

ADJOINING PROPERTY OWNERS	
13-5689-6157-03-035390 JOHN LEVETT 32 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6157-03-197300 JOSEPH M. BELLIVAU 6 WOODLAND COURT WAPPINGERS FALLS, NY 12590
13-5689-6157-03-139380 EDWARD HANBY 62 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6157-03-178275/089216 CHG & E CORP. 284 SOUTH AVENUE POUGHKEEPSIE, NY 12601
13-5689-6157-03-149369 JOSEPH P. VERSACE 66 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6057-04-964107 GIUSEPPE D'AGOSTINO 318 VAN SICKLEN STREET BROOKLYN, NY 11223
13-5689-6157-03-161350 CHARLES TUFARO, TRUSTEE 72 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6057-04-930225 HIGHWAY DISPLAYS INC. 404 MAPLE STREET POUGHKEEPSIE, NY 12601
13-5689-6157-03-150311 GARTH E. BOSMAN 86 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6157-03-017302 DANIELLE ANN BONINI 60 MISK LANE WAPPINGERS FALLS, NY 12590
13-5689-6157-03-185311 ADAM DAVID BOHANNAN, TRUSTEE 67 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	

SCHEDULE OF BULK REGULATIONS				
DISTRICT: R-40: 1-FAMILY RESIDENCE	REQUIRED	EXISTING	PROPOSED LOT 1	PROPOSED LOT 2
MINIMUM LOT AREA	40,000 sq. ft.	1,536,145.00 sq. ft.	768,905.31 sq. ft.	767,239.69 sq. ft.
MINIMUM LOT WIDTH	125 ft.	558 ft.	345.5 ft.	534 ft.±
MINIMUM LOT DEPTH	125 ft.	2,011 ft.	1,676 ft.	2,245 ft.
MINIMUM STREET FRONTAGE	50 ft.	124.12 ft.	64.09 ft.	60.03 ft.
MINIMUM FRONT YARD FROM: COUNTY/ STATE HWY (N.Y.S. RTE. 9)	75 ft.	N/A	N/A	N/A
FRONT LOT LINE OF OTHER ST.	50 ft.	0 ft.	425.8 ft.	277.0 ft.
MINIMUM SIDE YARD	25 ft.	0 ft.	108.9 ft.	180.0 ft.
MINIMUM REAR YARD	50 ft.	0 ft.	1,211.6 ft.	1,420.7 ft.
MAXIMUM BUILDING HEIGHT	2.5 stories/35 ft.	2.5 stories/35 ft.	2.5 stories/35 ft.	2.5 stories/35 ft.
MAXIMUM BUILDING COVERAGE	12	0%	2.3%	1.75%
MAXIMUM FLOOR AREA RATIO	0.12	0.0	0.01	0.01
* VARIANCE REQUIRED				

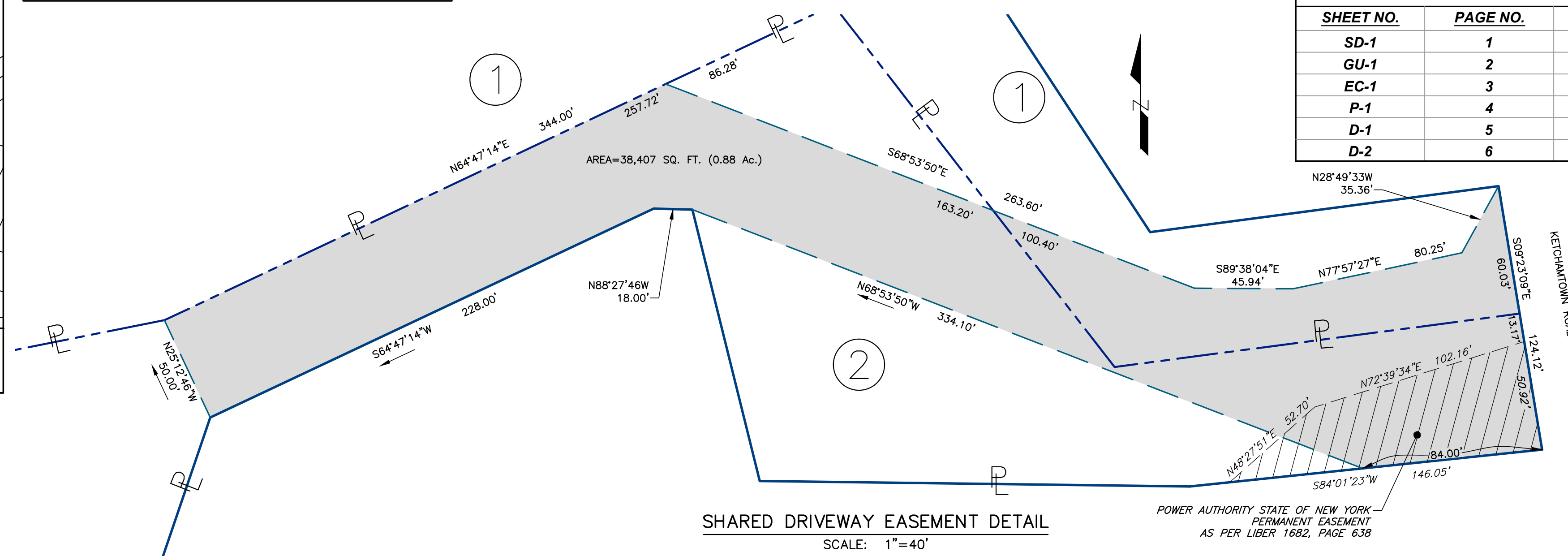
GENERAL NOTES:

- ALTERATION OF THIS PLAN BY ANY PERSON OTHER THAN A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAWS. ANY ALTERATIONS OF THIS PLAN BY A NYSE LICENSED PROFESSIONAL ENGINEER SHALL BE SO NOTED AND DATED AND BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF SUCH PROFESSIONAL ENGINEER.
- EXISTING SURVEY AND TOPOGRAPHY FROM A SURVEY ENTITLED "BOUNDARY SURVEY, LANDS OF LOPANE" PREPARED BY JOHN J. POST, JR., L.S. DATED AUGUST 4, 2022.
- TOPOGRAPHY IS IN NAVD 1988 DATUM.
- NYSEDEC FRESHWATER WETLAND WF-28 BOUNDARY AS SHOWN HEREON, DELINEATED BY MICHAEL NOWICKI OF ECOLOGICAL SOLUTIONS ON 06-14-22 AS PER A MAP ENTITLED "WETLAND SURVEY, LANDS OF LOPANE" DATED 07-11-22 AND VALIDATED BY THE NYSEDEC ON 07-21-22.
- THE LIMIT OF ZONE A (SPECIAL FLOOD AREAS) SHOWN HEREON IS FROM FLOOD INSURANCE RATE MAPS (FIRM), PANEL 458 OF 602, TOWN OF WAPPINGER (COMMUNITY NO. 361387), EFFECTIVE DATE MAY 2, 2012. ZONE A (SPECIAL FLOOD AREAS) IS IDENTIFIED AS A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH NO BASE FLOOD ELEVATION (BFE) DETERMINED. BFE AT DRIVEWAY CROSSING = 144.0 (SEE SHEET GU-1)
- BOULDERS SHALL BE PLACED ALONG THE OUTSIDE EDGE OF ANY WETLAND BUFFER IN AREAS WHERE CLEARING FOR DEVELOPMENT OF THE LOTS IS WITHIN 25' OF ANY WETLAND BUFFER. BOULDERS SHOULD NOT BE LESS THAN 3' IN DIMENSION AND SPACED NO MORE THAN 20' ON CENTER.

INDIANA BAT MITIGATION MEASURE NOTES:

- ALL TREE REMOVAL SHALL COMMENCE BETWEEN NOVEMBER 1 THROUGH MARCH 31. IF TREES ARE TO BE REMOVED BETWEEN APRIL 1 AND OCTOBER 31, AN EMERGENCY SURVEY SHALL BE PREPARED BY A QUALIFIED BIOLOGIST IN ACCORDANCE WITH THE U.S. FISH AND WILDLIFE SERVICE PUBLICATION "RANGE WIDE INDIANA BAT SURVEY GUIDELINES", APPENDIX E: PHASE 4 EMERGENCY SURVEYS DATED MARCH 2020, TO THE SATISFACTION OF THE NYSEDEC PRIOR TO ANY TREE BEING FELLED.

SHEET INDEX			
SHEET NO.	PAGE NO.	REV. DATE	SHEET TITLE
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GU-1	2	11-07-22	GRADING & UTILITY PLAN
EC-1	3	11-07-22	EROSION & SEDIMENT CONTROL PLAN
P-1	4	11-07-22	PROFILES & SIGHT DISTANCE
D-1	5	--	SWPPP DETAILS
D-2	6	--	DETAILS



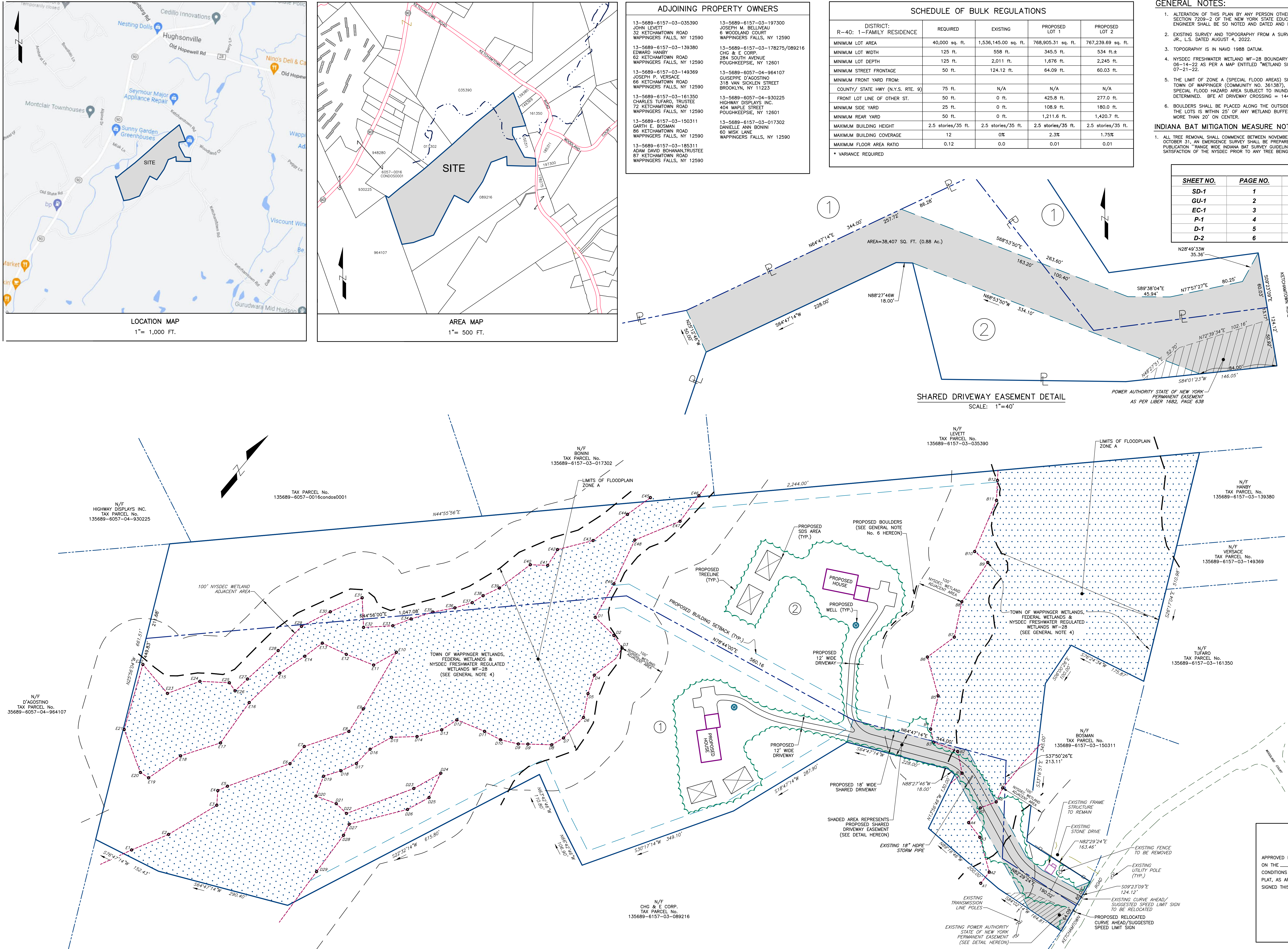
LEGEND	
	PROPERTY LINE
	EXISTING R.O.W./LOT LINE
	PROPOSED LOTLINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED EASEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING WETLAND FLAG
	EXISTING NYSEDEC WETLAND
	EXISTING WETLAND ADJACENT AREA
	LIMITS OF FLOOD PLAIN
	PROPOSED WELL
	PROPOSED TREELINE
	PROPOSED BOULDERS

OWNER/APPLICANT: KETCHAMTOWN LAND DEVELOPMENT, LLC 264 NEW HACKENSACK ROAD WAPPINGERS FALLS, NY 12590
PROPERTY INFORMATION: TAX MAP NO.: 135689-6057-03-070275 LOT 4, FILED MAP NO. 97 AREA = 1,536,145.00 SQ. FT. (35.26 AC.)
ZONING DESIGNATION: R-40 1-FAMILY RESIDENCE DISTRICT
PROPOSED LOT INFORMATION: LOT 1 = 768,905.31 SQ. FT. (17.65 AC.) LOT 2 = 767,239.69 SQ. FT. (17.61 AC.)

RECOMMENDED FOR APPROVAL

DUTCHESS COUNTY DEPARTMENT OF HEALTH POUGHKEEPSIE, NEW YORK
THIS IS TO CERTIFY THAT THE PROPOSED ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL FOR _____ IN THE _____ WERE APPROVED ON _____ IN ACCORDANCE WITH PLANS ON FILE IN THE OFFICE OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH. CONSENT IS HEREBY GIVEN TO THE FILING OF THE MAP ON WHICH THIS ENDORSEMENT APPEARS IN THE OFFICE OF THE COUNTY CLERK OF DUTCHESS COUNTY IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 11 TITLE 2 OF THE NEW YORK STATE PUBLIC HEALTH LAW AND ARTICLE 17 TITLE 15 OF THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW, AND ARTICLE 11 OF THE DUTCHESS COUNTY SANITARY CODE.
SUPERVISING PUBLIC HEALTH ENGINEER

TOWN OF WAPPINGER PLANNING BOARD APPROVAL
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL. SIGNED THIS _____ DAY OF _____, 20____, BY _____
CHAIRMAN
SECRETARY



REVISIONS	
DATE:	DESCRIPTION:
11-07-22	GENERAL REVISIONS PER TOWN COMMENTS

SURVEYOR'S CERTIFICATION:
I, John Post Jr., L.S., hereby certify that the survey on which this map is based was completed on July 11, 2022, and that said survey is in accordance with NYSAPLS current standards.
JOHN POST JR., L.S.

This survey was prepared in accordance with the current "CODE OF PRACTICE" of the NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS (NYSAPLS). All certifications shall run to persons named herein, for whom this survey was prepared and on their behalf to any title company, governmental agency, or lending institution named herein. Said certifications are not transferable to additional institutions or subsequent owners. Any alteration or addition to this survey is a violation of SECTION 7209 of the NEW YORK STATE EDUCATION LAW, except as per SUBDIVISION 2.

All certifications herein are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments herein, if any exist, are not certified or shown.

NEW YORK STATE
L.S. LICENSE #050643

OWNER'S CONSENT NOTE:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS MAP IN THE OFFICE OF THE CLERK OF THE COUNTY OF DUTCHESS.

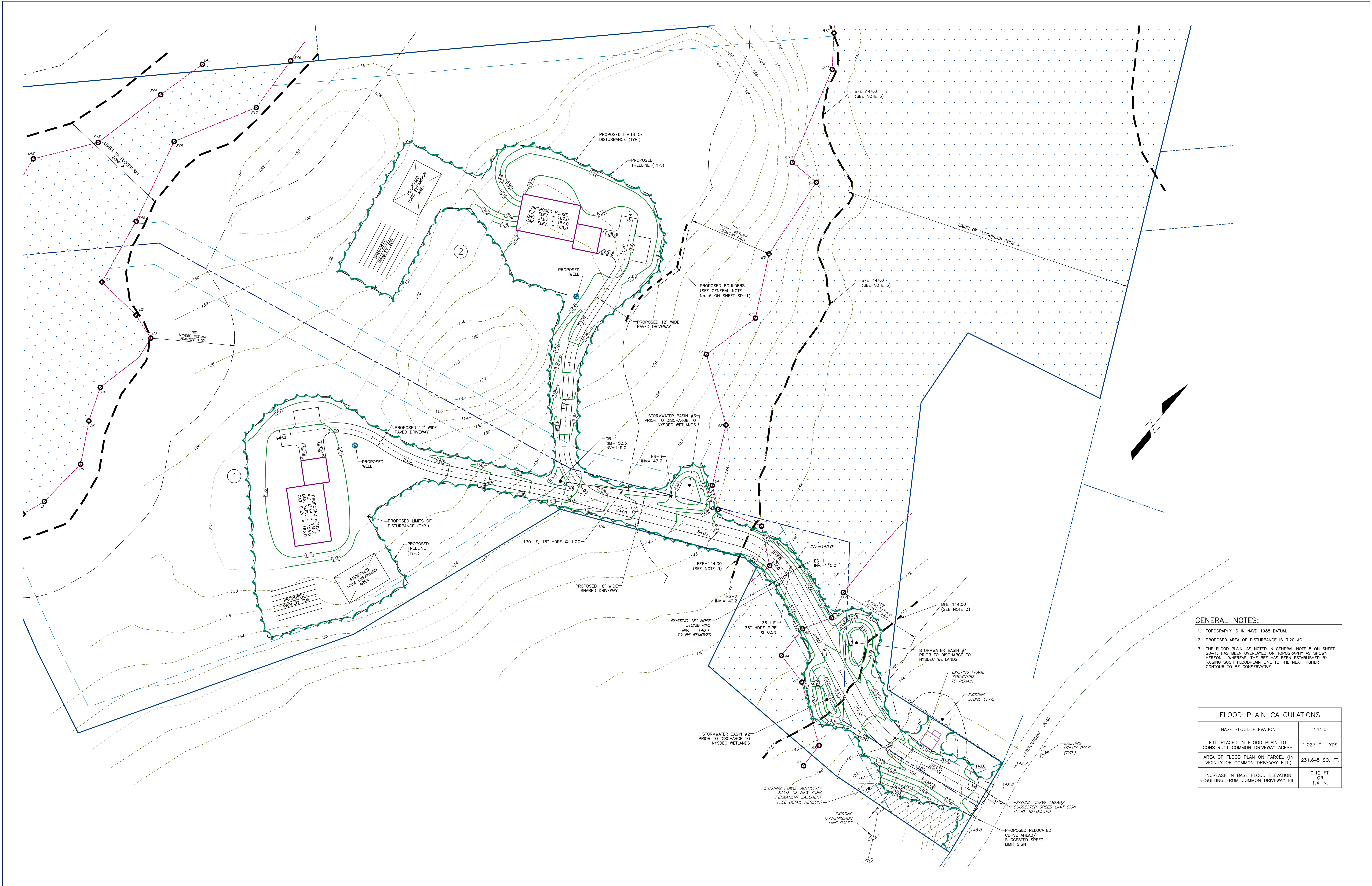
OWNER _____ DATE _____

POVALL
ENGINEERING, PLLC



WILLIAM H. POVALL III, P.E.
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3 NANCY COURT, SUITE 4
WAPPINGERS FALLS, NY 12590
TEL: (845) 897-9205
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TOWN OF WAPPINGER	DUTCHESS COUNTY, NEW YORK
SUBDIVISION PLAT FOR KETCHAMTOWN LAND DEVELOPMENT, LLC	JOB #: 2212 DATE: 09-12-22 SCALE: 1"=80' SD-1 SHEET 1 OF 6



- GENERAL NOTES:
1. TOPOGRAPHY IS IN NAVD 1988 DATUM.
 2. PROPOSED AREA OF DISTURBANCE IS 3.20 AC.
 3. THE FLOOD PLAIN, AS NOTED IN GENERAL NOTE 5 ON SHEET SD-1, HAS BEEN OVERLAYED ON TOPOGRAPHY AS SHOWN HEREON. WHEREAS, THE BFE HAS BEEN ESTABLISHED BY RAISING SUCH FLOODPLAIN LINE TO THE NEXT HIGHER CONTOUR TO BE CONSERVATIVE.

FLOOD PLAIN CALCULATIONS	
BASE FLOOD ELEVATION	144.0
FILL PLACED IN FLOOD PLAIN TO CONSTRUCT COMMON DRIVEWAY ACCESS	1,027 CU. YDS
AREA OF FLOOD PLAIN ON PARCEL (IN VICINITY OF COMMON DRIVEWAY FILL)	231,645 SQ. FT.
INCREASE IN BASE FLOOD ELEVATION RESULTING FROM COMMON DRIVEWAY FILL	0.12 FT. OR 1.4 IN.

REVISIONS	
DATE:	DESCRIPTION:
11-07-22	GENERAL REVISIONS PER TOWN COMMENTS

LEGEND	
	PROPERTY LINE
	EXISTING R.O.W./LOT LINE
	PROPOSED LOTLINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED EASEMENT
	EXISTING EDGE OF PAVEMENT
	160
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING WETLAND FLAG
	PROPOSED CONTOUR
	EXISTING NYSDEC WETLAND
	EXISTING WETLAND ADJACENT AREA
	LIMITS OF FLOOD PLAIN
	PROPOSED WELL
	PROPOSED CATCH BASIN
	PROPOSED SPOT GRADE
	PROPOSED BOULDERS
	PROPOSED LIMITS OF DISTURBANCE

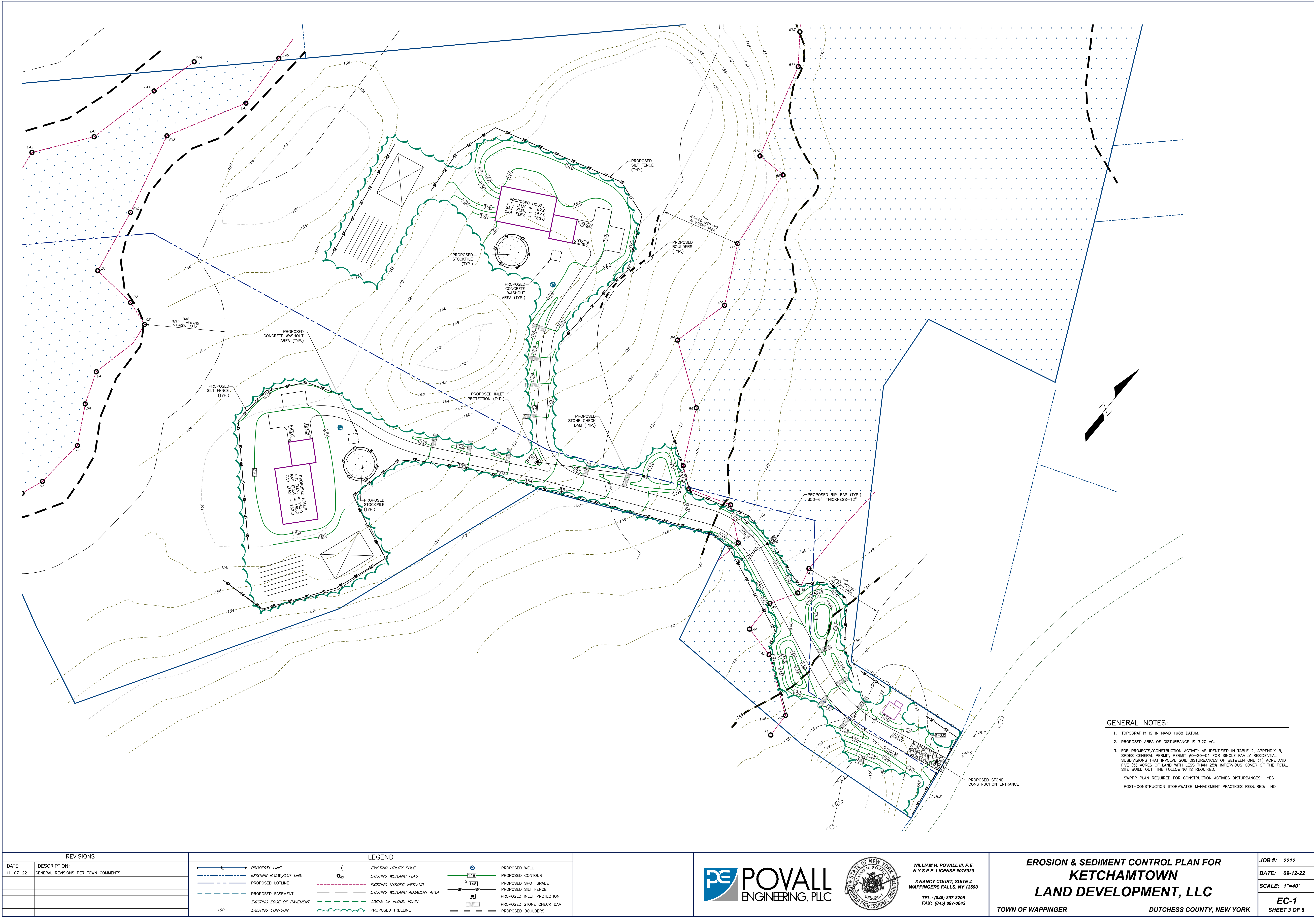
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ENGINEERING, PLLC



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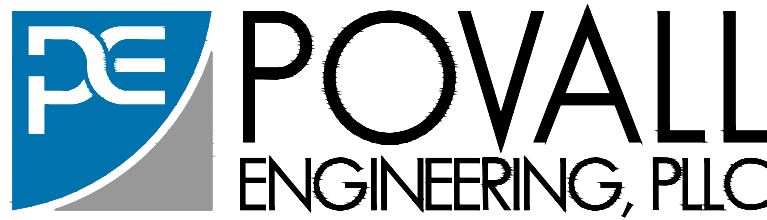
**GRADING & UTILITY PLAN FOR
KETCHAMTOWN
LAND DEVELOPMENT, LLC**
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

JOB #: 2212
DATE: 09-12-22
SCALE: 1"=40'
GU-1
SHEET 2 OF 6



REVISIONS	
DATE:	DESCRIPTION:
11-07-22	GENERAL REVISIONS PER TOWN COMMENTS

LEGEND			
	PROPERTY LINE		EXISTING UTILITY POLE
	EXISTING R.O.W./LOT LINE		EXISTING WETLAND FLAG
	PROPOSED LOTLINE		EXISTING NYSDDEC WETLAND
	PROPOSED EASEMENT		EXISTING WETLAND ADJACENT AREA
	EXISTING EDGE OF PAVEMENT		LIMITS OF FLOOD PLAIN
	EXISTING CONTOUR		PROPOSED TREELINE
	PROPOSED WELL		PROPOSED CONTOUR
	PROPOSED SPOT GRADE		PROPOSED SILT FENCE
	PROPOSED STONE CHECK DAM		PROPOSED BOULDERS

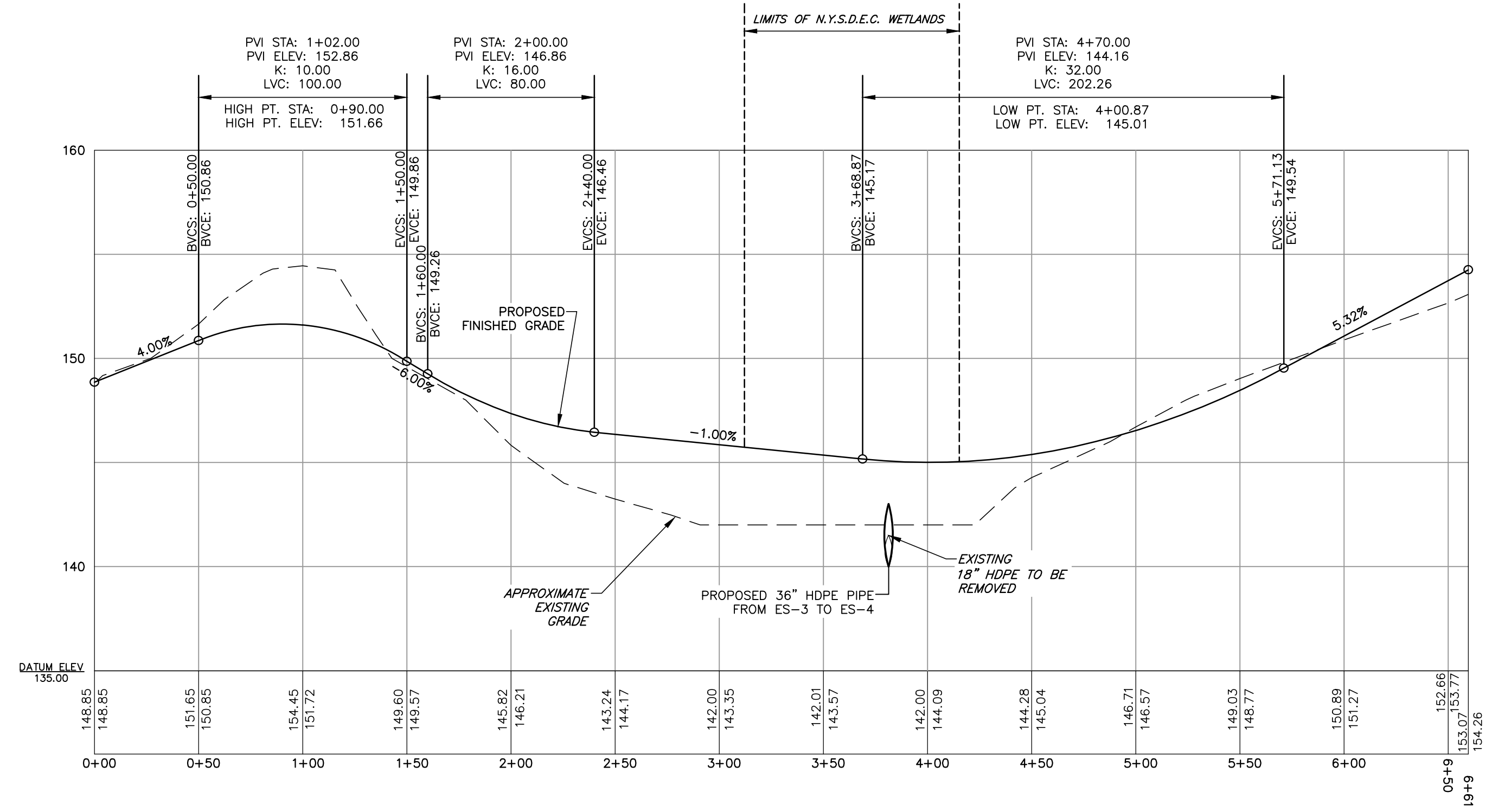


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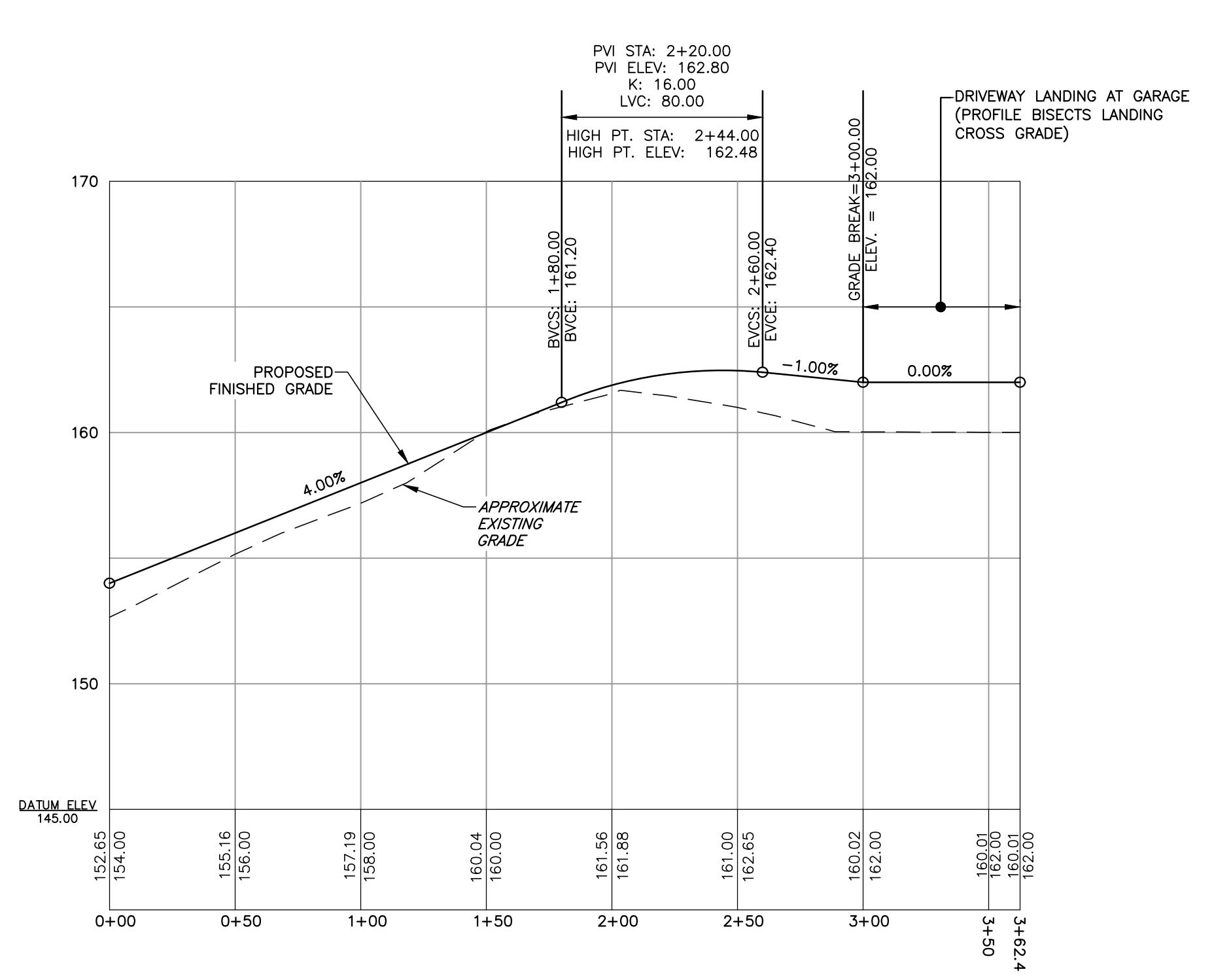
EROSION & SEDIMENT CONTROL PLAN FOR
KETCHAMTOWN
LAND DEVELOPMENT, LLC

TOWN OF WAPPINGER

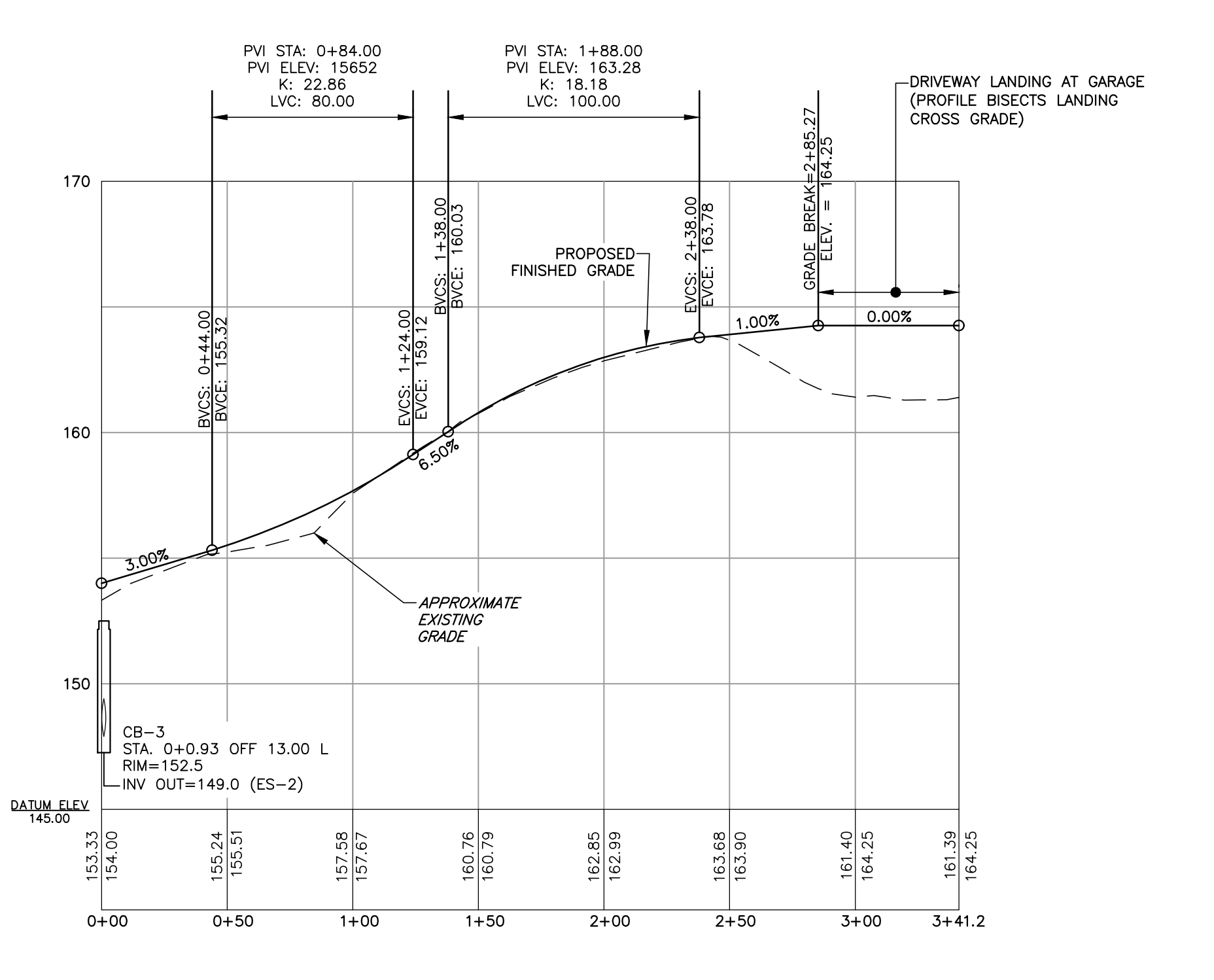
JOB #: 2212
DATE: 09-12-22
SCALE: 1"=40'
EC-1
SHEET 3 OF 6



SHARED DRIVEWAY PROFILE
SCALE: HORZ 1"=50'
VERT 1"=5'



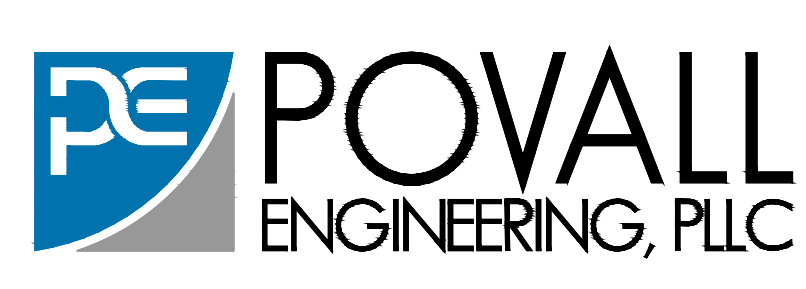
LOT 1 DRIVEWAY PROFILE
SCALE: HORZ 1"=50'
VERT 1"=5'



LOT 2 DRIVEWAY PROFILE
SCALE: HORZ 1"=50'
VERT 1"=5'



REVISIONS	
DATE:	DESCRIPTION:
11-07-22	GENERAL REVISIONS PER TOWN COMMENTS



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PROFILES & SIGHT DISTANCE FOR
KETCHAMTOWN
LAND DEVELOPMENT, LLC
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

JOB #: 2212
DATE: 09-12-22
SCALE: 1"=50'
P-1
SHEET 4 OF 6

