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- 11. THE GENERAL CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, PAVEMENT, CURBS, SIDEWALKS, APPROPRIATE LANDSCAPE AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- 12. PENDING THE GENERAL CONTRACTOR'S NOTIFICATION OF AND APPROVAL BY THE OWNER'S REPRESENTATIVE, UTILITY CONNECTION DESIGN AS REFLECTED IN THE PLANS AND PROJECT MANUAL MAY CHANGE SUBJECT TO UTILITY COMPANY AND JURISDICTIONAL AUTHORITY REVIEW.

BID NOTES:

- 1. THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING.
- 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL QUANTITIES. 3. THE CONTRACTOR SHALL INCLUDE THE BITUMINOUS AND CONCRETE PAVING SHOWN ON THE PLANS IN THEIR BASE BID.
- 4. THE CONTRACTOR SHALL PROVIDE THE UP-CHARGE, IF ANY, TO INSTALL CONCRETE PAVING INSTEAD OF BITUMINOUS PAVING. THIS PRICE SHALL ALSO INCLUDE THE COSTS TO PROTECT THE NEW CONCRETE PAVING FROM WINTER CONDITIONS.
- 5. THE GENERAL CONTRACTOR SHALL REFER TO THE FINAL GEOTECHNICAL INVESTIGATION REPORT, DATED 01.04.2022 PREPARED BY GEOSTRUCTURES, PROJECT NUMBER G21-204.

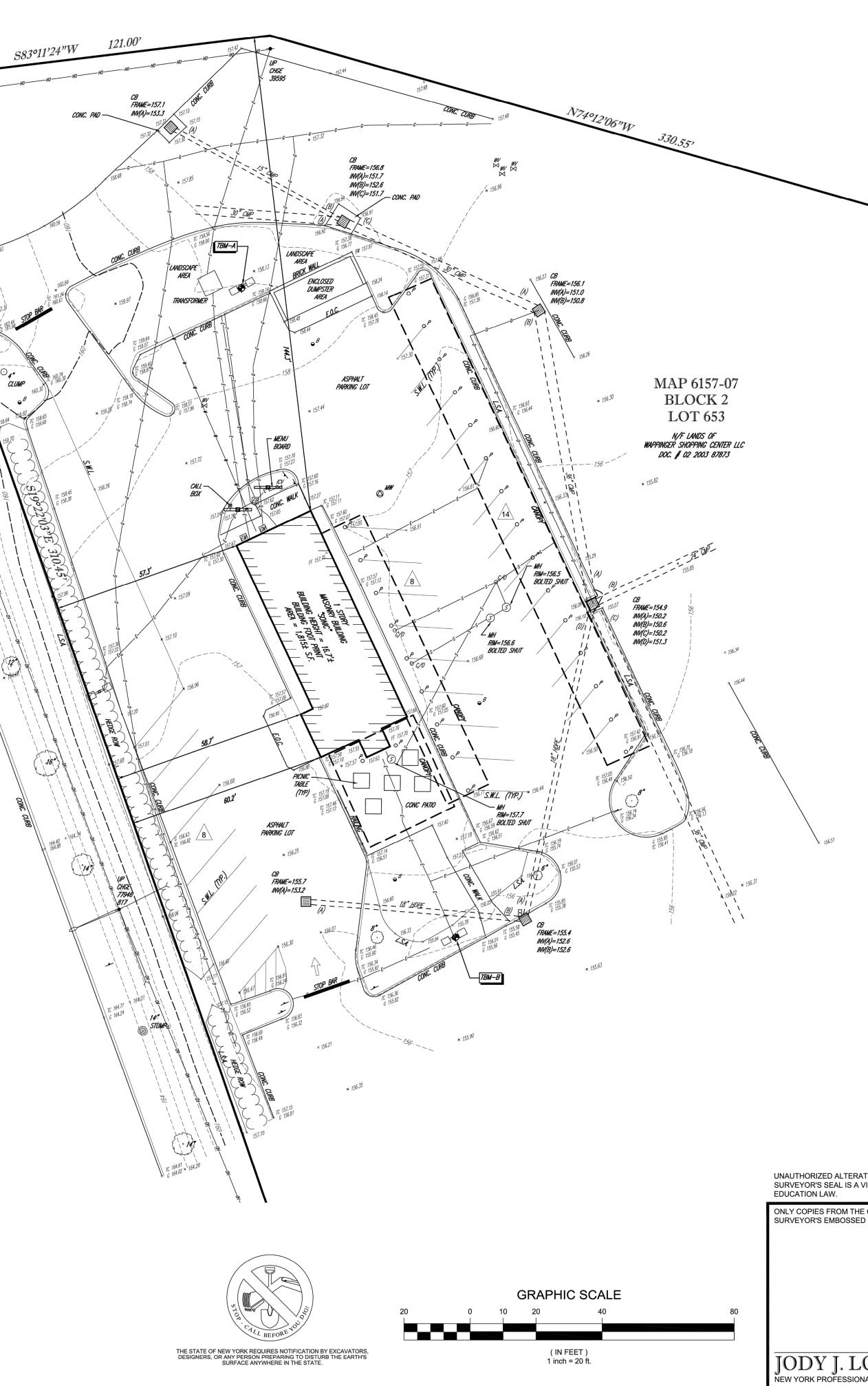
1. THIS SET OF DRAWINGS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE TO BE USED IN CONJUNCTION WITH THE PROJECT MANUAL AND/OR SUPPLEMENTAL DATA TO BE PROVIDED BY THE OWNER'S REPRESENTATIVE. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.

- 2. EXISTING SITE INFORMATION HEREON IS PROVIDED BY THE OWNER, SURVEYOR, PLANS PREPARED BY OTHERS, AND/OR FIELD SURFACE EVIDENCE. ALL LOCATIONS ARE PRESUMED TO BE APPROXIMATE. SEVAN MULTI-SITE SOLUTIONS ASSUMES NO LIABILITY FOR INFORMATION REPRESENTING EXISTING CONDITIONS HEREON. IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO THOROUGHLY REVIEW THESE DRAWINGS AND SUPPLEMENTAL OWNER PROVIDED DATA WITH ACTUAL SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTE ANY DISCREPANCIES IN THE DRAWINGS AND ACTUAL SITE CONDITIONS, WHETHER SHOWN ON THE PLANS OR NOT, WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING AND CONSTRUCTION.
- 3. THE DRAWINGS AND PROJECT MANUAL ASSUME THERE ARE NO UNUSUAL SOIL CONDITIONS, UNKNOWN UNDERGROUND STRUCTURES OR IMPEDIMENTS, WIND LOADS, AND/OR SIMILAR UNFORESEEN CIRCUMSTANCES. UNUSUAL CONDITIONS DETECTED BY THE GENERAL CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE AND MAY REQUIRE SIGNIFICANT CHANGES TO THESE DRAWINGS.
- 4. THE DRAWINGS AND PROJECT MANUAL ARE AND SHALL REMAIN THE PROPERTY OF JIFFY LUBE INTERNATIONAL. REPRODUCTION OR ALTERATION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JIFFY LUBE INTERNATIONAL IS PROHIBITED. (NOT PUBLISHED: ALL RIGHTS RESERVED).

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	PROJECT DESCRIPTION					
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	MULTI-CARE SERVICES					
	PROJECT LOCATION					
	1506 US 9					
	WAPPINGERS FALLS, NY 12590					
	(DUTCHESS COUNTY)					
	SHEET TITLE					
	GENERAL NOTES					
	SHEET MANAGEMENT					
	PROJECT NO.: 156 DATE: -					
	CRITERIA: V2021.08-1X4 PROJECT MANAGER: M. PISKO					
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LOUNSBURY DNAL LAND SURVEYOR #50715		REVIEWED: C.E.L.	APPROVED: J.J.L.	^{date} 7-9-2021	scale 1"=30'	FILE NO. 09-210125	dwg. no. 1 OF	1

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE

- REFERENCES:
- 1. THE OFFICIAL TAX ASSESSOR'S MAP OF TOWN OF WAPPINGER, DUTCHESS COUNTY, NEW YORK, SHEET #6157-07.
- 10. NO WETLAND DELINEATION MARKERS WERE OBSERVED AT THE TIME OF FIELD SURVEY

MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, FOR DUTCHESS COUNTY, NEW YORK, ALL JURISDICTIONS, PANEL 458 OF 602", MAP NUMBER 36027C0458E

3. MAP ENTITLED "OVERALL CONCEPT SITE PLAN ASPEN DENTAL US ROUTE 9 TOWN OF WAPPINGER DUTCHESS COUNTY,NEW YORK TAX PARCEL 6157-02-653974 SCALE 1"=40' NOVEMBER 30, 2016" PREPARED BY HUDSON

- PERMANENT ADDITION, ETC.

COMMUNITY-PANEL NUMBER 361387, MAP EFFECTIVE DATE: MAY 2, 2012.

LAND DESIGN PROFESSIONAL ENGINEERING P.C., DATED NOVEMBER 30, 2016.

- ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION. 9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE,
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED.
- TBM-B: BOX CUT SET IN CONCRETE BASE OF LIGHT POLE ELEVATION=156.49'
- ELEVATION=159.58'

- TBM-A: BOX CUT SET IN CONCRETE BASE OF LIGHT POLE

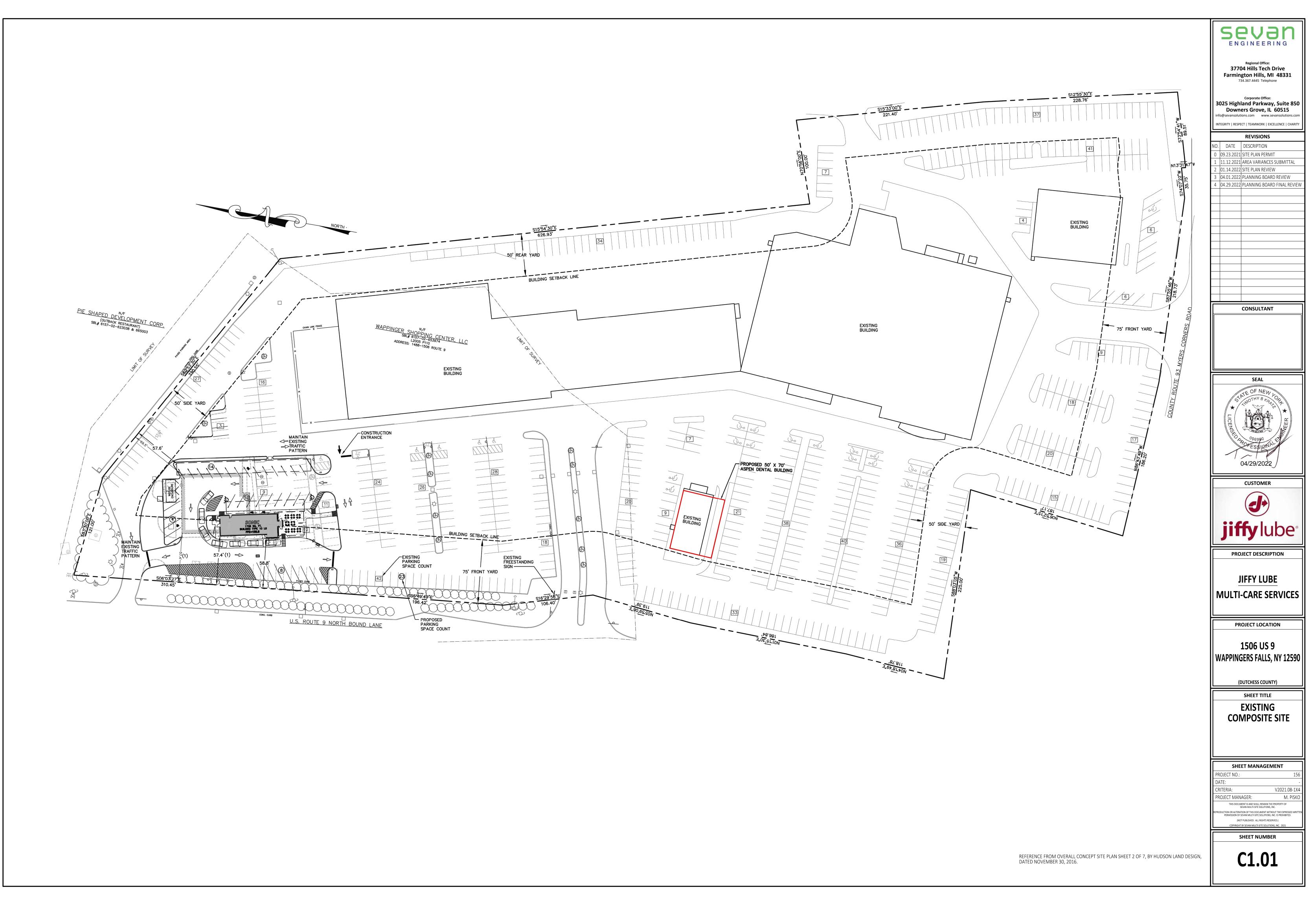
- OBSERVATIONSTAKEN AT THE TIME OF THE SURVEY TEMPORARY BENCH MARKS SET:
- 7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY. 8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS
- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS OF 0.2% ANNUAL FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGEDEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS TAN1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.) PER REF. #2
- 5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- ABANDONED.
- 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
- TOWN OF WAPPINGER, DUTCHESS COUNTY, NEW YORK. 2. AREA: 565,063 SQ. FT. OR 12.972± ACRES

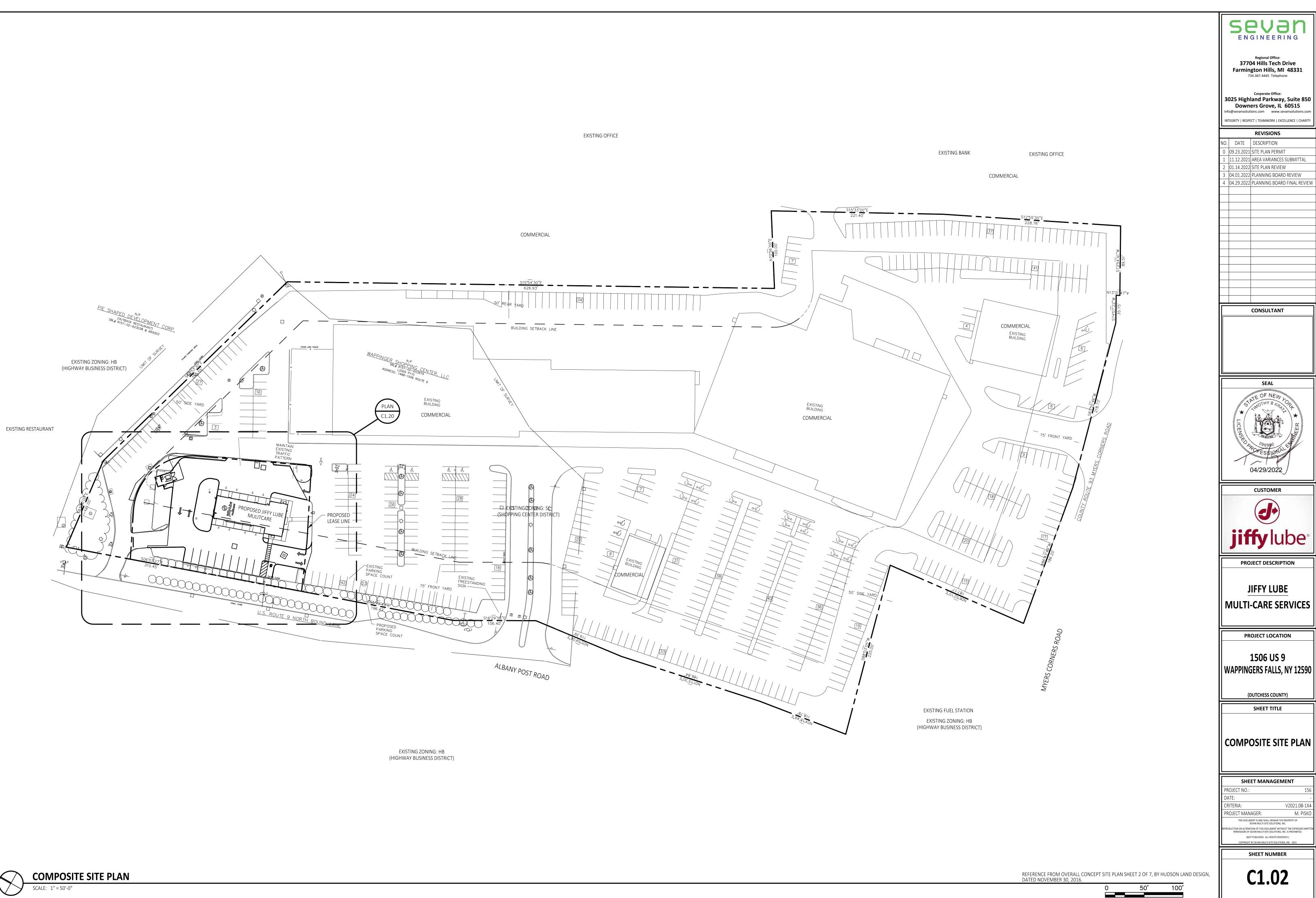


1. PROPERTY KNOWN AS PART OF LOT 653, BLOCK 2 AS SHOWN ON THE OFFICIAL TAX MAP #6157-07 OF THE



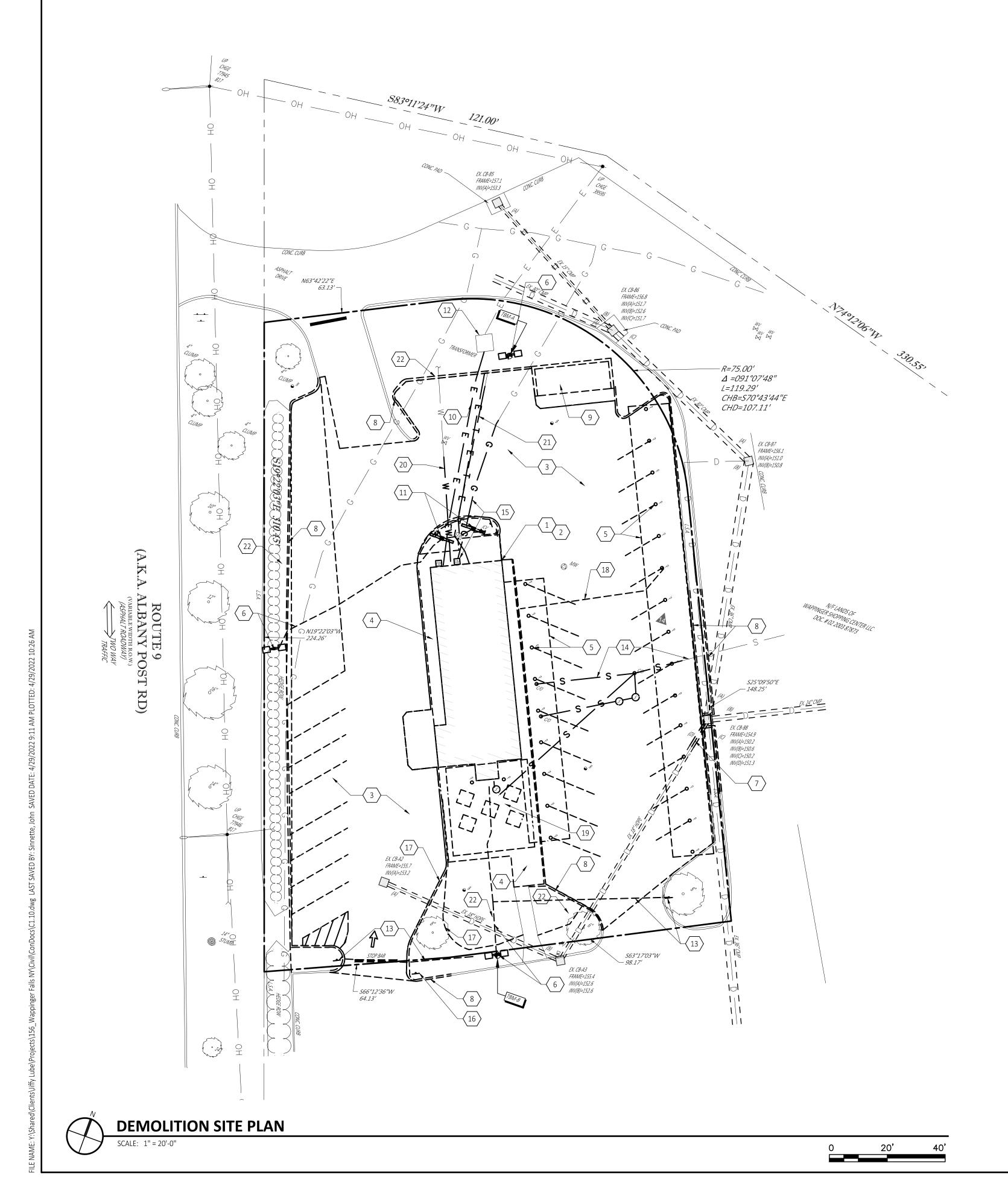
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$\langle x \rangle$	\rangle	DEMOLITION SITE	PLAN	KEYNOTES:
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- 1 DISCONNECT AND TERMINATE ALL BUILDING UTILITIES AS REQUIRED BY CODE PRIOR TO STARTING DEMOLITION ACTIVITIES.
- 2 REMOVE AND DISPOSE OF BUILDING AND FOUNDATIONS AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION.
- 3 SAWCUT, REMOVE AND DISPOSE OF SITE PAVEMENT AS REQUIRED TO ALLOW FOR NEW
- CONSTRUCTION. 4 SAWCUT, REMOVE AND DISPOSE OF CONCRETE WALK.
- 5 REMOVE AND DISPOSE OF DRIVE-IN CANOPY, COLUMNS, AND FOUNDATIONS, TERMINATE UTILITIES AS REQUIRED BY CODE.
- 6 DISCONNECT, REMOVE AND DISPOSE OF LIGHT FIXTURE, POLE AND FOUNDATION, TERMINATE UTILITIES AS REQUIRED BY CODE.
- 7 REMOVE AND DISPOSE OF PORTION OF STORM LINE. PREPARE FOR NEW CONSTRUCTION.
- 8 REMOVE AND DISPOSE OF CONCRETE CURB.
- 9 REMOVE AND DISPOSE OF CONCRETE PAD, FOUNDATION AND TRASH ENCLOSURE AS REQUIRED FOR NEW CONSTRUCTION.
- 10 DISCONNECT, REMOVE AND DISPOSE OF CONDUIT AND WIRING FROM TRANSFORMER TO BUILDING.
- 11 REMOVE AND DISPOSE OF DRIVE-THRU EQUIPMENT.
- 12 TRANSFORMER AND CONCRETE PAD TO REMAIN. PROTECT AND PREPARE FOR NEW CONSTRUCTION.
- 13 REMOVE AND DISPOSE OF PARKING LOT DIRECTIONAL SIGNS AND WIRING.
- 14 REMOVE AND DISPOSE OF PORTION OF SANITARY LINE TO EXISTING BUILDING. PROTECT EXISTING LINE, VERIFY PIPE INVERT, AND STAKE LOCATION FOR RE-USE IN NEW CONSTRUCTION.
- 15 REMOVE AND DISPOSE OF GAS METER AND PORTION OF GAS LINE TO EXISTING BUILDING. COORDINATE WITH GAS COMPANY.
- 16 REMOVE AND DISPOSE OF SIGNS.
- 17 REMOVE AND DISPOSE LANDSCAPE EDGING.
- 18 REMOVE AND DISPOSE OF WIRING TO DRIVE-IN CANOPY.
- 19 REMOVE AND DISPOSE OF OUTDOOR SEATING AND EQUIPMENT.
- 20 REMOVE AND DISPOSE OF PORTION OF WATER LINE AND METER.
- 21 REMOVE AND DISPOSE OF COMMUNICATION LINE.
- 22 TREE PROTECTION FENCE. SEE LANDSCAPE PLAN.

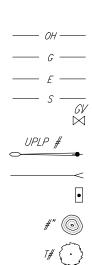
BID ALTERNATE

GC TO PROVIDE A BID ALTERNATE TO PATCH, CLEAN, AND REUSE EXISTING STORM STRUCTURES.

GEOTECHNICAL REPORT NOTE:

GC SHALL REFER TO THE FINAL GEOTECHNICAL INVESTIGATION REPORT PREPARED BY GEOSTRUCTURES, INC. PROJECT NUMBER G21-204 DATED JANUARY 4, 2022 FOR ALL BACKFILL AND SUBGRADE PREPARATION REQUIREMENTS AND RECOMMENDATIONS.

LEGEND



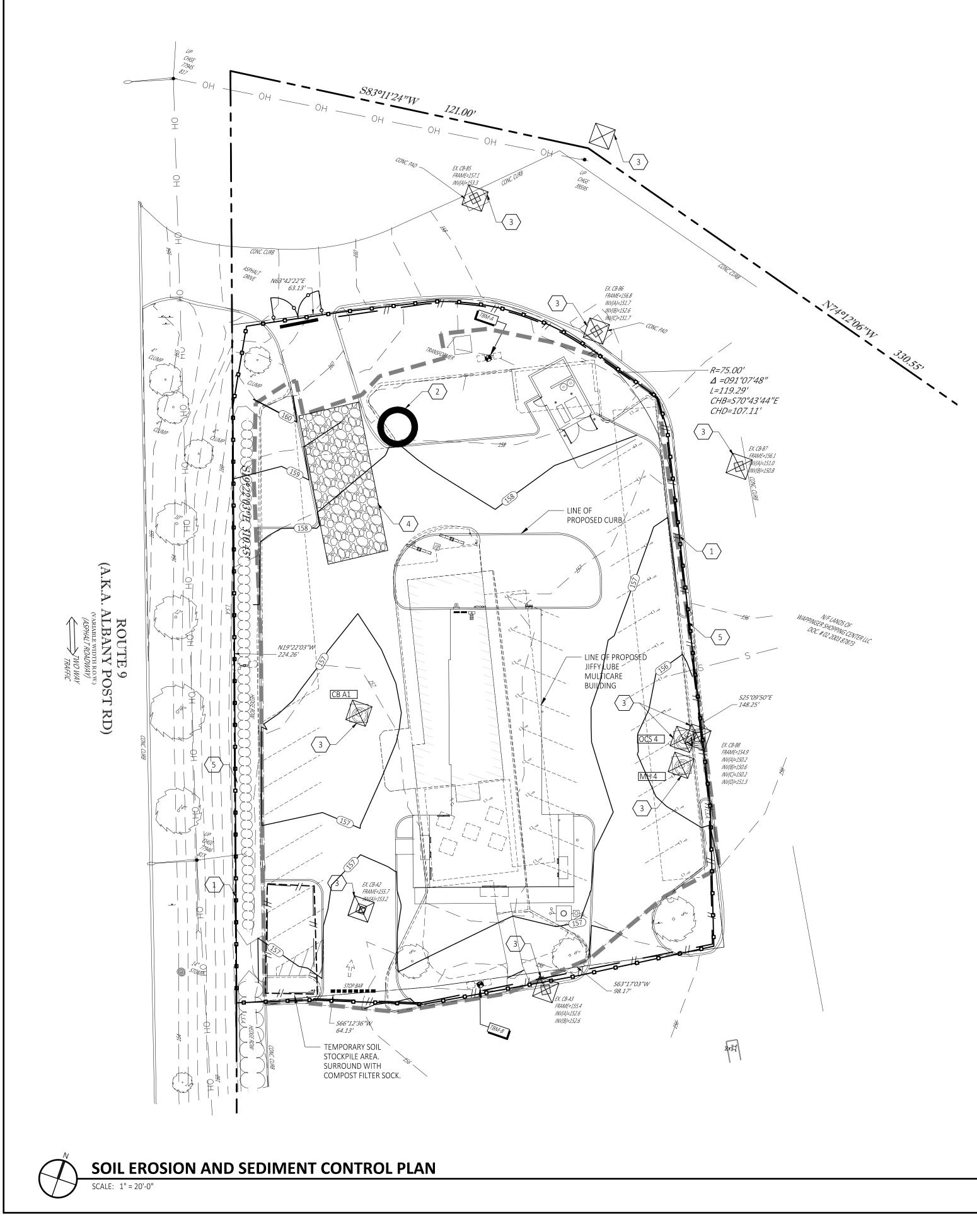
— ОН ——	OVERHEAD WIRES
— G ——	APPROX. LOC. UNDERGROUND GAS LINE
— E ——	APPROX. LOC. UNDERGROUND ELEC. LINE
— s — GV	APPROX. LOC. UNDERGROUND SAN. LINE
\bowtie	IRREGATION CONTROL VALVE
'PLP #	UTILITY POLE/LIGHT POLE
<	GUY WIRE
•	MAIL BOX
#" 💿	TREE STUMP & SIZE
7# ⊙	DECIDUOUS TREE & TRUNK SIZE

^	
0	PARKING SPACE COUNT
0. <i>C</i> .	EDGE OF CONC.
0.P.	EDGE OF PAVEMENT
W.L.	SOLID WHITE LINE
S.A.	LANDSCAPED AREA
YP.)	TYPICAL
● ^{BOR}	BORING
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(\mathbf{S})	SANITARY/SEWER MANHOLE
°_/0	CLEAN OUT
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- CATCH BASIN
- S SANITARY MANHOLE

Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331 734.367.4445 Telephone
Corporate Office: 3025 Highland Parkway, Suite 850 Downers Grove, IL 60515 info@sevansolutions.com www.sevansolutions.com INTEGRITY RESPECT TEAMWORK EXCELLENCE CHARITY
REVISIONS
NO. DATE DESCRIPTION
0 09.23.2021 SITE PLAN PERMIT 1 11.12.2021 AREA VARIANCES SUBMITTAL
2 01.14.2022 SITE PLAN REVIEW
3 04.01.2022 PLANNING BOARD REVIEW
4 04.29.2022 PLANNING BOARD FINAL REVIEW
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CONSTRUCTION SITE DEWATERING NOTES

TAKE CARE WHEN DEWATERING CONSTRUCTION SITES. DO NOT PUMP SEDIMENT-LADE DIRECTLY TO LAKES, STREAMS, COUNTY DRAINS, STORM DRAINS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS. THE PROPER WAY TO DEWATER A CONSTRUCTIO FOLLOWS:

- PLACE A GEOTEXTILE FILTER BAG OR GEOTUBE ON THE END OF THE DISCHA
- DISCHARGE DIRECTLY TO A SEDIMENT BASIN. • DISCHARGE TO A WELL VEGETATED AREA (NOT WETLANDS).
- DISCHARGE INTO A CONSTRUCTED CONTAINMENT AREA.

DISSIPATE ENERGY TO PREVENT SCOURING, AND INSPECT DEWATERING OPERATIONS S DAILY.

CONSTRUCTION SEQUENCE:

- 1. INSTALL TRAFFIC AND PEDESTRIAN SAFETY BARRICADES.
- 2. INSTALL TEMPORARY EROSION CONTROL MEASURES. PROTECT ALL AREAS THAT C SEDIMENT TO MIGRATE OFF-SITE VIA SURFACE RUNOFF, VIA ENCLOSED DRAINAGE VIA TRACKING CAUSED BY CONSTRUCTION EQUIPMENT, ETC. EROSION AND SEDIM MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- 3. COMPLETE REQUIRED REMOVALS AND LEGALLY DISPOSE OF DEBRIS AND WASTE (
- 4. PERFORM MASS GRADING AND CONSTRUCT SITE IMPROVEMENTS.
- 5. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DITCHES, SILT FENCING, TRAPS, ETC. SEED AND MULCH AS REQUIRED.
- 6. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES PER JURISDICTIONAL REQUIREMENTS.
- 7. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN SITE IS STABILIZED.

LEGEND - SEE SHEET C5.00 FOR ASSO	DCIATED DETAILS
CONSTRUCTION ENTRANCE .	
CONSTRUCTION FENCE.	-000
SILT FENCE.	// //
LIMITS OF DISTURBANCE	
INLET FILTER.	\boxtimes
TEMPORARY SOIL STOCKPILE AREA. SURROUND WITH COMPOST FILTER SOCK.	
CONCRETE WASHOUT	\mathbf{O}

STRUCTURE TABLE

NAME:	DETAILS:	DESCRIPTION:
CB A1	RIM 156.90 INV 153.62 12" SE	48" DIA. CB
EX. CB-A2	ADJ. FRAME 155.95 INV 153.30 12" NW INV 153.2 18" E (EXIST.)	EXIST. CB
EX. CB-A3	FRAME 155.4 (EXIST.) INV 152.6 18" W, N (EXIST.	EXIST. CB)
MH 4	RIM 155.10 INV 151.45 18" S (EXIST.) INV 151.35 8" SW INV 150.95 24" NW	48" DIA. MH
OCS 4	RIM 155.0 INV 151.25 18" NE (OUT) INV 150.84 18" SE	CONTECH CDS UNIT CDS2020-5-C SEE SHEET C5.02
EX. CB-B5	FRAME 157.1 (EXIST.) INV 153.3 15" SE (EXIST.)	EXIST. CB
EX. CB-B6	FRAME 156.8 (EXIST.) INV 152.6 15" NW (EXIST.) INV 151.7 30" SW, E (EXIST	
EX. CB-B7	FRAME 156.1 (EXIST.) INV 151.0 30" W (EXIST.) INV 150.8 36" SE (EXIST.)	EXIST. CB
EX. CB-B8	FRAME 154.9 (EXIST.) INV 151.3 18" S (CAP, MOF INV 150.79 8" SW INV 150.6 24" NE (EXIST.) INV 150.2 36" NW, SE (EXIS	RTAR, & PLUG)

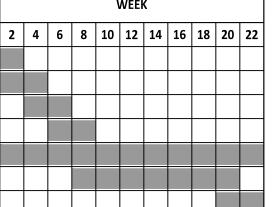
- $\langle x \rangle$ Soil erosion and sediment control plan keynotes:
- 1. INSTALL CONSTRUCTION FENCE. CONTRACTOR TO FIELD VERIFY AND COORDINATE LOCATION(S) OF CONSTRUCTION ACCESS GATE(S) WITH OWNER'S REPRESENTATIVE. SEE DETAIL 6/C5.00.
- 2. PROVIDE AND INSTALL CONCRETE WASHOUT AREA. SEE DETAIL 2/C5.00.
- 3. PROVIDE AND INSTALL INLET PROTECTION AT EXISTING CATCH BASIN. SEE DETAIL 4/C5.0
- 4. PROVIDE, INSTALL, AND MAINTAIN CONSTRUCTION ENTRANCE. SEE DETAIL 1/C5.00. LOCATION MAY VARY THROUGHOUT THE DURATION OF CONSTRUCTION. GC RESPONSI DOCUMENT DEVIATIONS FROM THE APPROVED PLANS.
- 5. PROVIDE, INSTALL, AND MAINTAIN SILT FENCE OR STRAW WATTLES. SEE DETAIL 5/C5.00.

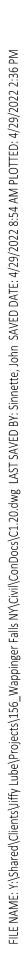
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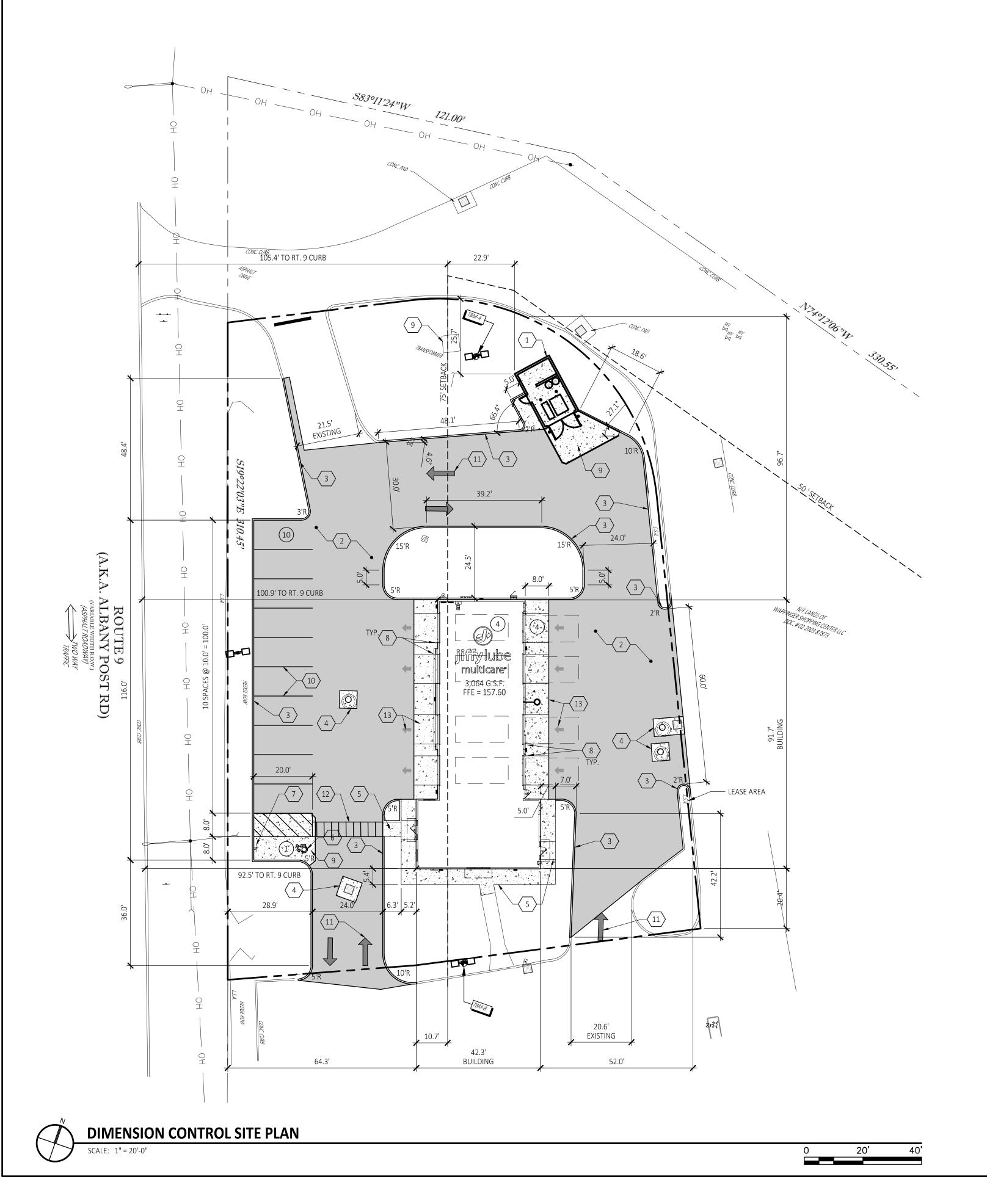
				sevan
			L EROSION AND SEDIMENT CONTROL AND MAINTENANCE NOTES:	ENGINEERING
DEN WATER R ON SITE IS AS	S	1.	A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT, OR SIMILAR PERMIT FROM THE JURISDICTIONAL AUTHORITY, MUST BE SECURED AND POSTED ON-SITE PRIOR TO ANY EARTH CHANGES.	Regional Office: 37704 Hills Tech Drive
IARGE HOSE.		2.	ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.	Farmington Hills, MI 48331 734.367.4445 Telephone
Ακύς πους.		3.	EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.	Corporate Office: 3025 Highland Parkway, Suite 850 Downers Grove, IL 60515
SEVERAL TIM	1ES	4.	THE GENERAL CONTRACTOR SHALL STAGE ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK AS DIRECTED IN THE DRAWINGS AND PROJECT MANUAL, AND AS OTHERWISE NECESSARY OR APPROPRIATE TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.	info@sevansolutions.com www.sevansolutions.com INTEGRITY RESPECT TEAMWORK EXCELLENCE CHARITY REVISIONS
		5.	THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SESC DEVICES.	NO. DATE DESCRIPTION
COULD ALLO GE SYSTEMS IMENT CONT	OR	6.	THE GENERAL CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE SESC MEASURES AS SHOWN IN THE DRAWINGS AND PROJECT MANUAL BEFORE, AND AT ALL TIMES DURING, THE CONSTRUCTION OF THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SESC MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR AS DIRECTED BY THE JURISDICTIONAL AUTHORITY.	0 09.23.2021 SITE PLAN PERMIT 1 11.12.2021 AREA VARIANCES SUBMITTAL 2 01.14.2022 SITE PLAN REVIEW 3 04.01.2022 PLANNING BOARD REVIEW
OFF-SITE.		7.	IF ANY OF THE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE JURISDICTIONAL AUTHORITY HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE GENERAL CONTRACTOR.	4 04.29.2022 PLANNING BOARD FINAL REVIEW
G, SEDIMENT L AUTHORITY		8.	THE GENERAL CONTRACTOR SHALL INSPECT THE SESC DEVICES ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. ANY REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.	
		9.	INSTALL SILT FENCE AS INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PER ATTACHED DETAILS, AND AT ADDITIONAL AFFECTED AREAS AS NECESSARY. A. SILT FENCE SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.	
			 B. BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATED TO 1/3 OF THE HEIGHT OF THE SILT FENCE. C. IF SILT FENCE DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY. 	
		10.	 INSTALL INLET FILTERS ON ALL PAVEMENT CATCH BASINS PER DETAIL. A. INLET FILTERS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY. B. BUILD-UP OF SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY. C. IF FILTER FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED 	CONSULTANT
		11.	USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FABRIC SHALL BE REPLACED PROMPTLY. INSTALL DRAIN GUARD ON ALL CATCH BASINS PER DETAIL, SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.	
			 A. DRAIN GUARDS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. B. BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE. C. IF FILTER FABRIC DECOMPOSES OR BECOME INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FENCE SHALL BE REPLACED DROMATLY 	SEAL
		12.	PROMPTLY. ALL STOCKPILED SOILS SHALL BE MAINTAINED IN SUCH A WAY AS TO PREVENT EROSION FROM LEAVING THE SITE. SILT FENCE MUST BE INSTALLED AROUND THE PERIMETER OF THE STOCKPILE. IF THE STOCKPILE WILL BE ON SITE FOR MORE THAN 30 DAYS, THE STOCKPILE MUST BE SEEDED. A. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW, SPREAD UNIFORMLY AT THE RATE OF 1 TO 2 TONS PER ACRE OR 100	STATE OF NEW LOP STATE OF NEW LOP TIMOTHY B TRAD
		13.	 POUNDS (2-3 BALES) PER 1000 SQUARE FEET. B. THE MULCH SHOULD BE ANCHORED WITH DISC TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE JURISDICTIONAL AUTHORITY. MULCH MATTING MAY BE USED IN LIEU OF LOOSE MULCH. IF ANY PUMP-DRIVEN DEWATERING IS NEEDED, IT SHALL BE DISCHARGED THROUGH A FILTER BAG 	LICENSED OPOSES LONAL
			OVER A WELL-VEGETATED AREA. THE PUMP MUST DISCHARGE AT A NON-EROSIVE VELOCITY. IF NECESSARY, AN APPROVED ENERGY DISSIPATER MAY BE USED. IF ANY DEWATERING IS NEEDED OR ANTICIPATED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN FOR REVIEW.	04/29/2022
			CONSTRUCTION ACCESS TO BE FROM THE EXISTING APPROACH, OR OTHER EXPRESSLY DESIGNATED AREA. NO ACCESS SHOULD BE MADE FROM ADJACENT PROPERTIES WITHOUT PRIOR CONSENT.	
			ALL MUD, DIRT, AND DEBRIS TRACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY BY THE GENERAL CONTRACTOR. STREETS AND/OR PARKING AREAS WILL BE SCRAPED AND SWEPT ON A DAILY BASIS BY THE	
			GENERAL CONTRACTOR. ALL DISTURBED AREAS SHALL BE MAINTAINED FOR DUST CONTROL. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, AND	jiffy lube [®]
		18.	OTHER AREAS WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITY. PERMANENT SESC MEASURES FOR ANY DISTURBED LAND AREA SHALL BE COMPLETED BY THE GENERAL CONTRACTOR WITHIN FIVE (5) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGE ACTIVITY CEASES, TEMPORARY SESC MEASURES SHALL BE	PROJECT DESCRIPTION
		19.	IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SESC MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SESC MEASURES ARE IMPLEMENTED. THE GENERAL CONTRACTOR SHALL FINAL GRADE, ESTABLISH VEGETATION, AND/OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON.	
		20.	THE GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY SESC DEVICES AFTER PERMANENT STABILIZATION IS ESTABLISHED.	MULTI-CARE SERVICES
			3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.	PROJECT LOCATION
			SLOPES STEEPER THAN 1V:6H (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS. EXISTING DRAINAGE OUTLET FOR SITE: EXISTING STORM WATER MANAGEMENT AND STORM SEWER SYSTEM WITHIN PROPERTY IS TRIBUTARY TO EXISTING REGIONAL DETENTION BASIN WEST OF US 9 AND TRIBUTARY TO UNNAMED DRAINAGE DITCH FROM UNNAMED WATER BODY 0.64	1506 US 9
		24.	MILES EAST OF WAPPINGER LAKE, BOTH OF WHICH ARE TRIBUTARY TO UNNAMED DRAINAGE DITCH WITH OUTFALL TO WAPPINGER CREEK. PROPOSED DRAINAGE OUTLET FOR SITE: CAPTURE, TREAT, DETAIN, AND OUTLET AT A CONTROLLED RATE TO EXISTING STORM WATER MANAGEMENT AND STORM SEWER SYSTEM WITHIN PROPERTY.	WAPPINGERS FALLS, NY 12590
		25.	TOTAL AREA OF DISTURBANCE: 28,654 sf or 0.65 AC	(DUTCHESS COUNTY)
			SOIL TYPE(S): Ur: URBAN LAND NAME OF AND DISTANCE TO NEAREST LAKE, STREAM, OR DRAIN: WAPPINGER CREEK 0.98 MILES	SHEET TITLE
			NORTHWEST.	SOIL EROSION AND SEDIMENT CONTROL PLAN
				SHEET MANAGEMENT PROJECT NO.: 156
	(ON OPERATION TIME SCHEDULE WEEK	DATE: - CRITERIA: V2021.08-1X4 PROJECT MANAGER: M. PISKO THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF
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.00.	_	EXCAVATION		SHEET NUMBER
IBLE TO	5 5	SESC MEASUR	ES INSPECTIONS AND MAINTENANCE	C1.11

7

6 COMPLETE EARTH MOVEMENTS FINAL GRADING, SEEDING AND MULCHING





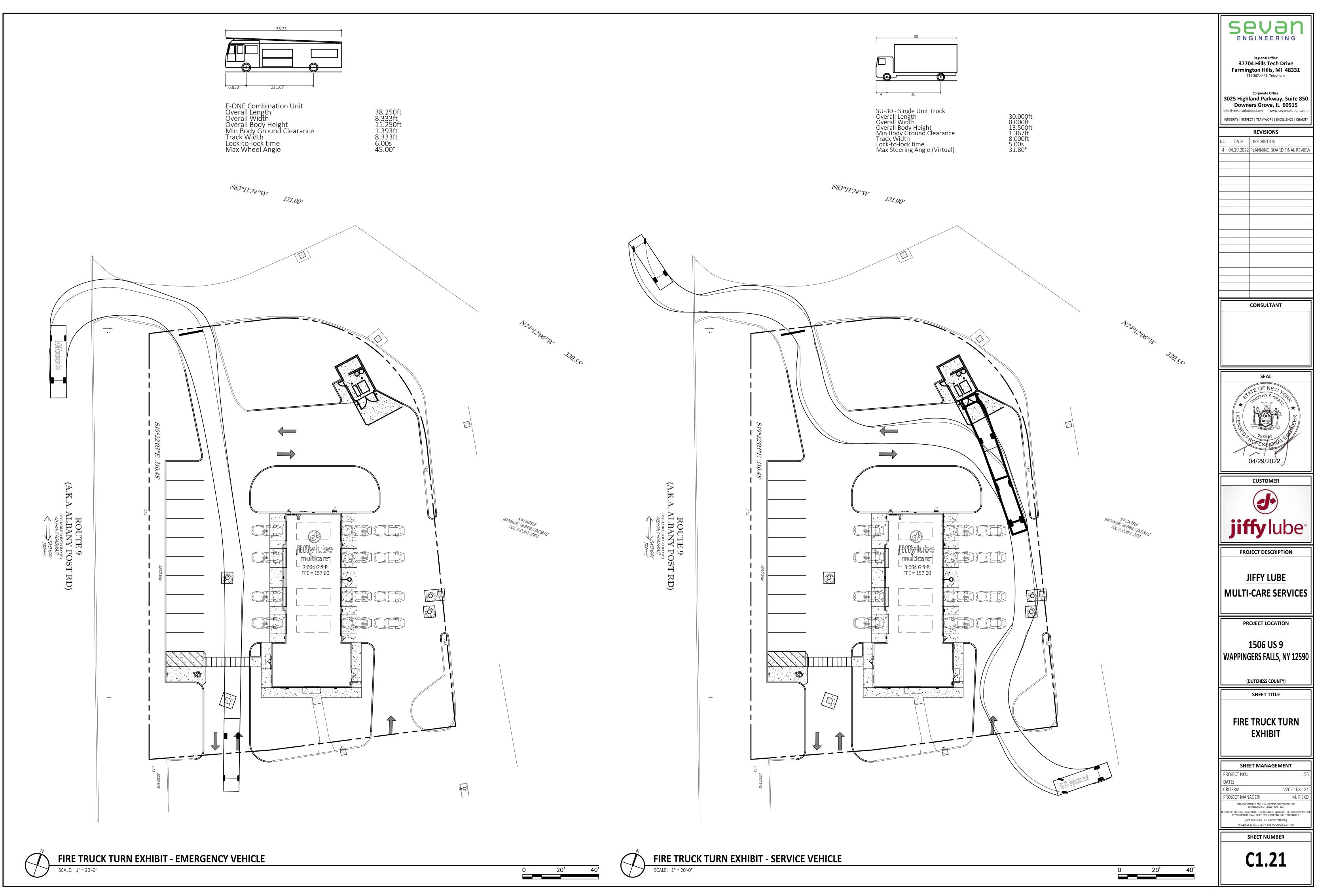


$\langle x \rangle$ PROPOSED SITE IMPROVEMENTS

- 1 TRASH ENCLOSURE, CONCRETE PAD AND PROTECTIVE BOLLARDS. SEE ARCHITECTURAL DRAWINGS.
- 2 STANDARD DUTY BITUMINOUS PAVEMENT. SEE DETAIL 9/C5.01.
- 3 CONCRETE CURB. SEE DETAIL 6/C5.01.
- 4 POURED CONCRETE STRUCTURE COLLAR. COORDINATE ELEVATION WITH TOP OF STRUCTURE.
- 5 CONCRETE SIDEWALK (WIDTH VARIES SEE PLAN). SEE DETAIL 4/C5.01.
 6 VAN ACCESSIBLE PARKING SPACE WITH PAINTED ACCESSIBILITY SPACE SYMBOL AS REQUIRED BY FEDERAL, STATE OR LOCAL CODE. SEE DETAIL 5/C5.01.
- ACCESSIBLE RESERVED PARKING SIGN AS REQUIRED BY FEDERAL, STATE OR LOCAL CODE. SEE DETAIL 7/C5.01.
- 8 PROTECTIVE BOLLARD. SEE DETAIL 2/C5.01.
- 9 CONCRETE PAVING. SEE DETAIL 8/C5.01.10 4" PAINTED PARKING STRIPE. COLOR: YELLOW.
- 11 PAINTED DIRECTIONAL DRIVE ARROWS. COLOR TO MATCH PARKING STRIPING.
- 12 PAINTED PEDESTRIAN CROSSWALK. COLOR: WHITE
- 13 INTEGRAL COLOR CONCRETE APRON AND PAINTED BAY ARROWS. SEE DETAIL 3/C5.01 & ARCHITECTURAL PLANS.
- (#) PARKING COUNT (17 REQUIRED, 19 PROVIDED)

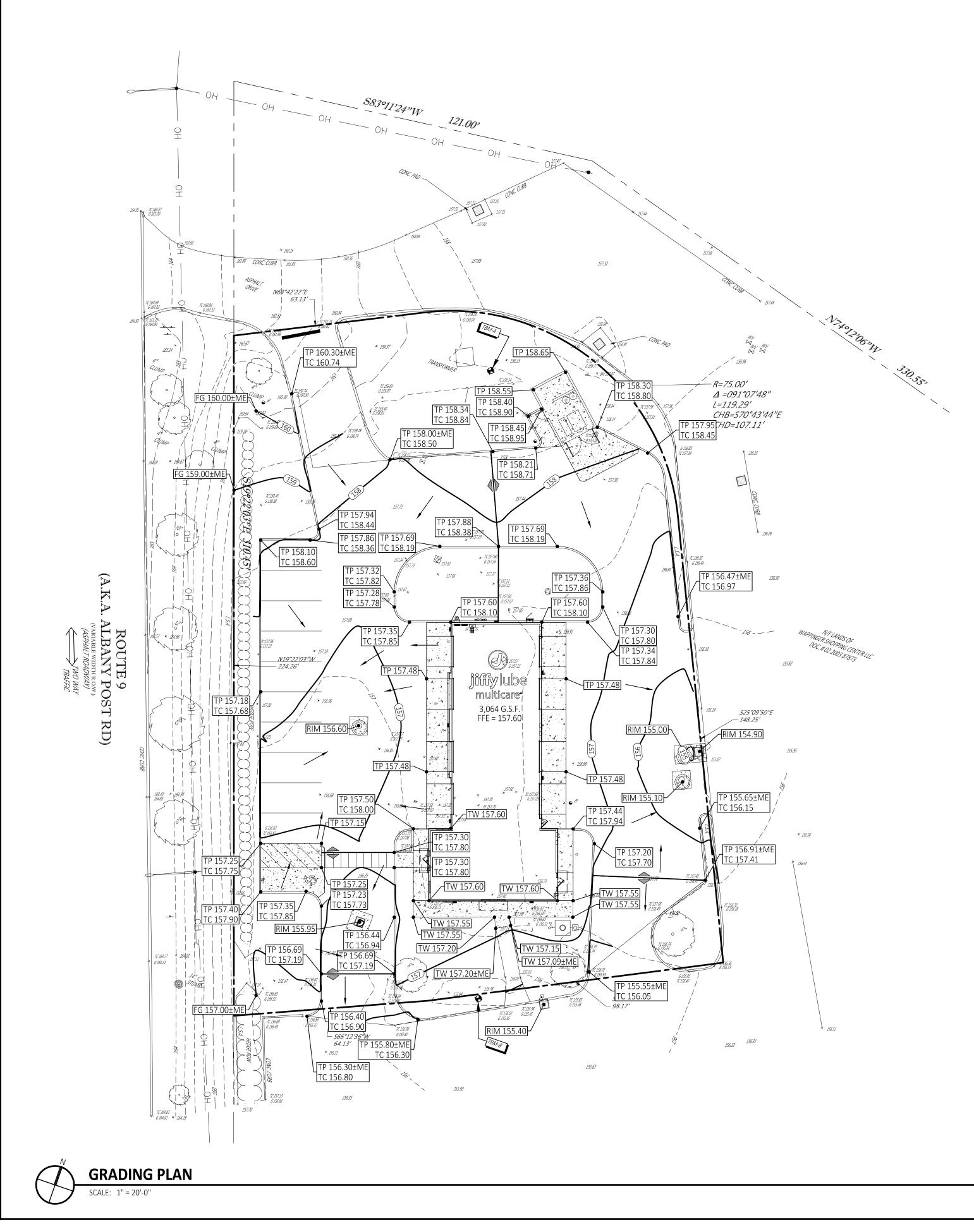
- GENERAL SITE NOTES
- A. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- B. NOTIFY OWNER OF ANY DISCREPANCIES.
- C. SEE SURVEY FOR ALL EXISTING CONDITIONS.
- D. ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- E. PARKING SPACES TO THE WEST AND BUILDING ARE PARALLEL AND PERPENDICULAR TO WEST PROPERTY LINE.

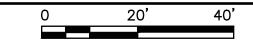
	Sevan
	Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331 734.367.4445 Telephone
inf	Corporate Office: 025 Highland Parkway, Suite 850 Downers Grove, IL 60515 To@sevansolutions.com www.sevansolutions.com TEGRITY RESPECT TEAMWORK EXCELLENCE CHARITY
	REVISIONS
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	04/29/2022
	CUSTOMER
	jiffy lube [®]
	JIIIyiube
	PROJECT DESCRIPTION
	JIFFY LUBE
	MULTI-CARE SERVICES
	PROJECT LOCATION
	1506 US 9
W	APPINGERS FALLS, NY 12590
	(DUTCHESS COUNTY)
	SHEET TITLE
ן ב	DIMENSION CONTROL
	SITE PLAN
PR	SHEET MANAGEMENT
DA	ATE:
	CITERIA: V2U21.U8-1X4 COJECT MANAGER: M. PISKO THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF
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GRADING NOTES:

- 1. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
- 2. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
- 3. ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- 4. THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
- 5. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
- 6. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
- 7. UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
- 8. THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. SEE SESC PLAN ON SHEET C1.11 FOR LIMIT OF DISTURBANCE. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
- 9. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.
- 10. PER TOWNSHIP STANDARDS, ALL STORMWATER RUNOFF SHALL BE CONTAINED AND COLLECTED ON-SITE TO BE CONVEYED UNDERGROUND TO THE EXISTING STORMWATER MANAGEMENT SYSTEM.

SITE SPECIFIC GRADING GENERAL NOTES:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY LIMITED TO: (A) EXISTING CURB THAT MAY BE DISTURBED

- (B) EXISTING ASPHALT THAT MAY BE DISTURBED
- C) EXISTING LANDSCAPING, (D) EXISTING LIGHT STANDARD(S) AND WIRING.

GRADING LEGEND:

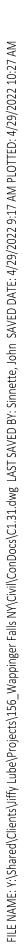
- TG GUTTER GRADE
- TC TOP OF CURB
- BWFINISHED GRADE AT WALLFGFINISHED GRADE
- FL DITCH FLOW LINE
- TP TOP OF PAVEMENT
- RIM UNDERGROUND STRUCTURE RIM TW TOP OF WALK
- FFE FINISHED FLOOR ELEVATION
- ME MATCH EXISTING
- 2.0% PROPOSED SLOPE

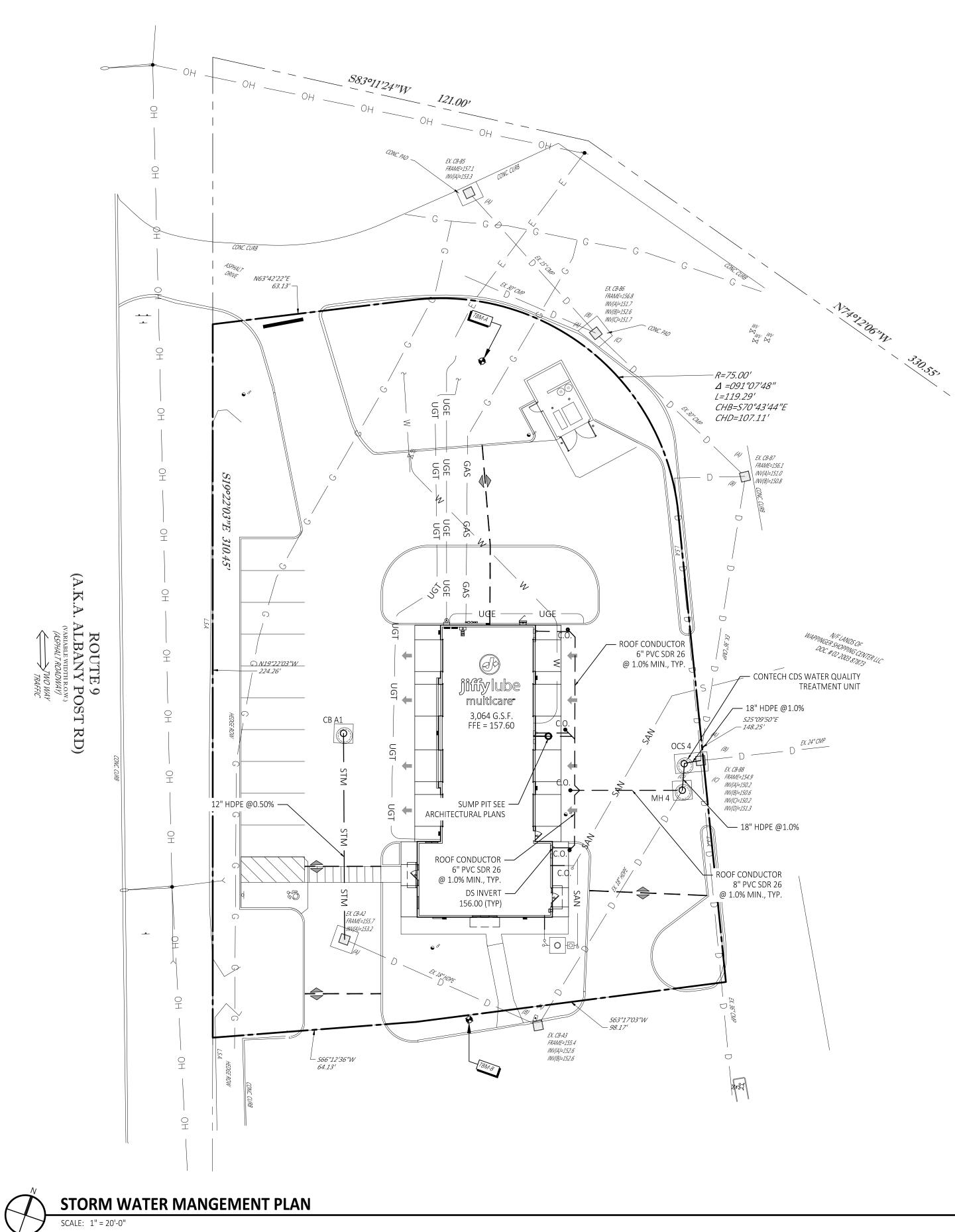
BENCHMARKS:

AS PER SURVEY NOTES: ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS TAKEN AT THE TIME OF THE SURVEY.

TBM-A:	BOX CUT SET IN CONCRETE BASE OF LIGHT POLE. ELEVATION: 159.58'
TBM-A:	BOX CUT SET IN CONCRETE BASE OF LIGHT POLE. ELEVATION: 156.49'



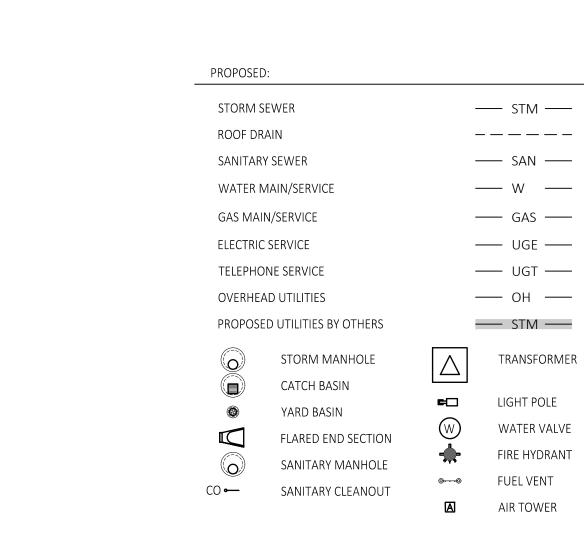






Project: JLI Wappinger Falls Date: 01.14.2022 Revision: -Revision Date: -

WAII	ER QUALITY CALCU		
TOTAL REQUI	RED WATER QUAL	ITY FOR THE SITE	
90% Rainfall Event Number (Fig 4.1)	P=	1.4 in	
0.05+0.009 (I) (minimum Rv=0.2)	Rv=	0.6548	
Total Drainage Area	At=	0.75 Ac	
Impervious Area	Ai=	0.504 Ac	
Impervious Area Percentage	Ai=	67.2 %	
90% Rule	Wqv=	2496 c.f.	
WATER QU	ALITY PEAK FLOW	CALCULATION	
90% Rainfall Event Number (Fig 4.1)	P=	1.4 in	
Area	A=	0.75 Ac	
Water Quality Volume	Wqv=	2496 c.f.	
Runoff Volume	Q=	0.92 in	
Curve Number	CN=	95.05	
la = (200/CN) - 2	la=	0.10 in	
R = Ia/P	R=	0.07	
qu (From Exhibits 4-I to 4-III)	qu=	500	
Qp = qu*A*WQv	P=	0.54 cfs	



0 20' 40'

LEGEND

NAME:	DETAILS:		DESCRIPTION:
CB A1	RIM 156.60 INV 153.60	12" SE	48" DIA. CB
EX. CB-A2	ADJ. FRAME 1 INV 153.28 INV 153.20	12" NW (NEW)	EXIST. CB
EX. CB-A3	FRAME 155.4 INV 152.6	(EXIST.) 18" W, N (EXIST.)	
MH 4	RIM 155.10 INV 151.45 INV 151.35 INV 150.95	8" SW	48" DIA. MH
OCS 4	RIM 155.0 INV 151.25 INV 150.84	18" NE (OUT) 18" SE	CONTECH CDS UNI ⁻ CDS2020-5-C SEE SHEET C5.01
EX. CB-B5	FRAME 157.1 INV 153.3	(EXIST.) 15" SE (EXIST.)	EXIST. CB
EX. CB-B6	FRAME 156.8 INV 152.6 INV 151.7	(EXIST.) 15" NW (EXIST.) 30" SW, E (EXIST	
EX. CB-B7		(EXIST.) 30" W (EXIST.) 36" SE (EXIST.)	EXIST. CB
EX. CB-B8	INV 150.6	(EXIST.) 18" S (CAP, MOR 8" SW 24" NE (EXIST.) 36" NW, SE (EXIS	TAR, & PLUG)

STRUCTURE TABLE

STORM STRUCTURE NOTES:

- 1. SEE DETAILS ON SHEET C5.02.
- 2. ALL STORM STRUCTURES TO BE INSTALLED IN ACCORDANCE WITH LOCAL STANDARDS AND DETAILS UNLESS NOTED OTHERWISE.
- 3. PROVIDE INLET FILTERS FOR ALL INLETS. FILTER SHALL BE REGULARLY MAINTAINED AND REMAIN IN PLACE UNTIL FINAL GRADES HAVE BEEN ESTABLISHED. REFER TO SHEET C1.11.
- ALL STRUCTURE FRAME AND GRATES TO BE STANDARD UNLESS NOTED OTHERWISE.
 NORTHING AND EASTING PER COORDINATE SYSTEM PROVIDED IN THE SURVEY AUTOCAD FILE PROVIDED BY DLZ INDUSTRIAL SURVEYING, INC.
- ALL CATCH BASINS AND INLETS SHALL HAVE UNDERDRAINS INSTALLED, WRAPPED IN GEOTEXTILE AND PLACED IN THE SEWER TRENCH, NOT MORE THAN 3 FEET BELOW THE TOP OF THE CASTING.

UTILITY EASEMENT NOTE:

REFER TO THE BOUNDARY/TOPOGRAPHIC SURVEY PREPARED BY SURVEYOR FOR INFORMATION REGARDING EXISTING EASEMENTS.

STORMWATER DETENTION NOTE:

THIS OUTLOT IS PART OF THE WAPPINGER PLAZA DEVELOPMENT. THE EXISTING DETENTION WAS ORIGINALLY DESIGNED TO INCLUDE THE DEVELOPMENT OF THIS OUTLOT. NO ADDITIONAL DETENTION REQUIRED.

UTILITY CROSSING NOTE:

SEE SHEET C1.40 FOR UTILITY CROSSINGS.

EXISTING:

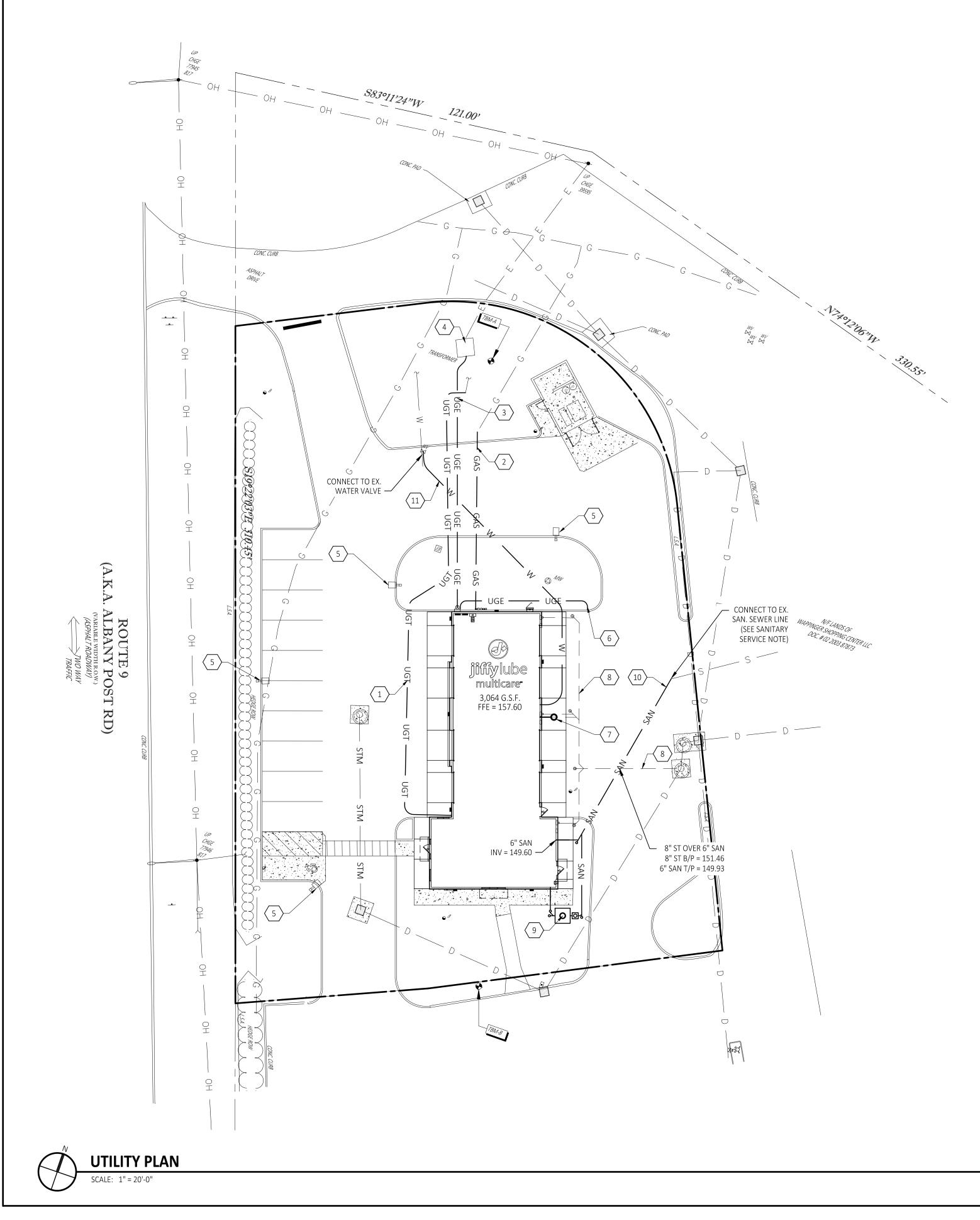
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<i>G</i> —	
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S	GV X
UPLP #	-

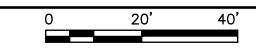
- OVERHEAD WIRES APPROX. LOC. UNDERGROUND GAS LINE APPROX. LOC. UNDERGROUND STORM LINE APPROX. LOC. UNDERGROUND ELEC. LINE APPROX. LOC. UNDERGROUND SAN. LINE IRREGATION CONTROL VALVE UTILITY POLE/LIGHT POLE
- GUY WIRE
 MAIL BOX

_	
E.O.C.	EDGE OF CONC.
E.O.P.	EDGE OF PAVEMENT
<i>S.W.L.</i>	SOLID WHITE LINE
L. <i>S.A.</i>	LANDSCAPED AREA
(TYP.)	TYPICAL
e^{BOR}	BORING
	SIGN
GM	GAS METER
EM	ELECTRIC METER
MH S	SANITARY/SEWER MANHOLE
s _C/O	CLEAN OUT
\circ^{\vee}	POST
	CATCH BASIN
S	SANITARY MANHOLE

Sevan Engineering					
Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331 734.367.4445 Telephone					
Corporate Office: 3025 Highland Parkway, Suite 850 Downers Grove, IL 60515 info@sevansolutions.com www.sevansolutions.com					
INTEGRITY RESPECT TEAMWORK EXCELLENCE CHARITY					
NO. DATE DESCRIPTION 1 11.12.2021 AREA VARIANCES SUBMITTAL					
 2 01.14.2022 SITE PLAN REVIEW 3 04.01.2022 PLANNING BOARD REVIEW 4 04.29.2022 PLANNING BOARD FINAL REVIEW 					
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STATE OF NEW LOP STATE STATE STA					
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04/29/2022					
CUSTOMER					
jiffy lube [®]					
PROJECT DESCRIPTION					
JIFFY LUBE					
MULTI-CARE SERVICES					
PROJECT LOCATION					
1506 US 9 WAPPINGERS FALLS, NY 12590					
WAPPINGERS FALLS, NY 12590					
(DUTCHESS COUNTY)					
STORM WATER MANGEMENT PLAN					
SHEET MANAGEMENT PROJECT NO.: 156					
PROJECT NO.: 156 DATE: - CRITERIA: V2021.08-1X4					
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PROPOSED:

STORM S	EWER	— STM —
ROOF DR.	AIN	
SANITAR	Y SEWER	— SAN —
WATER N	AIN/SERVICE	— W —
GAS MAII	N/SERVICE	—— GAS ——
ELECTRIC	SERVICE	UGE
TELEPHO	NE SERVICE	UGT
OVERHEA	AD UTILITIES	— ОН —
PROPOSE	D UTILITIES BY OTHERS	STM
	STORM MANHOLE	TRANSFORMER
	CATCH BASIN	
0	YARD BASIN	
	FLARED END SECTION	W WATER VALVE
	SANITARY MANHOLF	FIRE HYDRANT
	SANITARY CLEANOUT	o⊙ FUEL VENT
00	SANTART CLEANOUT	AIR TOWER

LEGEND

× PROPOSED UTILITY KEYED NOTES

- 1 TELECOMMUNICATION SERVICE. G.C. TO PROVIDE AND INSTALL (2) 2" CONDUIT W/ PULL STRING. VERIFY EXACT ROUTING AND TERMINATION REQUIREMENTS WITH SERVICE COMPANY BEFORE STARTING WORK. GENERAL CONTRACTOR TO COORDINATE WITH OTHER UTILITIES, UTILIZE SHARED TRENCHING IF PERMITTED AND COORDINATE ROUTING AND POINT OF CONNECTION WITH JIFFY LUBE CONSTRUCTION REPRESENTATIVE.
- 2 NATURAL GAS SERVICE. 1-1/4 " INCOMING PIPING. ALL MATERIALS AND INSTALLATION ARE TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND N.F.P.A. STANDARDS. CONTRACTOR SHALL COORDINATE WITH SERVICE PROVIDER TO VERIFY EXACT LOCATION OF SERVICE EXTENDED TO SITE. FINAL DESIGN AND INSTALLATION FEE TO BE DETERMINED BY UTILITY COMPANY ONCE A FORMAL WORK ORDER HAS BEEN SUBMITTED.
- 3 ELECTRIC SERVICE PROVIDE AND INSTALL (1) 4" SCHEDULE 40 PVC CONDUIT, (WITH TWO (2) PULL STRINGS) FOR ELECTRIC SUPPLY FROM THE TRANSFORMER TO BUILDING CONNECTION POINT. FIELD VERIFY AND COORDINATE EXACT CONDUIT ROUTING WITH THE JIFFY LUBE CONSTRUCTION REPRESENTATIVE PRIOR TO PROCEEDING. CONTRACTOR TO INSTALL SERVICE PER ALL STATE AND LOCAL CODES, POWER COMPANY, N.F.P.A., AND N.E.C. STANDARDS AND COORDINATE WITH THE POWER COMPANY TO VERIFY THE FINAL DESIGN AND INSTALLATION FEE ONCE A FORMAL WORK ORDER HAS BEEN SUBMITTED.
- 4 EXISTING TRANSFORMER TO BE MAINTAINED AND REUSED FOR NEW CONSTRUCTION
- 5 SITE LIGHT. PROVIDE 1-1/2" P.V.C. CONDUIT TO ELECTRIC PANEL. SEE ARCHITECTURAL SHEETS FOR CIRCUITING AND LIGHT POLE BASE DETAILS. SEE SITE PHOTOMETRIC PLAN.
- 6 PROVIDE AND INSTALL (1) 1" PVC SCH 40 CONDUITS FOR DRIVE SIGNAL CHIME BELT. DAYLIGHT THOUGH CURB AT GRADE. VERIFY LOCATION WITH OWNER'S CONSTRUCTION REPRESENTATIVE.
- 7 SUMP PIT CONNECTED TO ROOF DRAIN CONDUCTORS/STORM. SEE ARCHITECTURAL PLANS.
- 8 ROOF DRAIN CONDUCTORS. SEE SHEET C1.31 FOR PIPE DIAMETER AND SLOPE.
- 9 OIL/WATER SEPARATOR. CONNECTED TO SANITARY SERVICE. SEE ARCHITECTURAL PLANS.
- 10 PROVIDE AND INSTALL 6" PVC SDR-35 SANITARY SERVICE AT MIN. 1% SLOPE WITH CLEAN-OUTS 5.0' OUTSIDE OF FOUNDATION AND AT EVERY HORIZONTAL AND VERTICAL BEND PER CLEAN-OUT DETAIL. COORDINATE LOCATION OF SANITARY SEWER LATERAL THROUGH FOUNDATION WITH STRUCTURAL DRAWINGS. MAINTAIN A MINIMUM OF 10' HORIZONTAL AND 18" VERTICAL SEPARATION FROM WATER. MAKE CONNECTION TO EXISTING SANITARY MAIN PER SERVICE PROVIDER AND OR MUNICIPAL STANDARDS. SEE DETAILS ON SHEET 5.02.
- 11 1/4" DOMESTIC WATER SERVICE. PIPING TO BE COPPER TYPE K OR OWNER APPROVED EQUIVALENT. MINIMUM BURIAL DEPTH TO BE 5.0'BELOW FINISHED GRADE. PROVIDE 18" CLEARANCE AT ALL UTILITY CROSSINGS. CONTRACTOR TO VERIFY REQUIREMENTS OF LOCAL CODES, UTILITY COMPANIES AND GOVERNING OFFICIALS. INCLUDE IN BASE BID ALL VALVES, PIPING, STRUCTURES, ETC. THAT WILL BE REQUIRED.

SANITARY SERVICE NOTE:

SANITARY CONNECTION INVERT BASED ON MINIMUM SLOPE. GC TO VERIFY EXISTING SANITARY LEAD INVERT DURING CONSTRUCTION AND NOTIFY OWNER'S CONSTRUCTION REPRESENTATIVE OF ANY DISCREPANCIES.

UTILITY EASEMENT NOTE:

REFER TO THE BOUNDARY/TOPOGRAPHIC SURVEY PREPARED BY CONTROL POINT ASSOCIATES INC. FOR INFORMATION REGARDING EXISTING EASEMENTS.

UTILITY NOTE:

IF BASEMENTS ARE INVOLVED, ALL WATER MAIN SERVICE LEADS SHALL BE PRETAPPED PRIOR TO BASEMENT EXCAVATION.



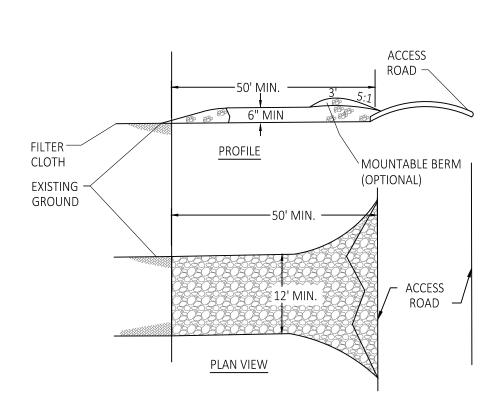
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UPLP #

OVERHEAD WIRES APPROX. LOC. UNDERGROUND GAS LINE APPROX. LOC. UNDERGROUND STORM LINE APPROX. LOC. UNDERGROUND ELEC. LINE APPROX. LOC. UNDERGROUND SAN. LINE IRREGATION CONTROL VALVE UTILITY POLE/LIGHT POLE

- GUY WIRE

 GUY WIRE
 MAIL BOX
- E.O.C.EDGE OF CONC.E.O.P.EDGE OF PAVEMENTS.W.L.SOLID WHITE LINEL.S.A.LANDSCAPED AREA(TYP.)TYPICALBORINGSIGNMGAS METERMSANITARY/SEWER MANHOLE
- $s \circ c/0$ CLEAN OUT $\circ V$ POST
- CATCH BASIN
- (5) SANITARY MANHOLE



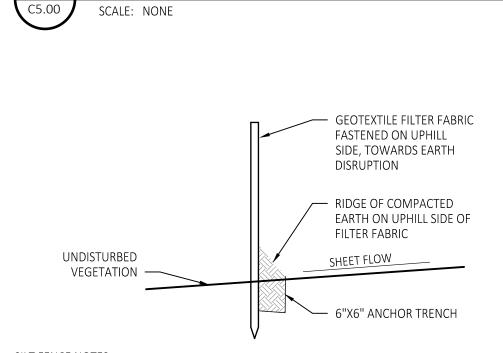


GENERAL NOTES:

1

SCALE: NONE

- 1. ALL MATERIALS FOR THE CONSTRUCTION OF A TEMPORARY APPROACH SHALL MEET DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND BE APPROVED BY THE APPROPRIATE INSPECTOR PRIOR TO PLACEMENT.
- 2. STONE SIZE USE 1-3" CRUSHED CONCRETE OR CRUSHED LIMESTONE.
- 3. WOVEN GEOTEXTILE FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 5. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.



CONSTRUCTION ENTERANCE

SILT FENCE NOTES:

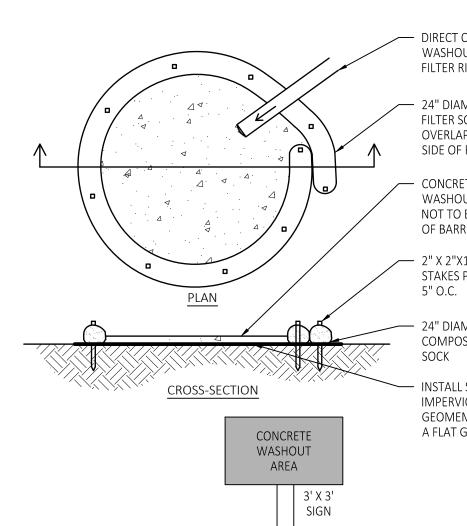
- INSTALLATION NOTES:
- INSTALL ALONG A CONTOUR LINE ON A SLOPE OF EQUAL ELEVATION. DO NOT INSTALL IN AN AREA OF CONCENTRATED FLOW.
- INSTALL WITH GEOTEXTILE FABRIC ATTACHED TO FENCE POSTS ON THE UPHILL SIDE. EXCAVATE A 6"x6" ANCHOR TRENCH AND BURYING THE TAIL OF THE GEOTEXTILE FABRIC WITH BACKFILL COMPACTED UP AGAINST IT.

MAINTENANCE REQUIREMENTS:

- 1. PERFORM FREQUENT INSPECTIONS TO ASSURE THAT SILT FENCE IS FIRMLY ENTRENCHED AND IN GOOD WORKING CONDITION. **AT A MINIMUM**, INSPECT AFTER EACH MAJOR RUN-OFF EVENT. 2. REMOVE ACCUMULATED SEDIMENT WHEN IT IS EQUAL TO APPROXIMATELY 25% OF THE FENCE
- HEIGHT. REMOVE ANY DAMAGED, TORN, OR KNOCKED DOWN SILT FENCE AND REPLACE IMMEDIATELY.
- REMOVE SILT FENCE WHEN THE SITE HAS BEEN PERMANENTLY STABILIZED. 4.

SILT FENCE

5 C5.00 SCALE: NONE



1. ACTUAL LAYOUT AND SIGN PLACEMENT TO BE DETERMINED IN THE FIELD.

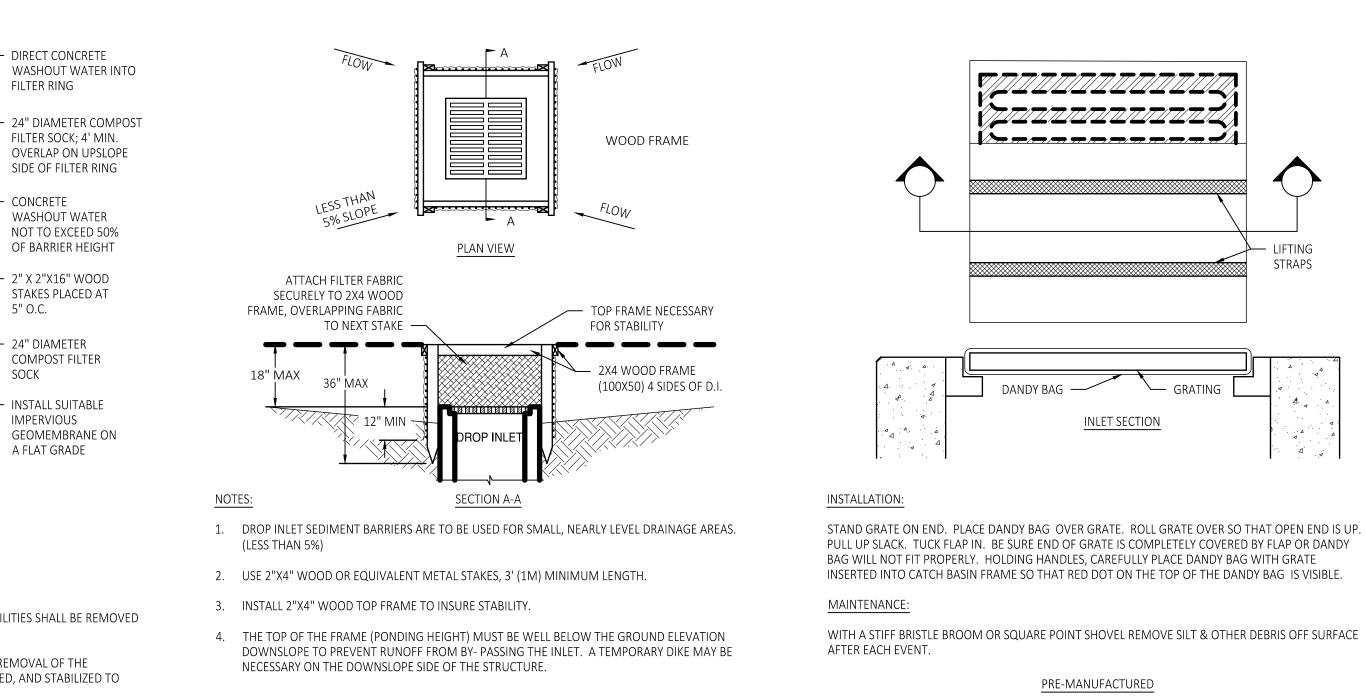
NOTES:

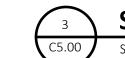
2. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.

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3. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

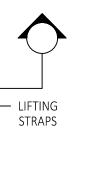


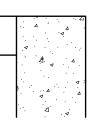


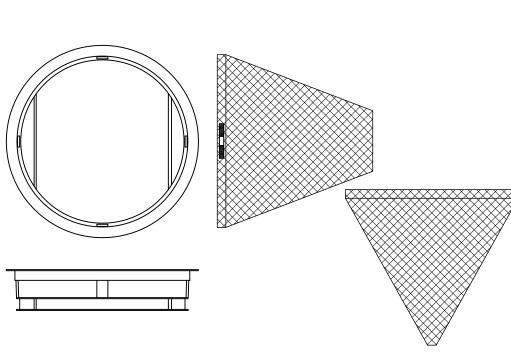


SILT FENCE INLET FILTER SCALE: NONE

INLET PROTECTION DETAILS C5.00 SCALE: NONE





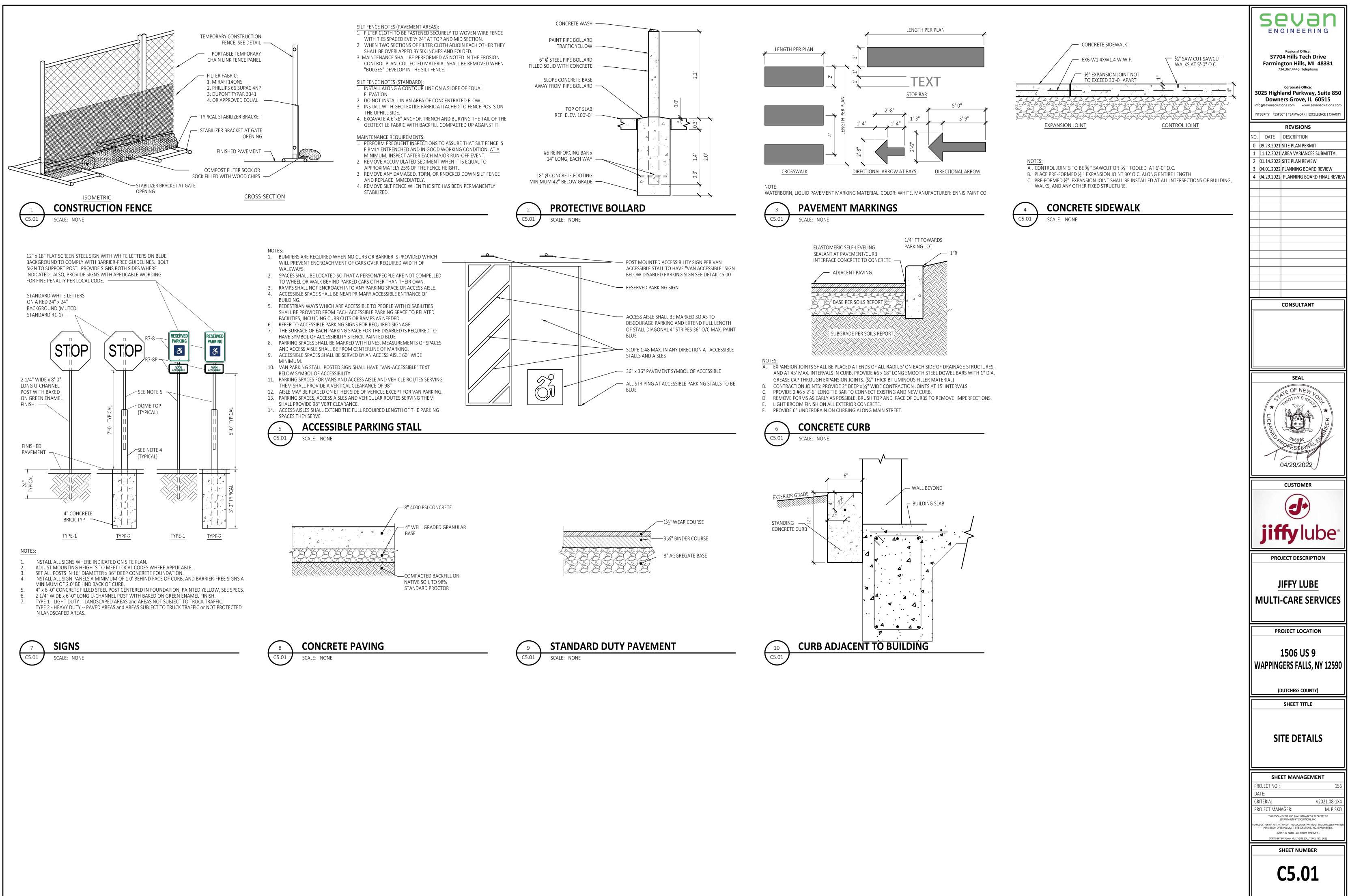


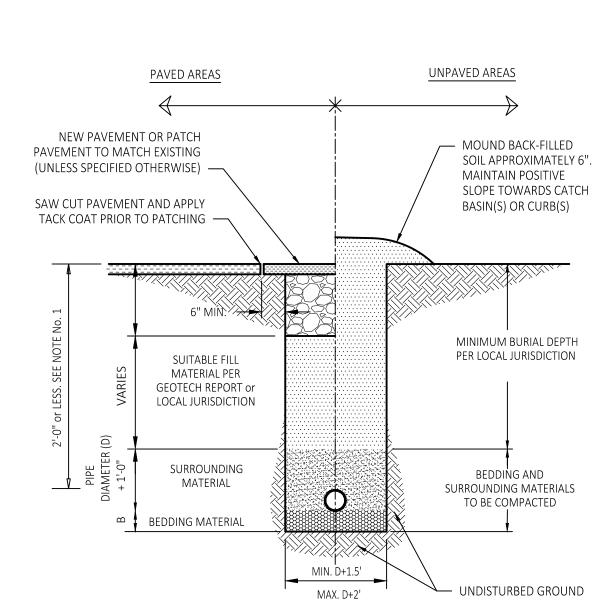
GENERAL NOTES:

FRAME: TOP FLANGE FABRICATED FROM $1\frac{1}{4}$ "X1 $\frac{1}{4}$ "X1/R" ANGLE. BASE RIM FABRICATED FROM 1 $\frac{1}{2}$ "X $\frac{1}{2}$ "X1/R" CHANNEL. HANDLES AND SUSPENSION BRACKETS FABRICATED FROM 1 $\frac{1}{4}$ "X $\frac{1}{4}$ " FLAT STOCK. ALL DOMESTIC STEEL CONFORMING TO ASTM-A36. SEDIMENT BAG: BAG FABRICATED FROM 4 OZ/SQ.YD. NON-WOVEN POLYPROPYLENE GEOTEXTILE REINFORCED WITH POLYESTER MESH. BAG SECURED TO BASE RIM WITH A STAINLESS STEEL STRAP AND LOCK.

CUSTOM/FIELD FABRICATION







NOTES:

- 1. THE SURROUND MATERIAL MUST BE INSTALLED TO THE PAVEMENT BASE ELEVATION IF THERE IS LESS THAN 2'-0" OF FILL OVER THE PIPE.
- 2. COMPACT ALL BACK FILL UNDERNEATH, AROUND AND ABOVE PROPOSE PIPES TO 95% STANDARD PROCTOR IN PAVED AND STRUCTURAL AREAS, 90% STANDARD PROCTOR IN UNPAVED OR NON-STRUCTURAL AREAS. THE UPPER 12" OF TRENCH BACKFILL MATERIAL IN PAVED/STRUCTURAL AREAS MUST BE COMPACTED TO 98% STANDARD PROCTOR (ASTM-698).
- 3. WHERE A PIPE HAS A SLOPE GREATER THAN OR EQUAL TO 4% OR WHERE GROUNDWATER IS PRESENT, CLAY DAMS SHALL BE INSTALLED AROUND THE PIPE EVERY 100' TO PREVENT WASHOUT AROUND THE PIPE.
- 4. ALL SUITABLE FILL SHOULD NOT CONTAIN STONES GREATER THAN 4" IN DIAMETER, FROZEN LUMPS, AND SHALL CONTAIN A MINIMAL AMOUNT OF ORGANIC MATERIALS (LESS THAN 3%).

PIPE BEDDING

5. MATERIAL IS TO BE PLACED AT NO MORE THAN 8" INTERVALS AND COMPACTED BEFORE PLACING NEXT LAYER.

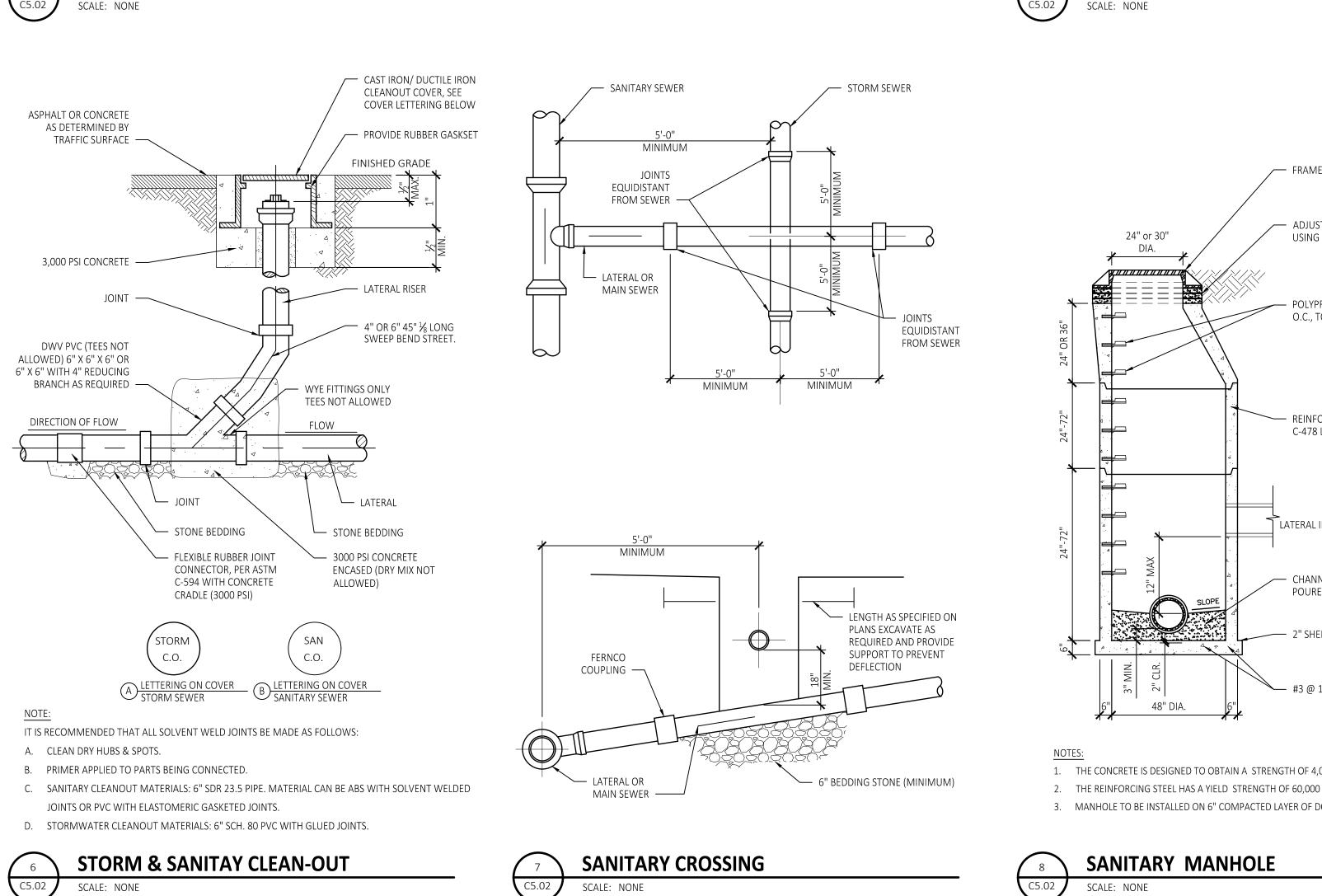
NOTES:

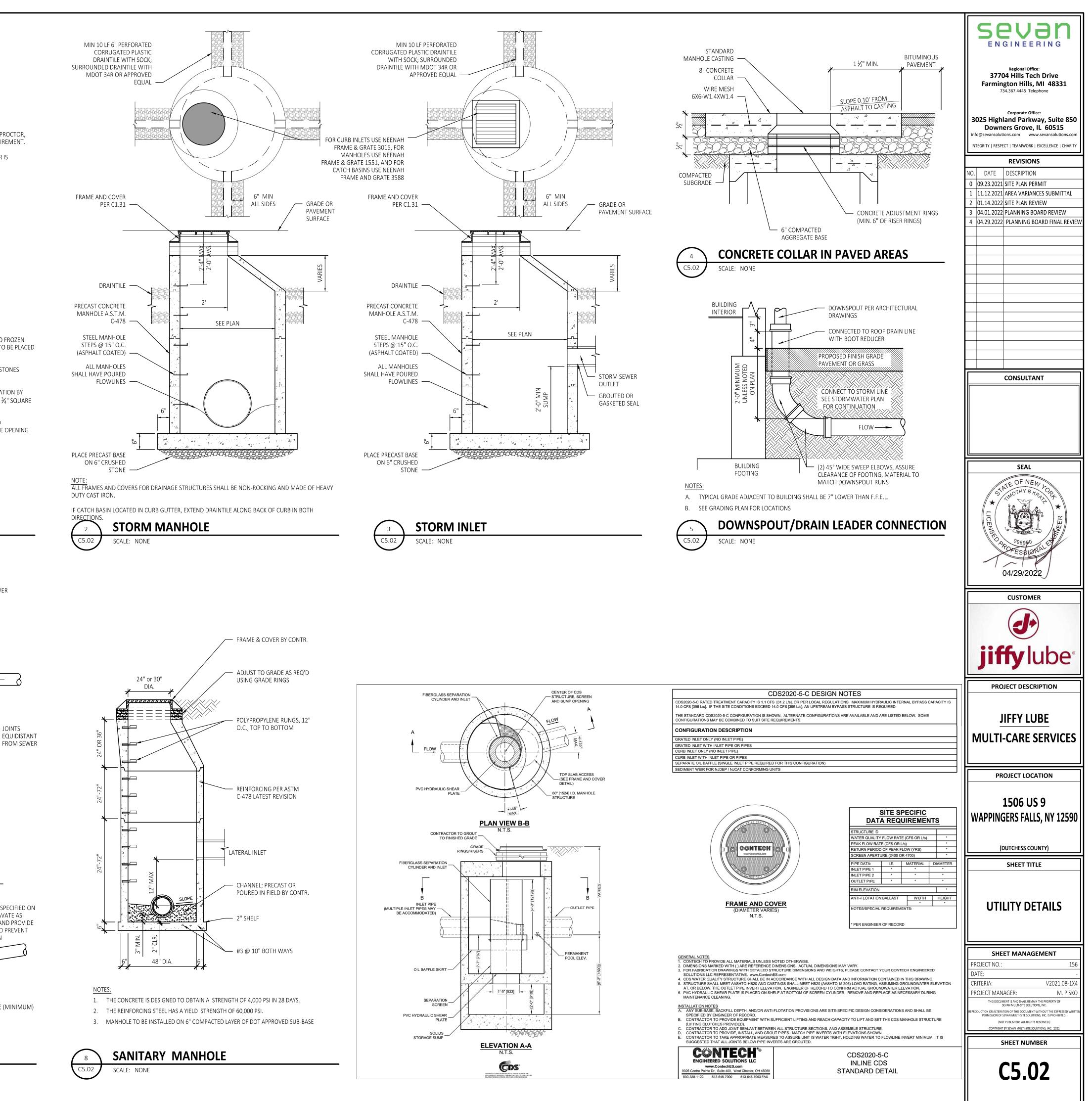
- A. WHERE BACKFILL IS DESIGNATED "COMPACTED", THIS MEANS 90% TO 95% STANDARD PROCTOR, AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
- B. FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND PIPE AT 100' INTERVALS.

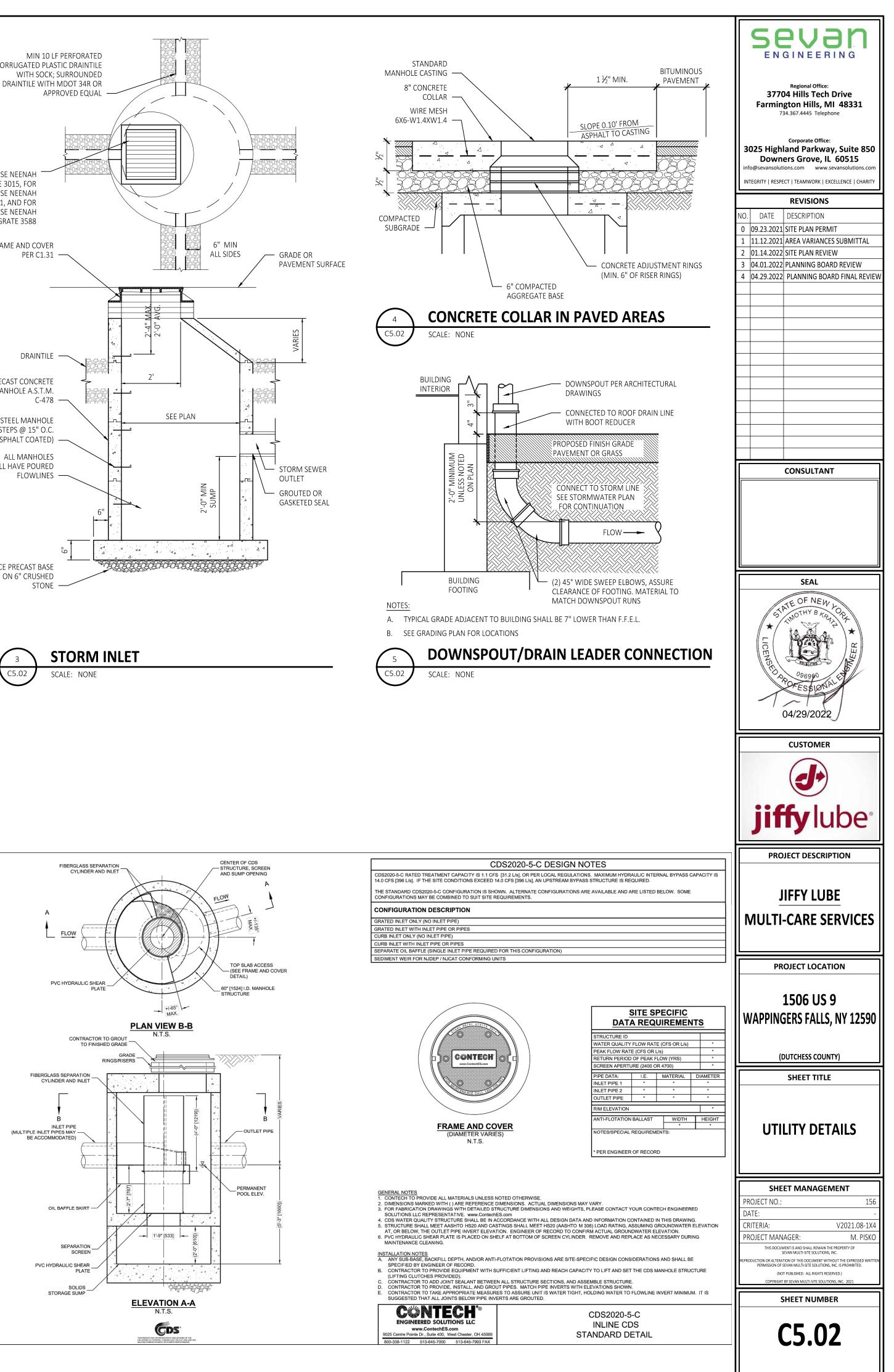
RECOMMENDED FILL MATERIALS

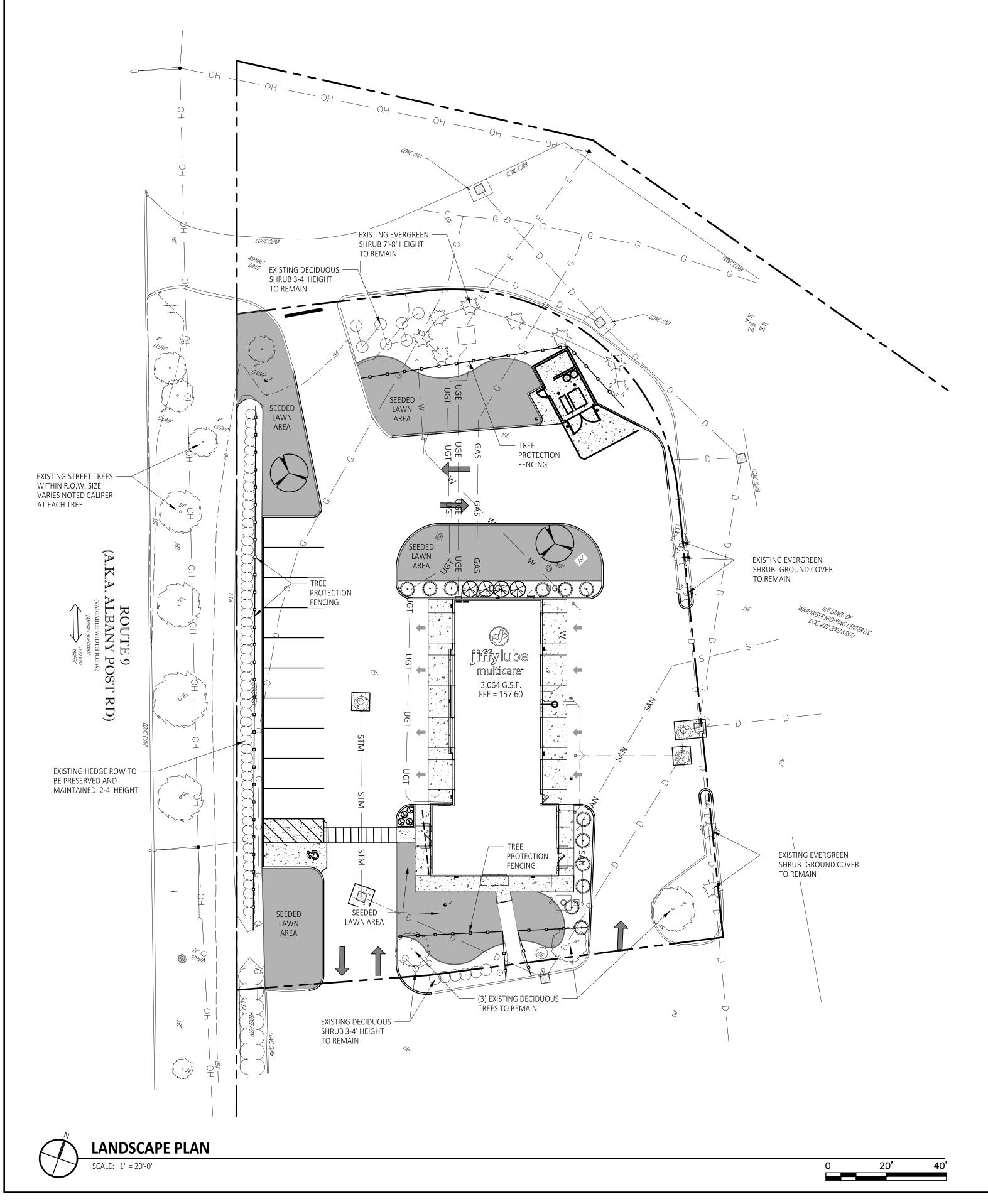
CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	"γ"
DUCTILE IRON PIPE IN "ORDINARY SOIL"	TYPE I, II, III	SAND OR TYPE II	3"
RCP PIPE IN "ORDINARY SOIL"	TYPE II, III	SAND OR TYPE II	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II, III	SAND OR TYPE II	6"
DUCTILE IRON PIPE IN CLAY OR MUCK	TYPE II, III	SAND	4"
RCP PIPE IN CLAY	TYPE II, III	SAND	6"
PLASTIC-ALL	SAND OR TYPE III	SAND OR TYPE II	6"

- * SUITABLE MATERIAL SHOULD CONTAIN NO STONES GREATER THAN 4" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAXIMUM OF 12" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.
- ** TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN $1\frac{1}{2}$ " IN DIAMETER, NO CLAY, AND NO ORGANIC MATERIAL.
- ** TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A $1\frac{1}{2}$ " Square opening, not more than 25% passing A $\frac{3}{4}$ " square OPENING AND NOT MORE THAN 5% PASSING A $\frac{1}{2}$ " Square opening.
- ** TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING AND 0-5% PASSING A $\frac{1}{4}$ " SQUARE OPENING.









E NAME: Y:\Shared\Clients\Jiffy Lube\Projects\156_Wappinger Falls NY\Civil\ConDocs\L1.20.dwg LAST SAVED BY: Sinnette, John SAVED DATE: 4/29/2022 9:39 AM PLOTTED: 4/29/2022 10:29 A

LANDSCAPE LEGEND					
SYMBOL	QUANTITY	BOTANICAL NAME COMMON NAME			
Ø	4	HEMEROCALLIS 'STELLE D' ORO' 'STELLA D' ORO' DAYLILY			
	12	JUNIPERUS × P. 'GOLD COAST' GOLD COAST JUNIPER			
\bigotimes	4	PRAGUE VIBURNUM VIBURNUM X PRAGENSE			
\bigcirc	2	GLEDITSIA TRIACANTHOS INERMIS SKYLINE HONEYLOCUST			

GENERAL NOTES

- 1 AT THE TIME OF SITE PREPARATION, CONTRACTOR TEAM (GENERAL, GRADING & LANDSCAPE) TO REVIEW ALL EXISTING VEGETATION, AND TAG MATERIALS TO BE SAVED OR RELOCATED.
- 2 PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- 3 IF THE LANDSCAPE CONTRACTOR OBSERVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PROCUREMENT AND/OR INSTALLATION.
- 4 LOCATE ALL UTILITIES PRIOR TO DIGGING, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES.. DO NOT PLANT TREES, EVERGREENS, AND SHRUBS OVER ANY EXISTING OR PROPOSED UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. ANY ITEM OR AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- 5 ALL PLANTING BEDS TO RECEIVE 6" MIN. OF PREPARED BACKFILL MIX. ALL INDIVIDUALLY PLANTED TREES AND SHRUBS TO BE BACKFILLED WITH WITH PREPARED BACKFILL MIX. PREPARED BACKFILL MIXTURES SHALL BE MIXED ON SITE, CONSISTING OF ONE PART TOPSOIL, ONE PART SOIL AMENDMENT, ONE PART SOIL FROM EXCAVATION.
- 6 PLANT BEDS TO DRESSED WITH PRE-EMERGENT HERBICIDE AND MULCHED WITH 3" OF SHREDDED HARDWOOD WITH . SEE DETAIL THIS SHEET.
- 7 ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS. BEDS TO BE LAID OUT AND APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PLANTING. LAWN TREES TO BE MULCHED WITH 4' DIAMETER BED WITH 3" MULCH RING
- 8 SEED OR SOD ALL AREAS, WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SODDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED A FINISHED GRADE. SEE SOD/SEED NOTES.
- 9 SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. SUBSTITUTED MATERIAL SHALL BE THE NEAREST EQUIVALENT SIZE, CONDITION AND GROWTH HABIT HAVING THE SAME ESSENTIAL CHARACTERISTICS WITH AN EQUITABLE ADJUSTMENT IN WHOLESALE PRICE.
- 10 LANDSCAPING TO COMPLY WITH ALL APPLICABLE ZONING REGULATIONS OF THE VILLAGE OF WAPPINGER FALLS.

PLANTING NOTES

- 1 ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD PER PROVIDED DETAILS
- 2 PLANT MATERIAL SHALL CONFORM TO THE PLANT LIST AND KEYS ON THE DRAWINGS AND TO THE QUALITY STANDARDS OF 'AMERICAN STANDARD FOR NURSERY STOCK'. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS AND SIZES SPECIFIED IN THE SCHEDULE.
- 3 PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS, AND PARKING STALLS:
 - A. SHADE TREES: 5 FEET B. ORNAMENTAL AND EVERGREEN TREES: 10 FEET (CRAB, PINE, SPRUCE, ETC.) C. SHRUBS: 4 FEET
- 4 ALL SHRUB PLANTINGS WITHIN SITE TRIANGLE AREAS TO BE MAXIMUM HEIGHT OF 30", AND
- FIRST BRANCHING FOR PROPOSED TREES TO BE MINIMUM OF 7' ABOVE PROPOSED GRADES.
 PLANTINGS SHALL BE FERTILIZED UPON INSTALLATION WITH A SLOW RELEASE GRANULAR COMMERCIAL TREE/SHRUB FERTILIZER. RATE PER MANUFACTURES INSTRUCTIONS. FERTILIZER
- TO MIXED WITH BACKFILL PREVIOUSLY DESCRIBED. FERTILIZER TABLETS ARE NOT ACCEPTABLE. PLANTING BEDS SHALL BE COVERED WITH PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- 6 THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. UNACCEPTABLE PLANT MATERIAL THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOM OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.

SEEDING NOTES

SITE PREPARATION:

- 1 SITE TO BE FINE GRADED BEFORE PERMANENT SEEDING OR SODDING.
- 2 SOIL SHALL BE LOOSENED TO A DEPTH OF (4) INCHES BY DISCING, RAKING, ROTOTILLING OR OTHER ACCEPTABLE MEANS. AND RAKED SMOOTH AND FREE OF ROOTS AND STONES OVER 1"Ø.

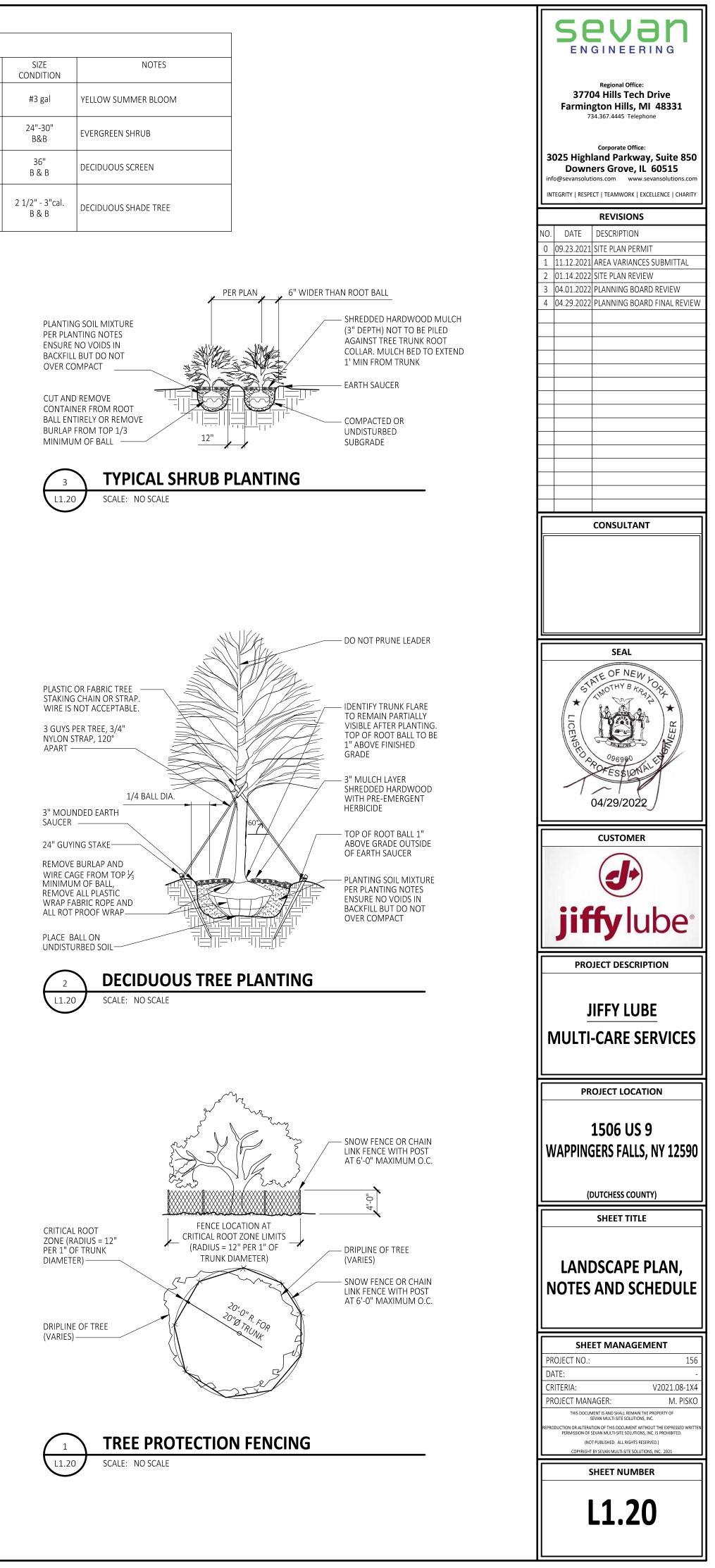
3 ENSURE PROPER DRAINAGE AND CHANNEL FLOW PROTECTION

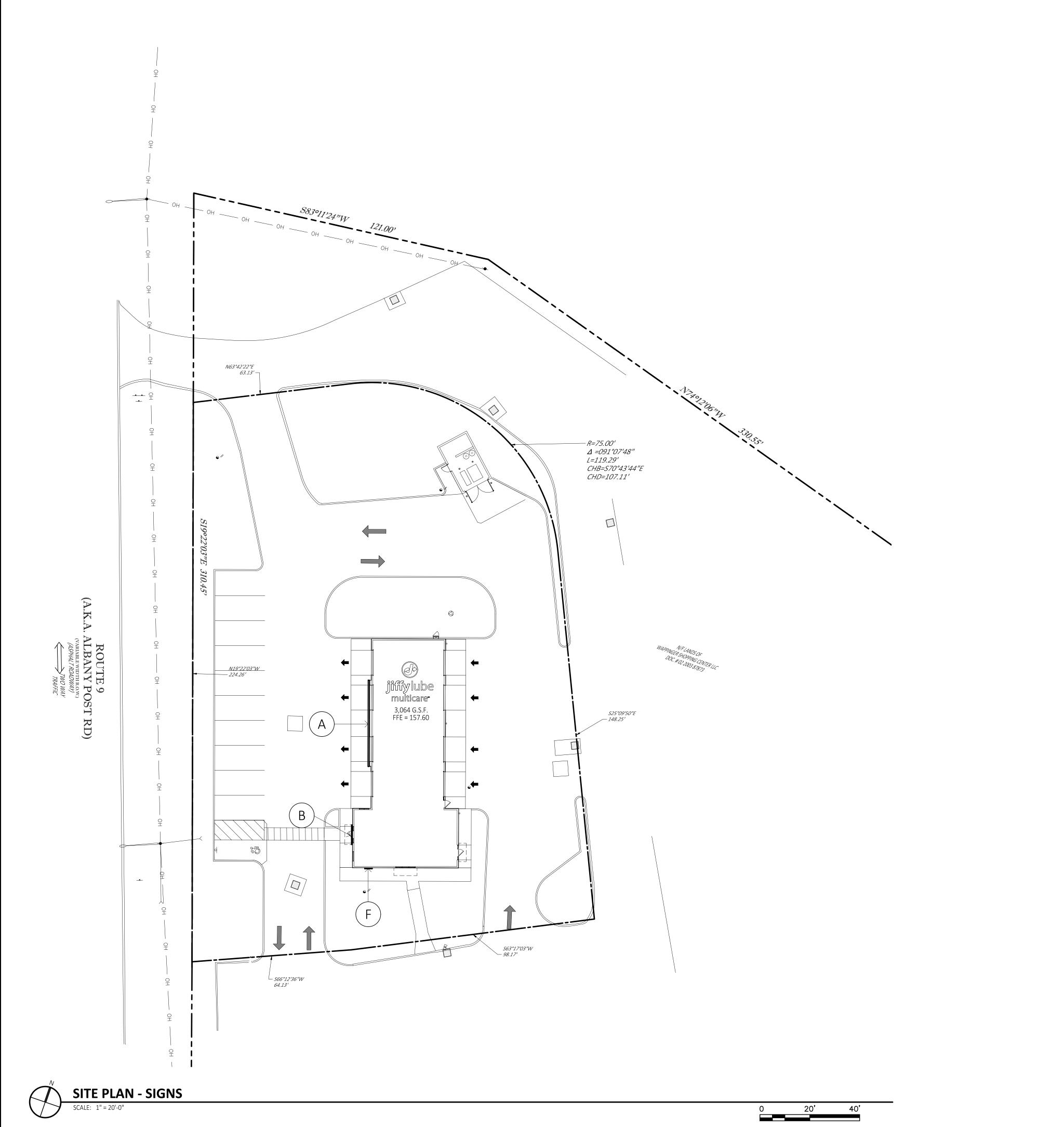
SEED INSTALLATION

- 1 APPLY STARTER FERTILIZER AT TIME OF SEEDING AT RATE RECOMMENDED BY MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL WATERING.
- 2 SEED WITH COMMERCIAL TURF BLEND FROM APPROVED DOT LIST OF MIXTURES
- MAXIMUM SEEDING DEPTH SHOULD BE 1/4 INCH ON CLAY SOILS AND 1/2 INCH ON SANDY SOILS, WHEN USING OTHER THAN HYDROSEEDER METHOD OF APPLICATION. STRAW MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING (NON HYDROSEEDING). AT A RATE OF 140 LBS.± (2 BALES) PER 1000 SF. MULCH MAY BE APPLIED BY HAND OR WITH A BLOWER.
 MULCH SHALL BE CLEAN, WELL SEASONED STRAW FREE OF SEEDS OR ROOTS OF NOXIOUS
- WEEDS
 5 IF HYDROSEEDING IS USED AND THE SEED, FERTILIZER AND MULCH ARE MIXED, THEY WILL BE MIXED ON SITE AND SEEDING SHALL BE IMMEDIATE WITHOUT INTERRUPTION. MULCH FOR HYDROSEEDING SHALL BE WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000 LBS.

/ ACRE. MAINTENANCE:

- 1 WATER 1 INCH MIN. WITHIN THE FIRST HOUR OF SOD OR SEED INSTALLATION BEGIN IRRIGATION. SYSTEM DURING THE FOLLOWING 3 DAYS KEEPING THE SODDED OR SEEDED AREA MOIST.
- 2 CONTINUED MAINTENANCE (MOWING, FERTILIZATION, WEEDING, ECT.) OF THE SODDED OR SEEDED AREA SHOULD BE PROVIDED BY A PROFESSIONAL LANDSCAPE MAINTENANCE CONTRACTOR.





r					
SIGNS: ZONING SC - SHOPPING CENTER DISTRICT					
PYLON SIGN: ALLOW		1			
	MAXIMUM:	PROVIDED:	CODE:	VARIANCE	
AREA:	25 S.F.	N/A	-		
HEIGHT:	10.0'	N/A	240-29.2.a	NO	
SETBACK:	FRONT: SETBACK 15' FROM EDGE OF PAVEMENT	N/A	240-29.2.a		
NUMBER OF SIGNS	1	0	240-29.2.a	NO	
ELECTRONIC MESSAG	E DISPLAY: ALLOWED				
AREA:	N/A	N/A	240-29.6	NO	
BUILDING SIGNS: ALL	OWED: YES 240-29.F				
ELEVATION	SIGN	ALLOWED:	PROVIDED:	VARIANCE	
FRONT ELEVATION	SIGN - A	PER TOTAL	98 S.F.	NO	
	SIGN - B	PER TOTAL	38 S.F.	NO	
SIDE ELEVATION	SIGN - C	PER TOTAL	0 S.F.	NO	
SIDE ELEVATION	SIGN - F	PER TOTAL	9 S.F.	NO	
REAR ELEVATION	SIGN - B	PER TOTAL	0 S.F.	NO	
TOTAL ALLOWED ON BUILDING:		2 TIMES BUILDING LENGTH (92.0') =184 OR 100 S.F. WHICHEVER IS LESS TOTAL=100 S.F.	145 S.F.	YES	
NUMBER OF SIGN ALLOWED PER ELEVATION					
FRONT ELEVATION	NUMBER OF SIGNS ALLOWED	1	2	YES	
SIDE ELEVATION	NUMBER OF SIGNS ALLOWED	0	1	YES	
SIDE ELEVATION	NUMBER OF SIGNS ALLOWED	0	0	NO	
REAR ELEVATION	NUMBER OF SIGNS ALLOWED	0	0	NO	

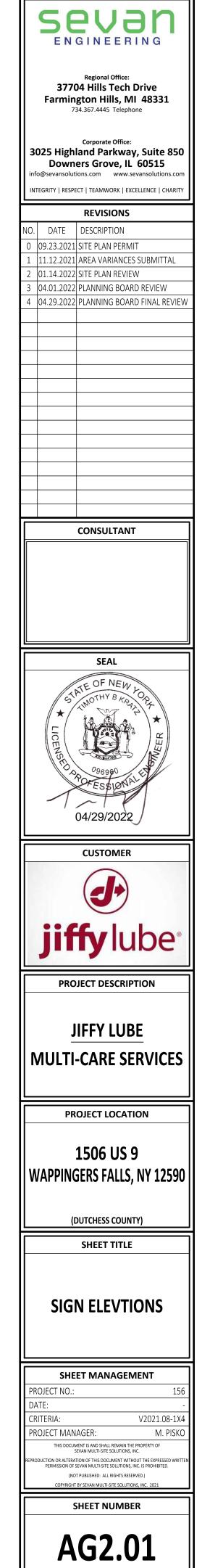
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Sevan				
Regional Office: 37704 Hills Tech Drive Farmington Hills, MI 48331 734.367.4445 Telephone				
Corporate Office: 3025 Highland Parkway, Suite 850 Downers Grove, IL 60515				
info@sevansolutions.com www.sevansolutions.com INTEGRITY RESPECT TEAMWORK EXCELLENCE CHARITY				
REVISIONS NO. DATE DESCRIPTION				
0 09.23.2021 SITE PLAN PERMIT 1 11.12.2021 AREA VARIANCES SUBMITTAL 2 01.14.2022 SITE PLAN REVIEW				
3 04.01.2022 PLANNING BOARD REVIEW 4 04.29.2022 PLANNING BOARD FINAL REVIEW				
CONSULTANT				
SEAL STATE OF NEW LO STATE OF NEW LO DE TIMOTHY B TOP				
ICENSED OP6960				
POPESSIONALE				
04/29/2022				
CUSTOMER				
jiffy lube [®]				
PROJECT DESCRIPTION				
JIFFY LUBE				
MULTI-CARE SERVICES				
PROJECT LOCATION				
1506 US 9				
WAPPINGERS FALLS, NY 12590				
(DUTCHESS COUNTY)				
SHEET TITLE				
SITE PLAN - SIGNS				
SHEET MANAGEMENT				
PROJECT NO.: 156 DATE: - CRITERIA: V2021.08-1X4				
PROJECT MANAGER: M. PISKO THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF SEVAN MULTI-SITE SOLUTIONS, INC. REPRODUCTION OR ALTERATION OF THIS DOCUMENT WITHOUT THE EXPRESSED WRITTEN				
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SHEET NUMBER				
AG1.01				



FRONT ELEVATION 1 AG2.01

SCALE: 1/4" = 1'-0"

SIGNS: ZONING SC - SHOPPING CENTER DISTRICT						
	PYLON SIGN: ALLOWED; YES					
	MAXIMUM:	PROVIDED:	CODE:	VARIANCE		
AREA:	25 S.F.	N/A		NO		
HEIGHT:	10.0'	N/A				
SETBACK:	FRONT: SETBACK 15' FROM EDGE OF PAVEMENT	N/A	240-29.2.a			
NUMBER OF SIGNS	1	0	240-29.2.a	NO		
ELECTRONIC MESSAG	E DISPLAY: ALLOWED	-				
AREA:	N/A	N/A	240-29.6	NO		
BUILDING SIGNS: ALL	OWED: YES 240-29.F					
ELEVATION	SIGN	ALLOWED:	PROVIDED:	VARIANCE		
FRONT ELEVATION	SIGN - A	PER TOTAL	98 S.F.	NO		
	SIGN - B	PER TOTAL	38 S.F.	NO		
SIDE ELEVATION	SIGN - C	PER TOTAL	0 S.F.	NO		
SIDE ELEVATION	SIGN - F	PER TOTAL	9 S.F.	NO		
REAR ELEVATION	SIGN - B	PER TOTAL	0 S.F.	NO		
TOTAL ALLOWED ON BUILDING:		2 TIMES BUILDING LENGTH (92.0') =184 OR 100 S.F. WHICHEVER IS LESS TOTAL=100 S.F.	145 S.F.	YES		
NUMBER OF SIGN ALLOWED PER ELEVATION						
FRONT ELEVATION	NUMBER OF SIGNS ALLOWED	1	2	YES		
SIDE ELEVATION	NUMBER OF SIGNS ALLOWED	0	1	YES		
SIDE ELEVATION	NUMBER OF SIGNS ALLOWED	0	0	NO		
REAR ELEVATION	NUMBER OF SIGNS ALLOWED	0	0	NO		





2. COLONIAL REVIVAL SW 2827

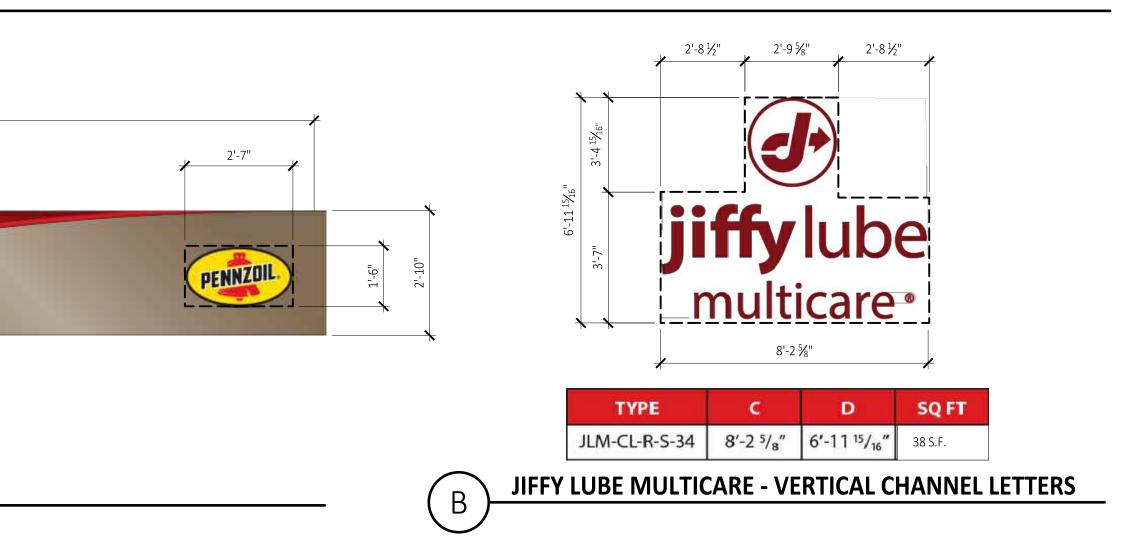
1. FIREWORKS RED SW 6867

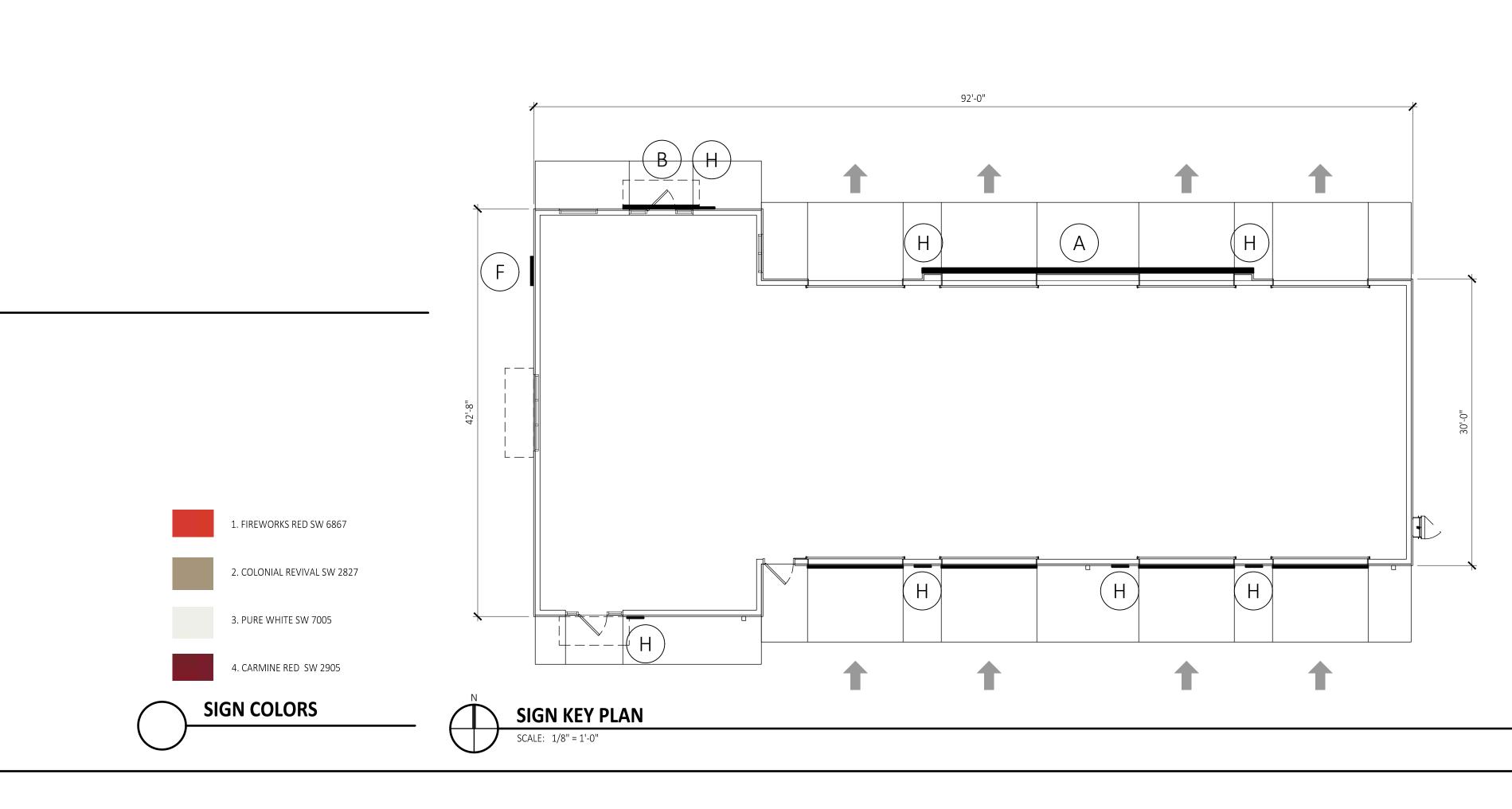
3. PURE WHITE SW 7005

4. CARMINE RED SW 2905

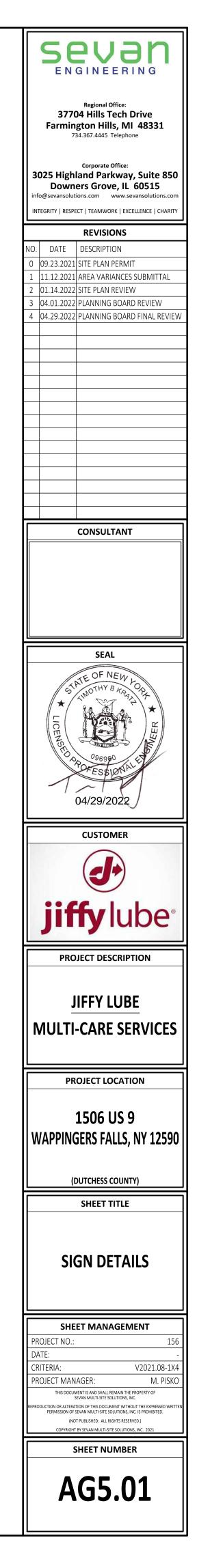
JIFFY LUBE MULTICARE SIGN TYPES	
34'-8"	
7'-0"	
Jiffylube multicare®	
multicare®	
FASCIA SIZES Length (D) JLM Logo SF PZ Logo SF BANNER SF	
Jiffy Lube FF 36 (6") 34'-8" 14 4 98	
FASCIA PANEL	
(A) MODINTIALE	
JLM-IL-W TYPE DIA SF	
JLM-IL-W-36 3'-0" 9	
F JIFFY LUBE MULTICARE BUTTON SIGN	
SAFETY/SERVICE SIGNS	
exit only take it from	
only let our team take it from here	
caution open floor	
Entry/ Exit Signs 1'-9" x 3'-0 1/2"	
1′-9″ x 3′-0 1/2″	

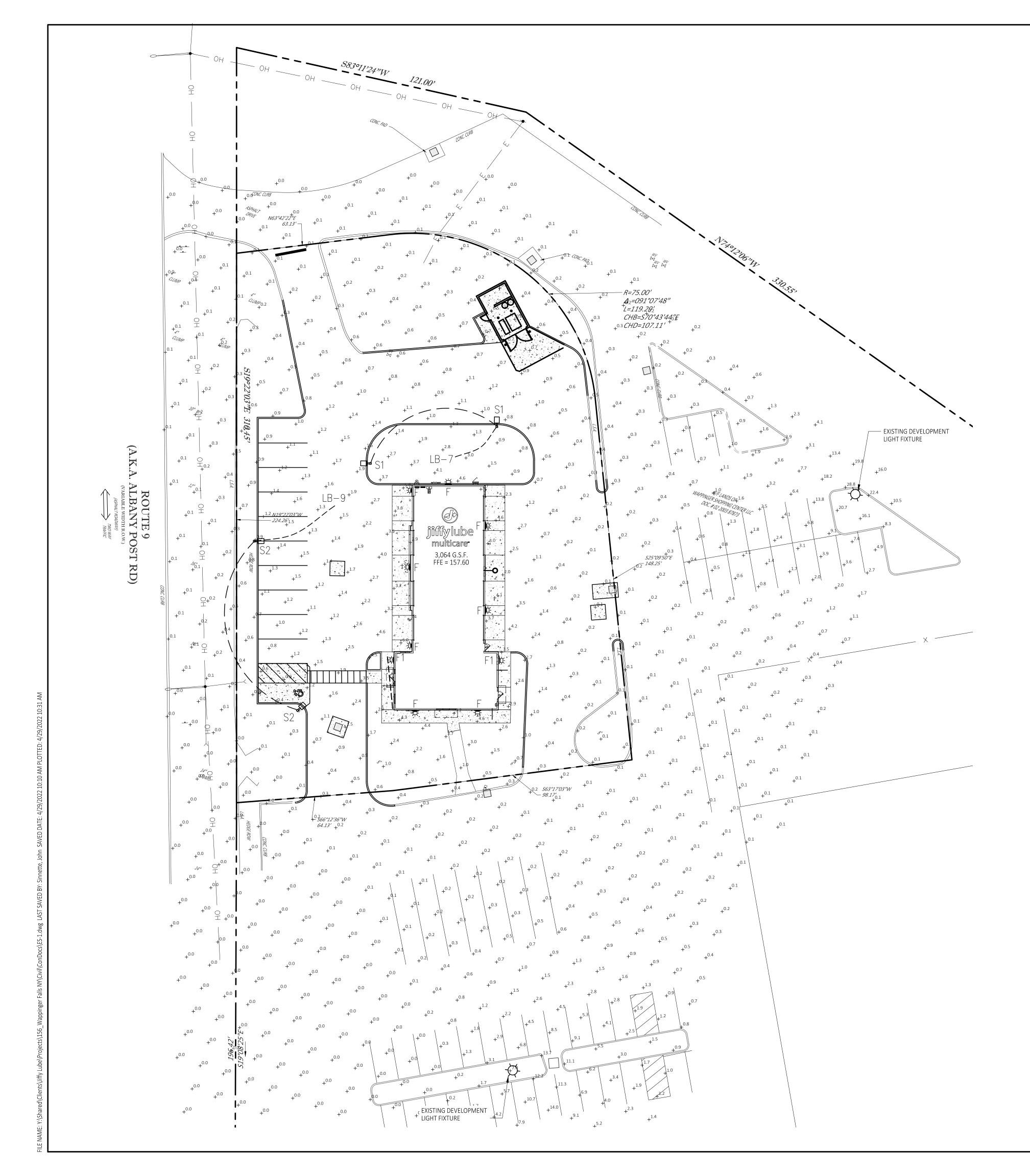
(H) ENTRY / EXIT SIGNS



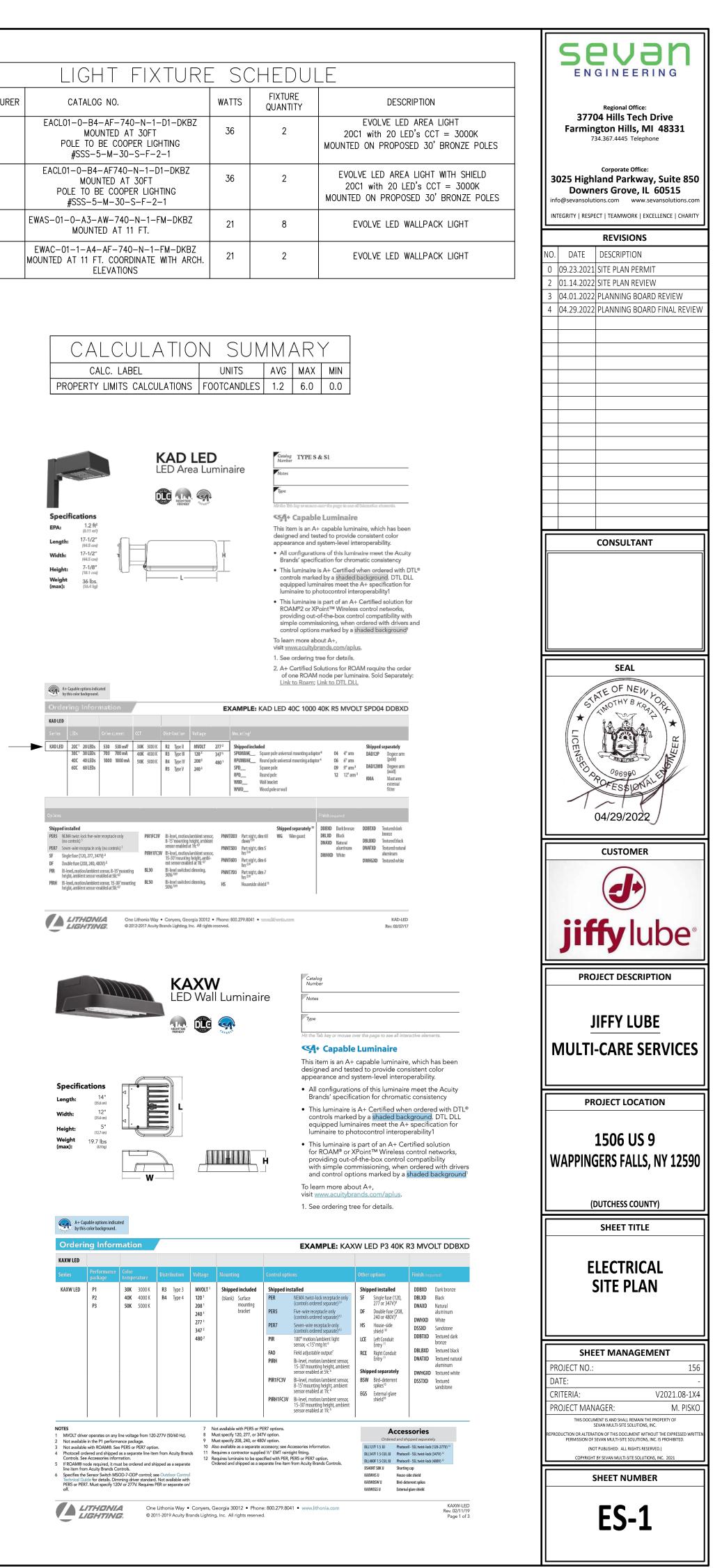


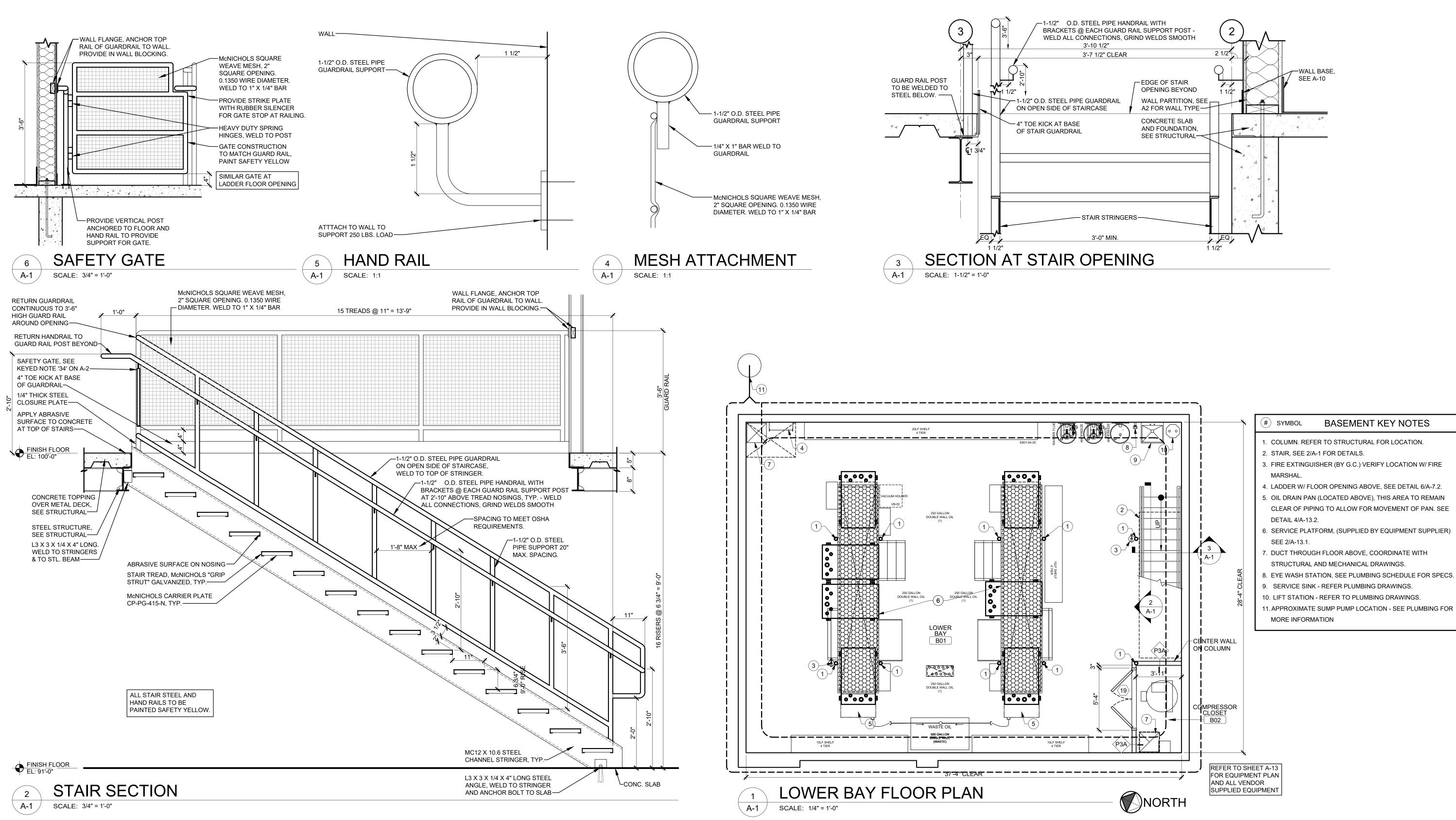
	SHOPPING CENTER DIS	TDICT			
PYLON SIGN: ALLOW					
	MAXIMUM:	PROVIDED:	CODE:	VARIANCE	
AREA:	25 S.F.	N/A			
HEIGHT:	10.0'	N/A	-		
SETBACK:	FRONT: SETBACK 15' FROM EDGE OF PAVEMENT	N/A	240-29.2.a	NO	
NUMBER OF SIGNS	1	0	240-29.2.a	NO	
ELECTRONIC MESSAG	GE DISPLAY: ALLOWED				
AREA:	N/A	N/A	240-29.6	NO	
BUILDING SIGNS: ALL	OWED: YES 240-29.F		•		
ELEVATION	SIGN	ALLOWED:	PROVIDED:	VARIANCE	
FRONT ELEVATION	SIGN - A	PER TOTAL	98 S.F.	NO	
	SIGN - B	PER TOTAL	38 S.F.	NO	
SIDE ELEVATION	SIGN - C	PER TOTAL	0 S.F.	NO	
SIDE ELEVATION	SIGN - F	PER TOTAL	9 S.F.	NO	
REAR ELEVATION	SIGN - B	PER TOTAL	0 S.F.	NO	
TOTAL ALLOWED ON BUILDING:		2 TIMES BUILDING LENGTH (92.0') =184 OR 100 S.F. WHICHEVER IS LESS TOTAL=100 S.F.	145 S.F.	YES	
NUMBER OF SIGN ALLOWED PER ELEVATION					
FRONT ELEVATION	NUMBER OF SIGNS ALLOWED	1	2	YES	
SIDE ELEVATION	NUMBER OF SIGNS ALLOWED	0	1	YES	
SIDE ELEVATION	NUMBER OF SIGNS ALLOWED	0	0	NO	
REAR ELEVATION	NUMBER OF SIGNS ALLOWED	0	0	NO	





FIXTURE LABEL	MANUFACTU
S1	GE
S2	GE
F	GE
F1	GE





BASEMENT KEY NOTES

- 1. COLUMN. REFER TO STRUCTURAL FOR LOCATION.
- 2. STAIR, SEE 2/A-1 FOR DETAILS.
- 3. FIRE EXTINGUISHER (BY G.C.) VERIFY LOCATION W/ FIRE

PROJECT DESCRIPTION JIFFY LUBE

MULTI-CARE SERVICES Store # 4077

sevan

DESIGN SOLUTIONS, P.C. Corporate Office:

3025 Highland Parkway | Suite 850 Downers Grove, IL 60515 Phone: 312.756.7778 info@sevansolutions.com | www.sevansolutions.com

INTEGRITY | RESPECT | TEAMWORK EXCELLENCE | CHARITY

REVISIONS

CONSULTANT

SEAL

2/16/22

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LO

CERTIFICATION

NYSED - Office of the Professions

the law for any person, unless acting under the direction of the

Regulations, Architecture Part 69.5

licensed architect, to alter any and all items on these drawings.

CUSTOMER

J

jiffy lube

Seals states that it is a violation of

Warnin

NO. DATE DESCRIPTION

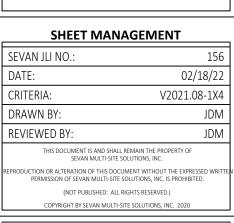
PROJECT LOCATION

1506 U.S. 9 WAPPINGERS FALLS, NY 12590

(DUTCHESS COUNTY)

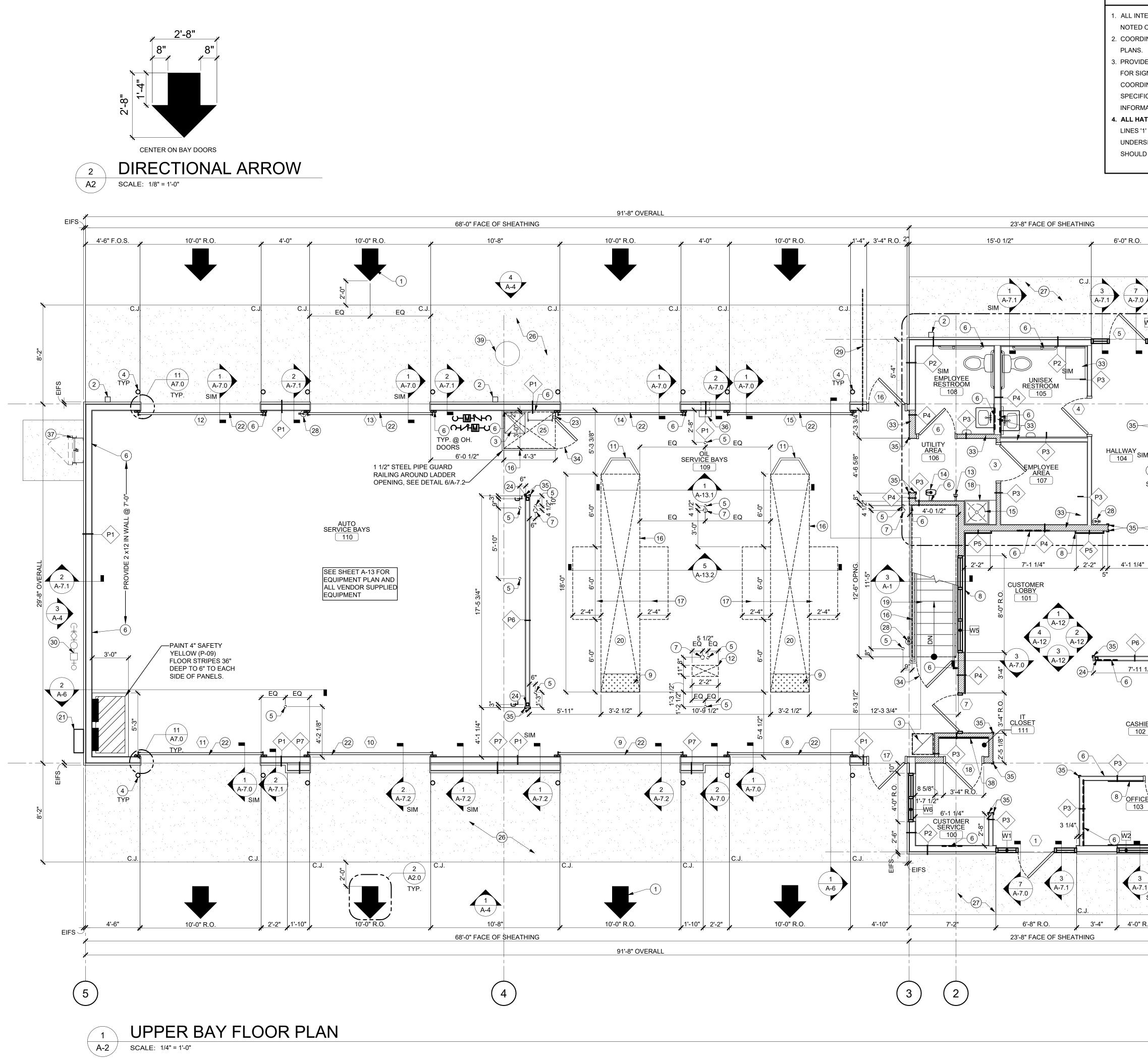
SHEET TITLE

FLOOR PLAN · LOWER BAY



SHEET NUMBER

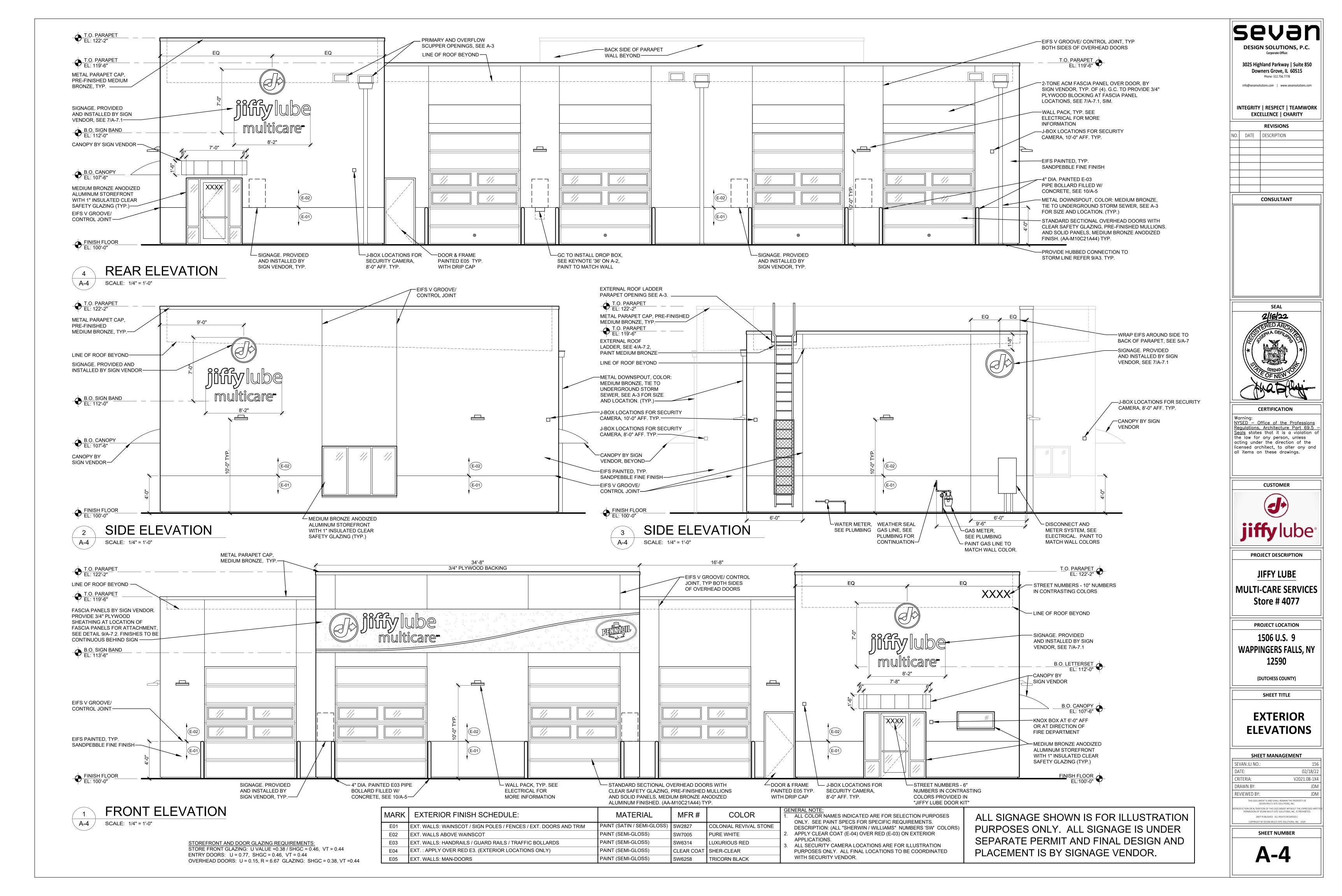




1. ALL INT NOTED PLANS. 3. PROVID FOR SIG COORD SPECIFI INFORM 4. ALL HA LINES '1 UNDERS

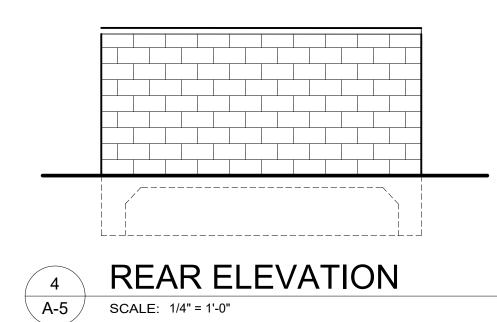
2. COORD

		COULDIN
GENERAL NOTES NTERIOR DIMENSIONS ARE TO FACE STUD. UNLESS ED OTHERWISE. RDINATE CONCRETE WALKS AND STOOPS WITH CIVIL S. MIDE BLOCKING AND JUNCTION BOX WITH ACCESS SIGN INSTALLATION AT EACH LOCATION. RDINATE WITH NATIONAL SIGN VENDORS FOR SIGN IFICATIONS. SEE ELECTRICAL DRAWINGS FOR MORE RMATION. HATCHED INTERIOR PARTITIONS BETWEEN GRID S'1' AND '3' SHOULD EXTEND FULL HEIGHT TO RRSIDE OF DECK. ALL NON-HATCHED PARTITIONS JLD STOP 6" ABOVE CEILING.	 (#) SYMBOL PLAN KEY NOTES PAINTED ARROW BOTH SIDES (PAINT P-09) DOWNSPOUT - SEE SHEET A-3 FOR MORE INFORMATION SLAB OPENINGS FOR DUCT, COORDINATE WITH STRUCTURAL AND MECHANICAL DRAWINGS PIPE BOLLARD - SEE DETAIL 10/ A-5 FOR MORE INFORMATION 2-1/2" SLEEVED OPENING FOR AIR BELOW, COORDINATE FINAL LOCATION WITH EQUIPMENT INSTALLER GC TO PROVIDE BLOCKING IN WALL FOR MOUNTING OF EQUIPMENT AND FIXTURES 4" DIA. PVC SLEEVED OPENING FOR VACUUM, COORDINATE FINAL LOCATION WITH EQUIPMENT INSTALLER CHAIR RAIL - INPRO 2500 CHAIR RAIL (TAUPE 0113) - GC TO CONFIRM MOUNTING HEIGHT IS ADJUSTED TO PREVENT BACK OF CHAIR FROM HITTING WALL DIAMOND PLATE, TYP OF (2). SEE DETAIL 1/A-13.2 REGESSED SLAB FOR ALIGOMENT LIFT, SEE STRUCT. AND DETAIL -3/A-13.2 WHEEL GUARD, TYP OF (2). SEE DETAIL 1/A-13.2 BLOCKOUT FOR PRODUCT DISPENSE CONSOLE, VERIFY WITH OWNER'S REP EYEWASH STATION - SEE PLUMBING DRAWINGS WATER BUBBLER - SEE PLUMBING DRAWINGS WATER BUBBLER - SEE PLUMBING DRAWINGS WATER HEATER LOCATED ABOVE SEE PLUMBING DRAWINGS EXPOSED STEEL PLATE TOE KICK ALONG BASE OF GUARDRAIL (4") AND PIT OPENING (2"). SEE STRUCTURAL RECESSED VEHICLE LIFT - PROVIDE BLOCKOUT FOR LIFT. SEE DETAIL 5/A-13.2 MOP SINK - SEAL PERIMETER OF MOP SINK TO WALL ON THREE WALLED SIDESSEE PLUMBING DRAWINGS. STAIR - SEE A-1 AND A-6 FOR DETAILS SLAB OPENING FOR SERVICE DISCONNECT AND METER SYSTEM, SEE ELECTRICAL REFER TO STRUCTURAL FOR DOOR RECESS AT ALL OVERHEAD DOOR LOCATIONS. 21/2" STEEL POST WELD TO BOTTOM OF FLOOR BEAM AND PERIMETER ANGLE, PROVIDE ANGLE BRACKET BACK TO WALL AT TOP, TO SUPPORTS IN LOW WALL, TYP., SEE DETAIL 10/A-7.2 FLOOR ACCESS LADDER FROM LOWER BAY AREA, SEE DETAIL 6/A-7.2 CONCRETE APRON. FINISH TO B	SEAL
	 AT TOP, TO SUPPORT SAFETY GATE 6/A2. 24. STEEL POST SUPPORTS IN LOW WALL, TYP., SEE DETAIL 10/A-7.2 25. FLOOR ACCESS LADDER FROM LOWER BAY AREA, SEE DETAIL 6/A-7.2 26. CONCRETE APRON. FINISH TO BE F04, SEE A-10 FOR FINISH SCHEDULE. SEE STRUCTURAL FOR REINFORCEMENT 27. SIDEWALK - SEE CIVIL-VERIFY 2% ADA SLOPE. 28. FIRE EXTINGUISHER (BY GC). VERIFY EXACT LOCATION WITH FIRE MARSHAL.(MOUNT 48" AFF. MAX. TO COMPLY WITH ADA) 29. PROVIDE 1" CONDUIT UNDER SLAB ALONG CURB. DAYLIGHT THROUGH CURB AT DIRECTION OF JLI REP. 30. GAS METER - SEE PLUMBING DRAWINGS 31. DOMESTIC & IRRIGATION WATER SERVICES - SEE PLUMBING DRAWINGS 32. NOT USED 33. PROVIDE SOUND BATTS IN THIS WALL 34. PROVIDE YELLOW SAFETY GATE. SEE A-1 FOR ADDITIONAL 	CERTIFICATION Warning: NYSED - Office of the Professions Regulations, Architecture Part 69.5 - Seals states that it is a violation of the law for any person, unless acting under the direction of the licensed architect, to alter any and all items on these drawings. CUSTOMER CUSTOMER
A-7.1 1 1/4" P2 P2 P2 P2 P2 P2 P2 P2 P2 P2	 INFORMATION. RUBBER SILENCER REQUIRED ON GATE. 35. PROVIDE 1 1/2" X 60" TALL (48" IN LOBBY) STAINLESS STEEL CORNER GUARDS AT LOCATIONS NOTED. SECURE WITH 3 M HEAVY DUTY DOUBLE STICK CARPET TAPE, MODIFY AT SHORT WALL. 36. KEY DROP BOX WDC-160 PROTEX WALL DROP BOX WITH ADJUSTABLE CHUTE, SEE A-4 & 5/A-7.2 37. ROOF ACCESS LADDER - SEE 4/A-7.2 (W/ 5' X 5' CONC PAD.) 38. 3/4" x 4'-0" x 8'-0" FRT. PLYWOOD AT REAR OF CLOSET, SEE ELECTRICAL FOR MORE INFORMATION. PAINT AFTER FD. INSPECTIONS. 39. APPROXIMATE SUMP PUMP LOCATION - SEE PLUMBING FOR MORE INFORMATION. 	PROJECT DESCRIPTION JIFFY LUBE MULTI-CARE SERVICES Store # 4077
2 1 2 B 1 4.7.1 5 A-7.1 5 5 6 6 B B B B C B C C C C C C C C C C C C C	PARTITION LEGEND 2 X 6 WOOD STUDS WITH R21 BATT INSULATION IN CAVITIES, WITH 1/2" SHEATHING & 2" EIFS ON EXTERIOR SIDE, 1/2" PLYWOOD W/ FRP TO 96" A.F.F. & GYP ABOVE INSIDE. (SEE STRUCTURAL) 2 X 6 WOOD STUDS WITH R20 BATT INSULATION IN CAVITIES, WITH 1/2" SHEATHING AND 2" EIFS	PROJECT LOCATION 1506 U.S. 9 WAPPINGERS FALLS, NY 12590 (DUTCHESS COUNTY)
3 -7.1 SIM P"R.O. 2'-6" EIFS	ON EXTERIOR SIDE, 5/8" GYP BD. ON INTERIOR SIDE. (SEE STRUCT. FOR STUD SPACING) P3 P4	SHEET TIITLE FLOOR PLAN - UPPER BAY SHEET MANAGEMENT SEVAN JLI NO.: SEVAN JLI NO.: 156 DATE: 02/18/22 CRITERIA: V2021.08-1X4
	P5 1 1/2" WALL FURRING STRIPS @ 24" O.C. FLAT FRAMED WITH 5/8" GYP BD. EA. SIDE. P6 LOW WALL 42" HIGH, 2 X 4 WOOD STUDS @ 16" O.C., SEE DETAIL 10/A-7.2 FOR STEEL POST WALL REINFORCEMENT. (SERVICE AREA) FRP OVER 1/2" PLYWOOD. EACH SIDE. CAP WITH 2x6 PAINTED P01. (LOBBY) 5/8" GYP. BD. PAINTED P01. (LOBBY) 5/8" GYP. BD. PAINTED. CAP WITH MELAMINE WRAPPED 1X6 BY MILLWORK VENDOR. P7 2 X 6 WOOD STUDS ON HORIZONTAL 2X BRIDGING WITH 1/2" SHEATHING & 2" EIFS ON EXTERIOR SIDE OVER WALL TYPE 'P1'. (SEE STRUCTURAL)	CHITERIA. VZOZI.08-1X4 DRAWN BY: JDM REVIEWED BY: JDM THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF SEVAN MULTI-SITE SOLUTIONS, INC. REPRODUCTION OR ALTERATION OF THIS DOCUMENT WITHOUT THE EXPRESSED WRITTE PERMISSION OF SEVAN MULTI-SITE SOLUTIONS, INC. 19 PROHIBITED. (NOT PUBLISHED: ALL RIGHTS RESERVED.) COPYRIGHT BY SEVAN MULTI-SITE SOLUTIONS, INC. 2020 SHEET NUMBER AA-22



REINFORCED MASONRY

- THE REINFORCED MASONRY FOR THIS PROJECT HAS BEEN DESIGNED AND DETAILED IN ACCORDANCE 1. WITH THE ALLOWABLE STRESS DESIGN METHOD.
- MASONRY WALLS HAVE BEEN DESIGNED TO SPAN VERTICALLY, AS SIMPLE SPANS, FROM FLOOR TO STEEL GIRT LINE, AND ARE DEPENDENT UPON THE COMPLETED INSTALLATION OF THE STEEL GIRTS AND COMPLETION OF ALL MASONRY WALLS FOR STABILITY AND FOR RESISTANCE TO WIND AND SEISMIC FORCES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL NECESSARY BRACING AS REQUIRED FOR STABILITY, RESISTANCE OF CONSTRUCTION LOADS, AND FOR RESISTANCE TO WIND AND SEISMIC FORCES UNTIL THE ENTIRE STRUCTURE IS COMPLETE. THE SHORING SHALL NOT RELY ON ANY
- MOMENT RESISTANCE CAPACITY OF THE FOOTINGS. REINFORCED MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH, fm = 1500 PSI. MASONRY UNITS SHALL BE NORMAL WEIGHT BLOCK CONFORMING TO ASTM C90 AND SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 1900 PSI. MORTAR SHALL CONFORM TO ASTM C270, TYPE S. PORTLAND CEMENT TYPE 1 OR 2, LOW ALKALI PER ASTM C150 NON AIR ENTRAINED OR HYDRATED LIME PER ASTM C207 TYPES. GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2000 PSI.
- REFERENCE THE ARCHITECTURAL DRAWINGS FOR GENERAL LOCATIONS OF CONTROL JOINTS IN MASONRY WALLS. HORIZONTAL BOND BEAM AND LINTEL REINFORCING SHALL BE CONTINUOUS ACROSS VERTICAL
- CONTROL JOINTS. JOINT REINFORCING SHALL BE STOPPED EITHER SIDE OF VERTICAL CONTROL JOINTS. MASONRY REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE. CONTINUOUS WIRE REINFORCING (JOINT REINFORCING) SHALL BE GALVANIZED TRUSS OR LADDER TYPE FORMED FROM 9 GAUGE COLD-DRAWN STEEL WIRE COMPLYING WITH ASTM A82. JOINT REINFORCING SHALL BE SPACED AT 16" O.C. VERTICALLY IN ALL MASONRY WALLS.
- 7. ALL REINFORCED CELLS AND ALL CELLS BELOW THE FINISHED FLOOR ELEVATION SHALL BE GROUTED SOLID
- WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL BLOCK CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICAL. DOWELS MAY BE GROUTED INTO A CELL IN VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING. GROUT THE CELL FOR THE FULL HEIGHT OF THE DOWEL.
- ALL REINFORCING STEEL SHALL BE CENTERED IN THE MASONRY UNIT CELL, UNLESS NOTED OTHERWISE. ALL REINFORCING STEEL SHALL BE SECURED IN PLACE BEFORE GROUTING STARTS.
- ALL REINFORCING BARS SHALL HAVE A MINIMUM GROUT COVER OF 1/2" TO THE INSIDE FACE OF THE MASONRY UNIT, A MINIMUM OF TOTAL MASONRY COVER OF 2". ALL REINFORCING BARS IN WALLS SHALL HAVE NOT LESS THAN ONE BAR DIAMETER NOR 1" CLEAR
- BETWEEN BARS. ALL REINFORCING BARS IN COLUMNS AND PILASTERS SHALL HAVE NOT LESS THAN ONE AND ONE-HALF 13.
- BAR DIAMETERS NOR 1 1/2" CLEAR BETWEEN BARS. VERTICAL CELLS THAT WILL BE GROUTED SHALL HAVE A VERTICAL ALIGNMENT TO MAINTAIN
- A CONTINUOUS UNOBSTRUCTED CELL AREA NOT LESS THAN 3"x4".
- 15. GROUTING SHALL BE STOPPED 1 1/2" BELOW THE TOP OF A COURSE SO AS TO FORM A KEY AT THE POUR JOINT
- 16. GROUTING OF MASONRY BEAMS AND LINTELS OVER OPENINGS SHALL BE DONE IN ONE CONTINUOUS OPERATION.
- ALL BOLTS, ANCHORS, ETC., INSERTED IN THE WALLS, SHALL BE GROUTED SOLID INTO POSITION. 17 UNDER ALL BEAMS AND JOIST BEARINGS, FILL UNITS 2 CMU COURSES DEEP X 32" WIDE MINIMUM.
- PROVIDE A CONTINUOUS BOND BEAM UNDER ALL TRUSS BEARINGS. 19 ALL REINFORCING LAP SPLICES SHALL BE A MINIMUM OF 72 BAR DIAMETERS BASED ON THE MAXIMUM 20. ALLOWABLE STRESS, UNLESS NOTED OTHERWISE.



COMPOSITE DECKING (COLOR: TREX "SPICED RUM") ATTACH WITH 3/8" THROUGH BOLTS AT MID SUPPORTS SPLIT FACE CMU - PAINT TO MATCH BUILDING-6" DIA. STEEL BOLLARD SEE 10/A-5, SIM. ----1 1/2"x1/4" FLAT STL. PLATE CROSS BRACE, WELD TO FRAME DECK INFILL. PROVIDE DROP PIN OPERABLE FROM THE INTERIOR AND 3/4" DIA. x 1 1/2" DEEP RECESS IN CONCRETE FOR EA. GATE LEAF. OPEN POSITION NOTCH REQUIRED FOR PIN. FRONT ELEVATION 3 A-5 SCALE: 1/4" = 1'-0"

PAINT STEEL FRAME P07, TYP.---



