

ADJOINING PROPERTY OWNERS	
13-5689-6157-03-035390 JOHN LEVETT 32 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6157-03-020283 WELLS FARRO NATL. ASSN., TRUSTEE 1075 PALM BEACH LAKES BLVD. WEST PALM BEACH, FL 33401
13-5689-6157-03-139380 EDWARD HANBY 62 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6157-03-178275/089216 CHG & E CORP. 284 SOUTH AVENUE POUGHKEEPSIE, NY 12601
13-5689-6157-03-149369 JOSEPH P. VERASCE 66 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6057-04-964107 GIUSEPPE D'AGOSTINO 318 VAN SICKLEN STREET BROOKLYN, NY 11223
13-5689-6157-03-161350 CHARLES TUFARO, TRUSTEE 72 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6057-04-930225 HIGHWAY DISPLAYS INC. 404 MAPLE STREET POUGHKEEPSIE, NY 12601
13-5689-6157-03-150311 GARTH E. BOSMAN 86 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6157-03-017302 DANIELLE AND BONINI 60 MISK LANE WAPPINGERS FALLS, NY 12590
13-5689-6157-03-164322 ADAM DAVID BOHANNAN, TRUSTEE 87 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590	13-5689-6157-03-164322 HERMAN UGUINA 80 KETCHAMTOWN ROAD WAPPINGERS FALLS, NY 12590
13-5689-6157-03-197300 JOSEPH M. BELLICAU 6 WOODLAND COURT WAPPINGERS FALLS, NY 12590	

SCHEDULE OF BULK REGULATIONS							
DISTRICT: R-40: 1-FAMILY RESIDENCE	REQUIRED	EXISTING KETCHAMTOWN LAND DEV. PARCEL	PROPOSED LOT 1	PROPOSED LOT 2	EXISTING BOSMAN PARCEL	PROPOSED BOSMAN PARCEL	
MINIMUM LOT AREA	40,000 sq. ft.	1,536,145.00 sq. ft.	768,924.70 sq. ft.	766,398.50 sq. ft.	88,787.29 sq. ft.	89,609.13 sq. ft. (C)	
MINIMUM LOT WIDTH	125 ft.	558 ft.	345.5 ft.	534 ft.±	451 ft.±	451 ft.±	
MINIMUM LOT DEPTH	125 ft.	2,011 ft.	1,876 ft.	2,245 ft.	203 ft.	203 ft.	
MINIMUM STREET FRONTAGE	50 ft.	124.12 ft.	50.09 ft.	74.03 ft.	436.62 ft.	436.62 ft.	
MINIMUM FRONT YARD FROM: COUNTY/ STATE HWY (N.Y.S. RTE. 9)	75 ft.	N/A	N/A	N/A	N/A	N/A	
FRONT LOT LINE OF OTHER ST.	50 ft.	0 ft.	425.8 ft.	277.0 ft.	26.3 ft. (B)	26.3 ft. (B)	
MINIMUM SIDE YARD	25 ft.	0 ft.	108.9 ft.	180.0 ft.	31.9 ft.	3.0 ft. (A)	
MINIMUM REAR YARD	50 ft.	0 ft.	1,211.6 ft.	1,420.7 ft.	31.4 ft. (B)	31.4 ft. (B)	
MAXIMUM BUILDING HEIGHT	2.5 stories/35 ft.	2.5 stories/35 ft.	2.5 stories/35 ft.	2.5 stories/35 ft.	2.5 stories/35 ft.	2.5 stories/35 ft.	
MAXIMUM BUILDING COVERAGE	12	0%	2.3%	1.75%	2.6%	2.9%	
MAXIMUM FLOOR AREA RATIO	0.12	0.0	0.01	0.01	0.047	0.049	
MINIMUM FLAG LOT ACCESS STRIP WIDTH	50 ft.	124.12	50.00 ft.	36.03 ft. (A)	N/A	N/A	

NOTES:
A. VARIANCE REQUIRED
B. PRE-EXISTING, NON-CONFORMING
C. THE 821.84 SQ. FT. AREA TO BE CONVEYED TO BOSMAN IS NOT A LOT. THIS LAND AREA IS TO BE TRANSFERRED TO BOSMAN AS OWNER OF ADJOINING PARCEL, AND BECOME AN INTEGRAL PART OF THAT LOT AND PARCEL (TAX MAP NO. 135689-6057-03-150311), WHICH INTEGRATION SHALL BE DOCUMENTED BY THE RECORDING OF A CONSOLIDATION DEED WITHIN _____ DAYS OF THE FILING OF THIS PLAT IN THE DUTCHESS COUNTY CLERK'S OFFICE.

- GENERAL NOTES:**
- ALTERATION OF THIS PLAN BY ANY PERSON OTHER THAN A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAWS. ANY ALTERATIONS OF THIS PLAN BY A NYS LICENSED PROFESSIONAL ENGINEER SHALL BE SO NOTED AND DATED AND BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF SUCH PROFESSIONAL ENGINEER.
 - EXISTING SURVEY AND TOPOGRAPHY FROM A SURVEY ENTITLED "BOUNDARY SURVEY, LANDS OF LOPANE" PREPARED BY JOHN J. POST, JR., L.S., DATED AUGUST 4, 2022.
 - BULK REGULATIONS INFORMATION FOR PARCEL 135689-6057-03-150311 AS PER A SURVEY ENTITLED "MAP OF SURVEY FOR LANDS OF BOSMAN & PATRICK", DATED FEBRUARY 18, 2015, PREPARED BY ROBERT V. OSWALD, L.S.
 - TOPOGRAPHY IS IN NAVD 1988 DATUM.
 - NYSDEC FRESHWATER WETLAND WF-28 BOUNDARY AS SHOWN HEREON, DELINEATED BY MICHAEL NOWICKI OF ECOLOGICAL SOLUTIONS ON 06-14-22 AS PER A MAP ENTITLED "WETLAND SURVEY, LANDS OF LOPANE" DATED 07-11-22 AND VALIDATED BY THE NYSDEC ON 07-21-22.
 - THE LIMIT OF ZONE A (SPECIAL FLOOD AREAS) SHOWN HEREON IS FROM FLOOD INSURANCE RATE MAPS (FIRM), PANEL 458 OF 702, TOWN OF WAPPINGER (COMMUNITY NO. 361387), EFFECTIVE DATE MAY 2, 2012. ZONE A (SPECIAL FLOOD AREAS) IS IDENTIFIED AS A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH NO BASE FLOOD ELEVATION (BFE) DETERMINED. BFE AT DRIVEWAY CROSSING = 144.0 (SEE SHEET GU-1)
 - BOULDERS SHALL BE PLACED ALONG THE OUTSIDE EDGE OF ANY WETLAND BUFFER IN AREAS WHERE CLEARING FOR DEVELOPMENT OF THE LOTS IS WITHIN 25' OF ANY WETLAND BUFFER. BOULDERS SHOULD NOT BE LESS THAN 3' IN ANY DIMENSION AND SPACED NO MORE THAN 20' ON CENTER.
- INDIANA BAT MITIGATION MEASURE NOTES:**
- ALL TREE REMOVAL SHALL COMMENCE BETWEEN NOVEMBER 1 THROUGH MARCH 31. IF TREES ARE TO BE REMOVED BETWEEN APRIL 1 AND OCTOBER 31, AN EMERGENCY SURVEY SHALL BE PREPARED BY A QUALIFIED BIOLOGIST IN ACCORDANCE WITH THE U.S. FISH AND WILDLIFE SERVICE PUBLICATION "RANGE WIDE INDIANA BAT SURVEY GUIDELINES", APPENDIX E: PHASE 4 EMERGENCY SURVEYS DATED MARCH 2020, TO THE SATISFACTION OF THE NYSDEC PRIOR TO ANY TREE BEING FELLED.

SHEET INDEX			
SHEET NO.	PAGE NO.	REV. DATE	SHEET TITLE
SD-1	1	02-06-23	SUBDIVISION PLAT
GU-1	2	02-01-23	GRADING & UTILITY PLAT
EC-1	3	01-26-23	EROSION & SEDIMENT CONTROL PLAN
P-1	4	11-07-22	PROFILES & SIGHT DISTANCE
D-1	5	01-26-23	SWPPP DETAILS
D-2	6	--	DETAILS
D-3	7	--	CULVERT DETAILS

LEGEND	
	PROPERTY LINE
	EXISTING R.O.W./LOT LINE
	PROPOSED LOTLINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED EASEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING WETLAND FLAG
	EXISTING NYSDEC WETLAND
	EXISTING WETLAND ADJACENT AREA
	LIMITS OF FLOOD PLAIN
	PROPOSED WELL
	PROPOSED TREELINE
	PROPOSED BOULDERS

OWNER (PARCEL 070275)/APPLICANT:
KETCHAMTOWN LAND DEVELOPMENT, LLC
264 NEW HACKENSACK ROAD
WAPPINGERS FALLS, NY 12590

OWNER (PARCEL 150311)/CO-APPLICANT:
KATHLEEN AND GARTH BOSMAN
86 KETCHAMTOWN ROAD
WAPPINGERS FALLS, NY 12590

PROPERTY INFORMATION:
TAX MAP NO.: 135689-6057-03-070275
LOT 4, FILED MAP NO. 97
DOC. NO. 02 2022 3553
AREA = 35.26 AC. (1,536,145.00 SQ. FT.)
TAX MAP NO.: 135689-6057-03-150311
DOC. NO. 02 2012 1182
AREA = 2.04 AC. (88,787.29 SQ. FT.)

ZONING DESIGNATION:
R-40 1-FAMILY RESIDENCE DISTRICT

PROPOSED LOT INFORMATION:
LOT 1 = 17.65 AC. (768,924.70 SQ. FT.)
LOT 2 = 17.59 AC. (766,398.50 SQ. FT.)
PARCEL 150311 = 2.06 AC. (89,609.13 SQ. FT.)

RECOMMENDED FOR APPROVAL

DUTCHESS COUNTY DEPARTMENT OF HEALTH
POUGHKEEPSIE, NEW YORK

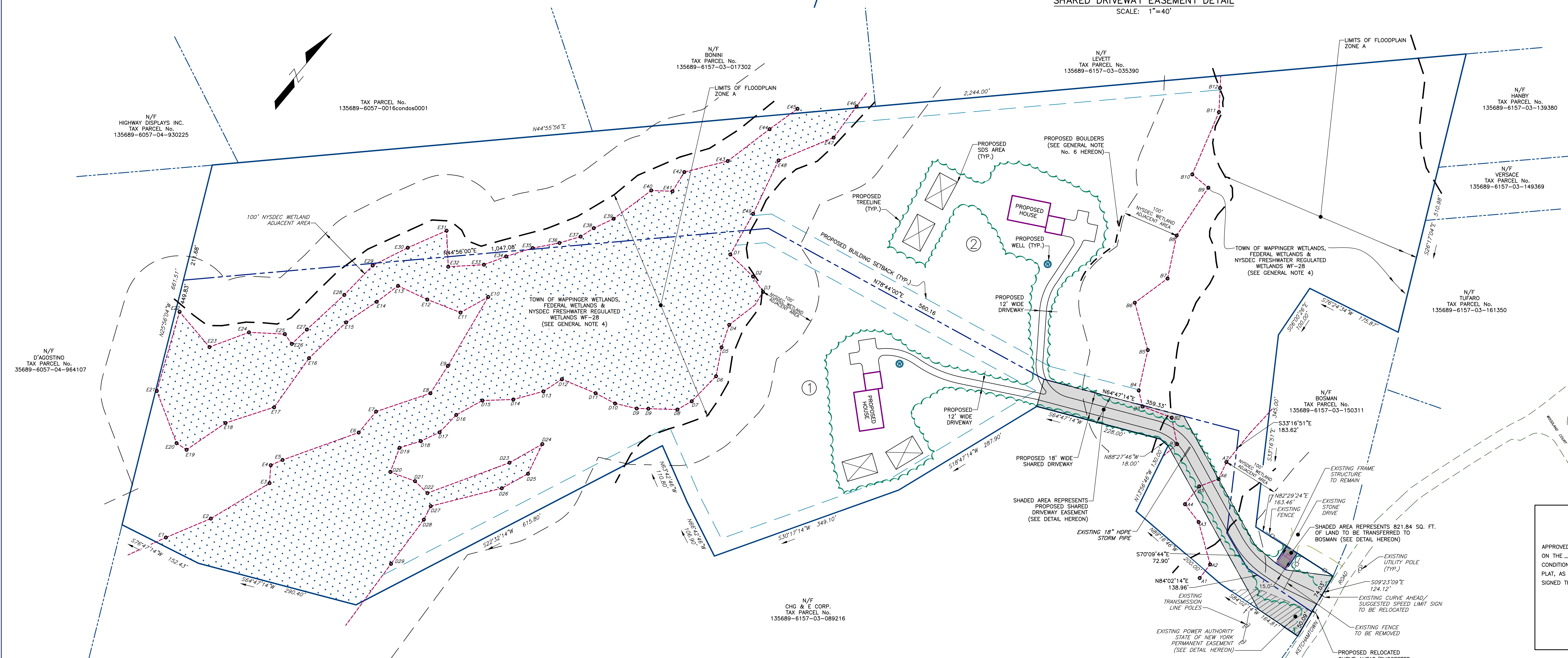
THIS IS TO CERTIFY THAT THE PROPOSED
ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL
FOR _____
IN THE _____
WERE APPROVED ON _____
IN ACCORDANCE WITH PLANS ON FILE IN THE OFFICE OF
THE DUTCHESS COUNTY DEPARTMENT OF HEALTH. CONSENT
IS HEREBY GIVEN TO THE FILING OF THE MAP ON WHICH
THIS ENDORSEMENT APPEARS IN THE OFFICE OF THE
COUNTY CLERK OF DUTCHESS COUNTY IN ACCORDANCE WITH
THE PROVISIONS OF ARTICLE 11 TITLE 2 OF THE NEW YORK
STATE PUBLIC HEALTH LAW AND ARTICLE 17 TITLE 15 OF
THE NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW,
AND ARTICLE 11 OF THE DUTCHESS COUNTY SANITARY CODE.

SUPERVISING PUBLIC HEALTH ENGINEER

**TOWN OF WAPPINGER
PLANNING BOARD APPROVAL**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK,
ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND
CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS
PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.
SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN _____
SECRETARY _____



REVISIONS	
DATE:	DESCRIPTION:
11-07-22	GENERAL REVISIONS PER TOWN COMMENTS
01-23-23	GENERAL REVISIONS ASSOCIATED WITH BOSMAN LOT LINE REALIGNMENT
01-26-23	GENERAL REVISIONS
02-06-23	ADDED INFORMATION FOR LOT LINE REALIGNMENT

SURVEYOR'S CERTIFICATION:

I, John Post Jr., L.S., hereby certify that the survey on which this map is based was completed on JULY 11, 2022, and that said survey is in accordance with NYSAPLS current standards.

JOHN POST JR., L.S.

This survey was prepared in accordance with the current "CODE OF PRACTICE" of the NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS (NYSAPLS). All certifications shall run to persons named herein, for whom this survey was prepared and on their behalf to any title company, governmental agency, or lending institution named herein. Said certifications are not transferable to additional institutions or subsequent owners. Any alteration or addition to this survey is a violation of SECTION 7209 of the NEW YORK STATE EDUCATION LAW, except as per SUBDIVISION 2.

All certifications herein are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

NEW YORK STATE

L.S. LICENSE #050643

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS MAP IN THE OFFICE OF THE CLERK OF THE COUNTY OF DUTCHESS.

OWNER (TAX MAP NO. 6057-03-070275) DATE _____

OWNER (TAX MAP NO. 6057-03-150311) DATE _____

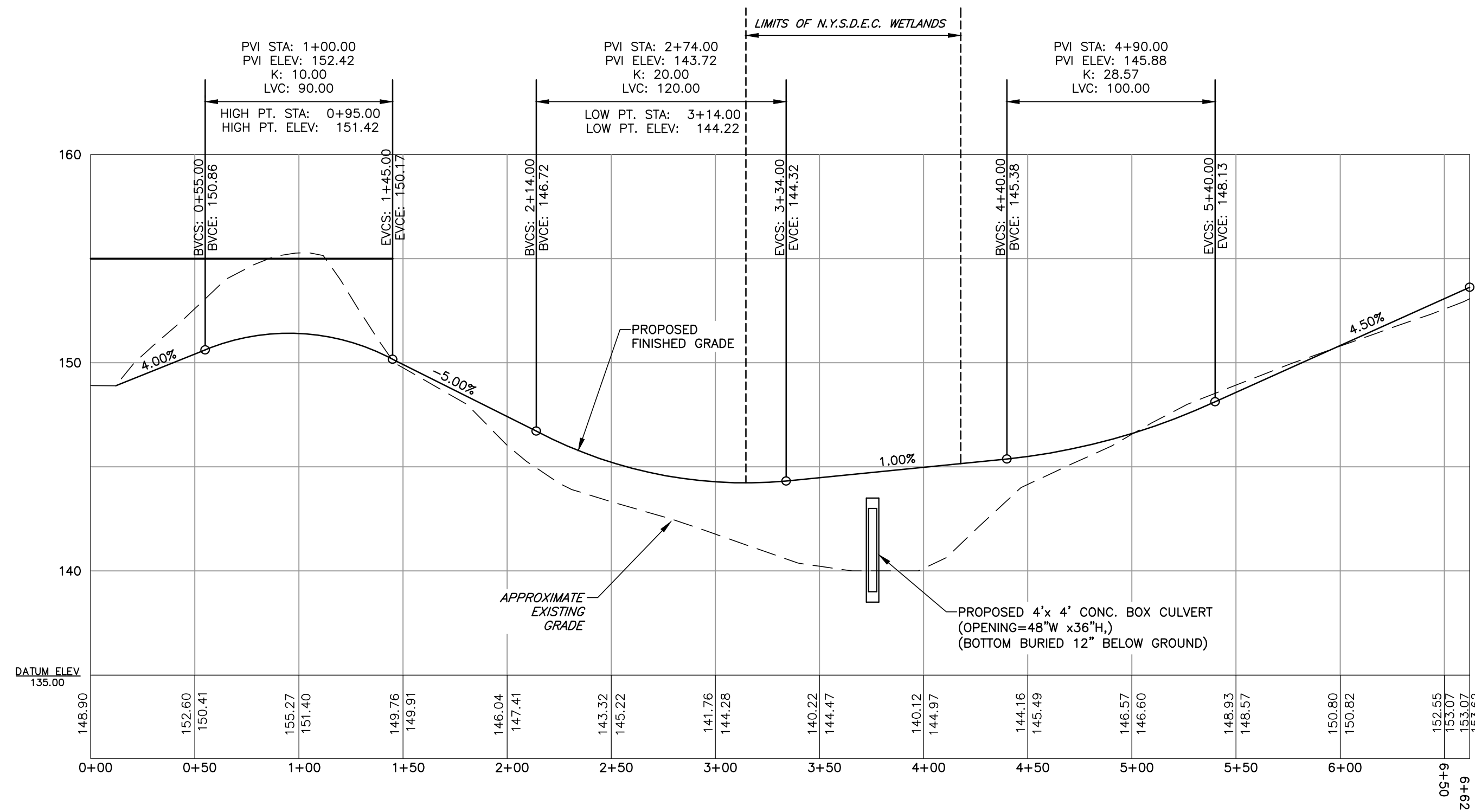
**POVALL
ENGINEERING, PLLC**



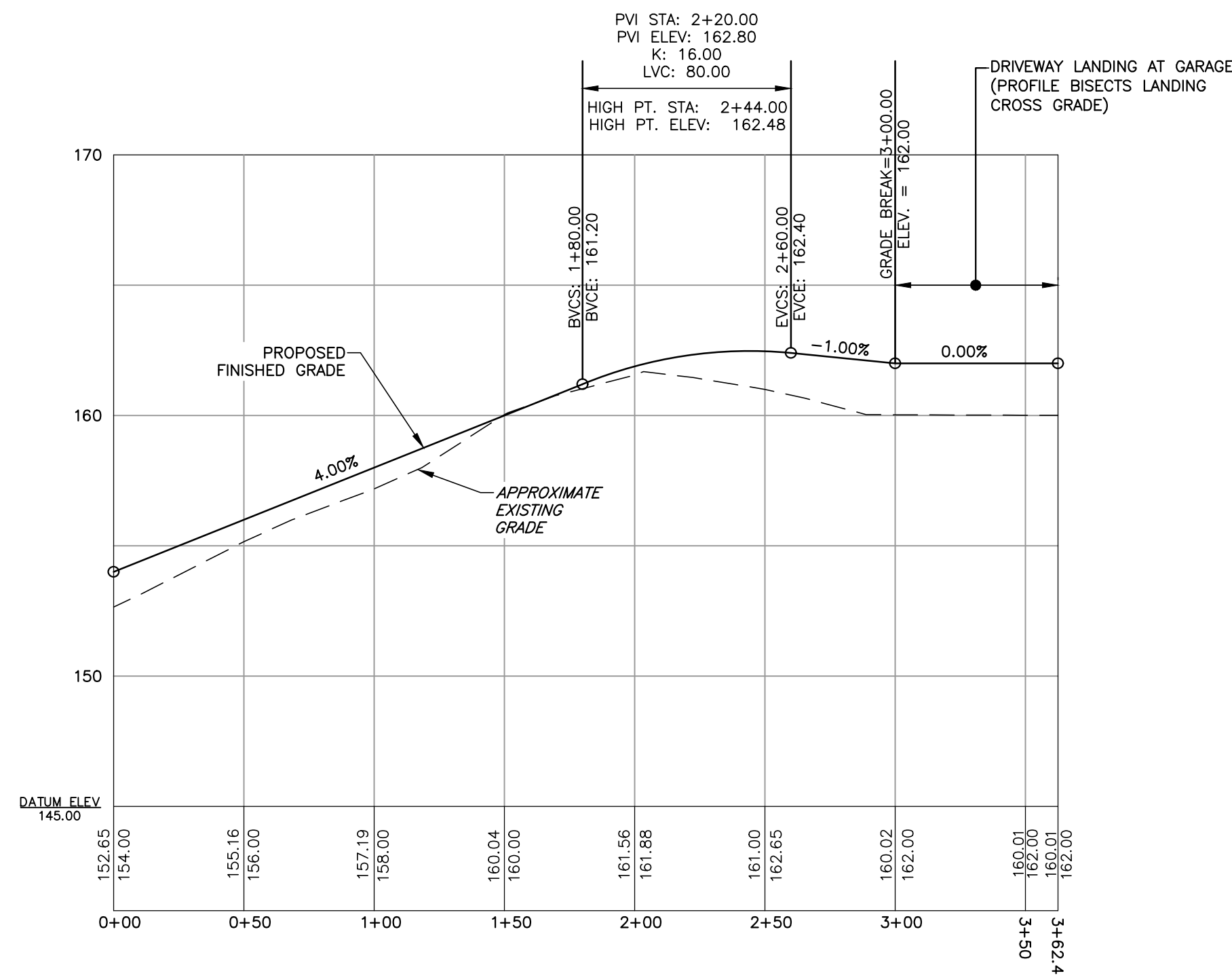
WILLIAM H. POVALL III, P.E.
N.Y.S.P.E. LICENSE #075020
3 NANCY COURT, SUITE 4
WAPPINGERS FALLS, NY 12590
TEL: (845) 897-9205
FAX: (845) 897-0042

**SUBDIVISION PLAT FOR
KETCHAMTOWN LAND DEVELOPMENT, LLC
&
LOT LINE REALIGNMENT WITH BOSMAN
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK**

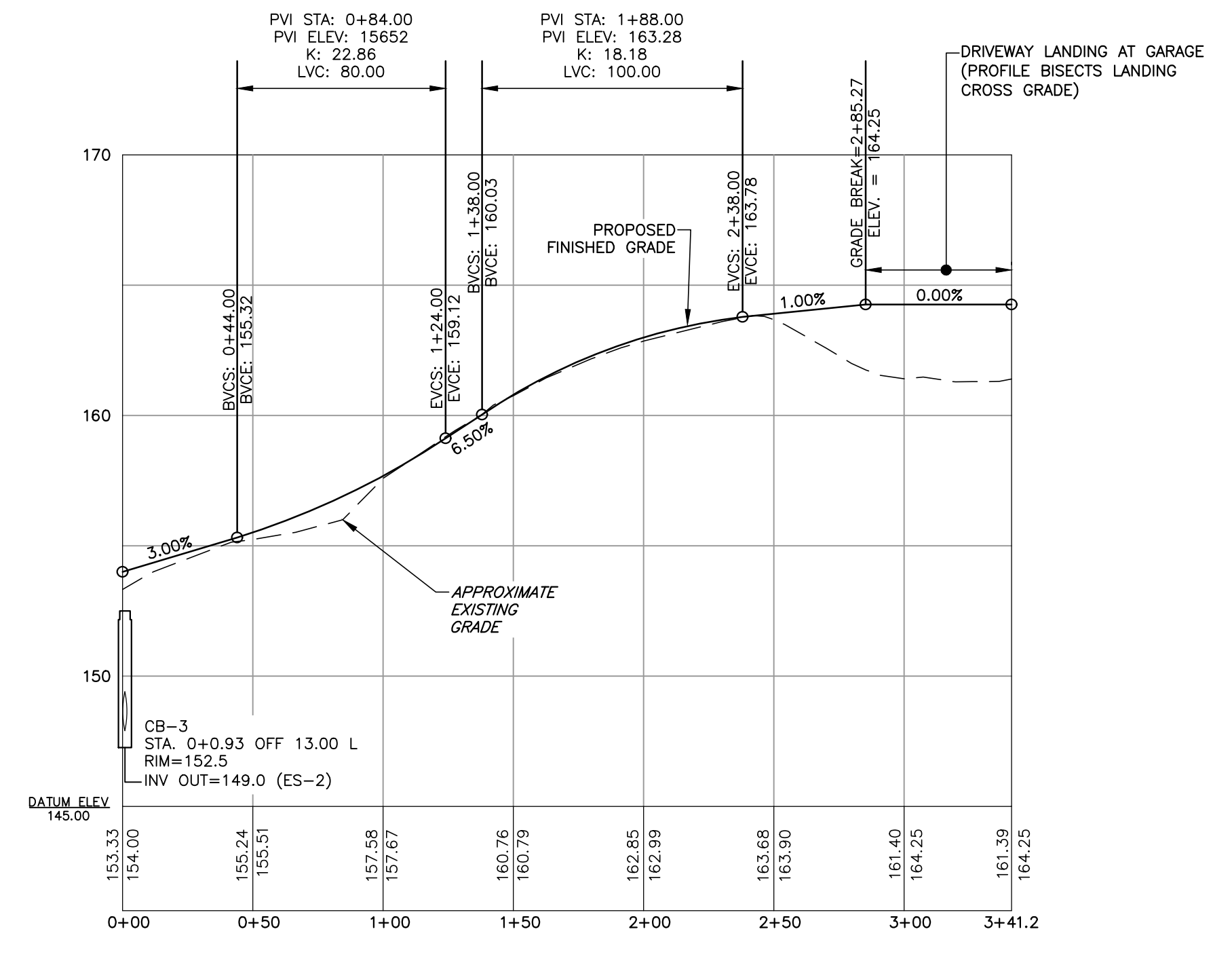
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DATE: 09-12-22
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SD-1
SHEET 1 OF 7



SHARED DRIVEWAY PROFILE
SCALE: HORZ 1"=50'
VERT 1"=5'



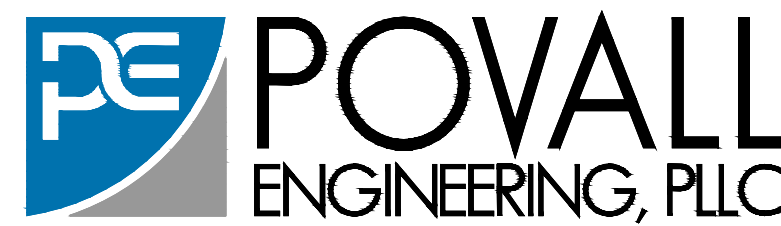
LOT 1 DRIVEWAY PROFILE
SCALE: HORZ 1"=50'
VERT 1"=5'



LOT 2 DRIVEWAY PROFILE
SCALE: HORZ 1"=50'
VERT 1"=5'



REVISIONS	
DATE:	DESCRIPTION:
11-07-22	GENERAL REVISIONS PER TOWN COMMENTS



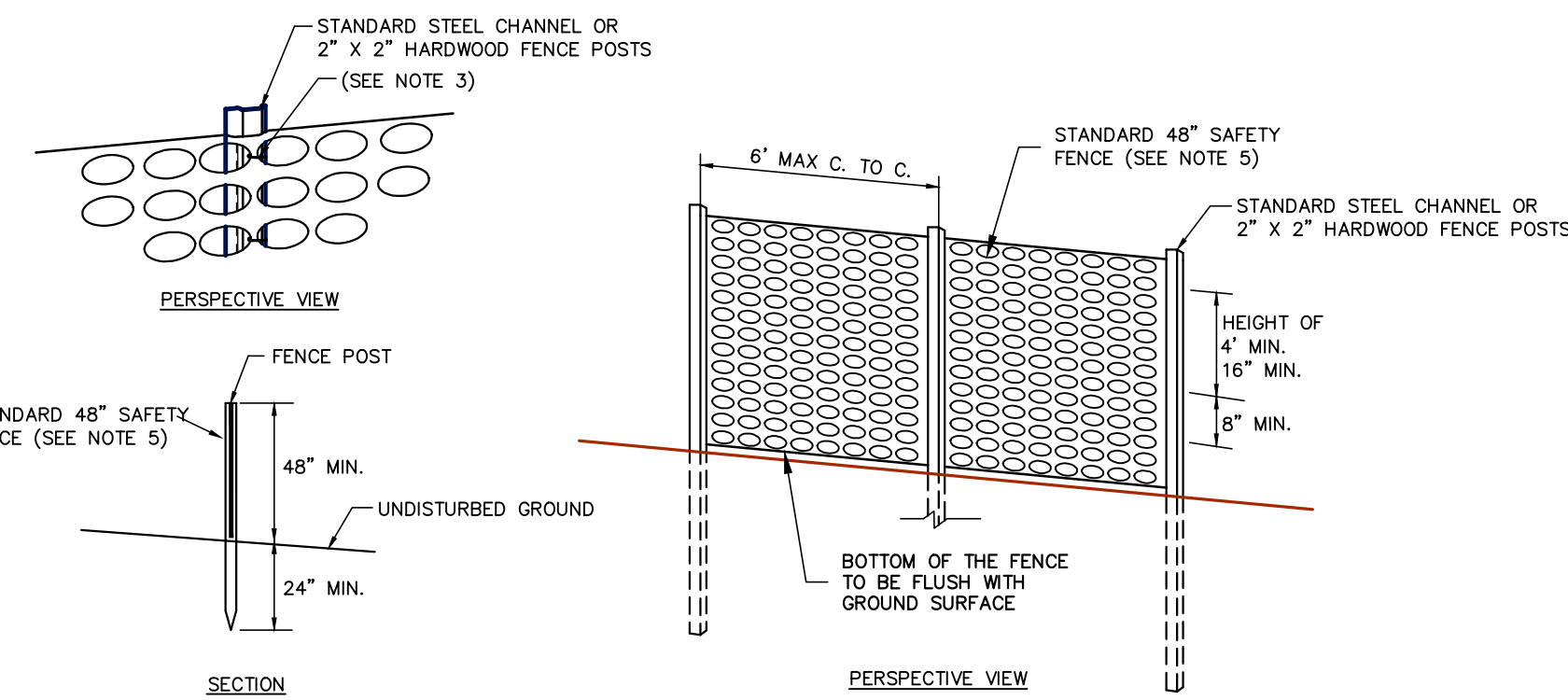
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PROFILES & SIGHT DISTANCE FOR
KETCHAMTOWN
LAND DEVELOPMENT, LLC
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

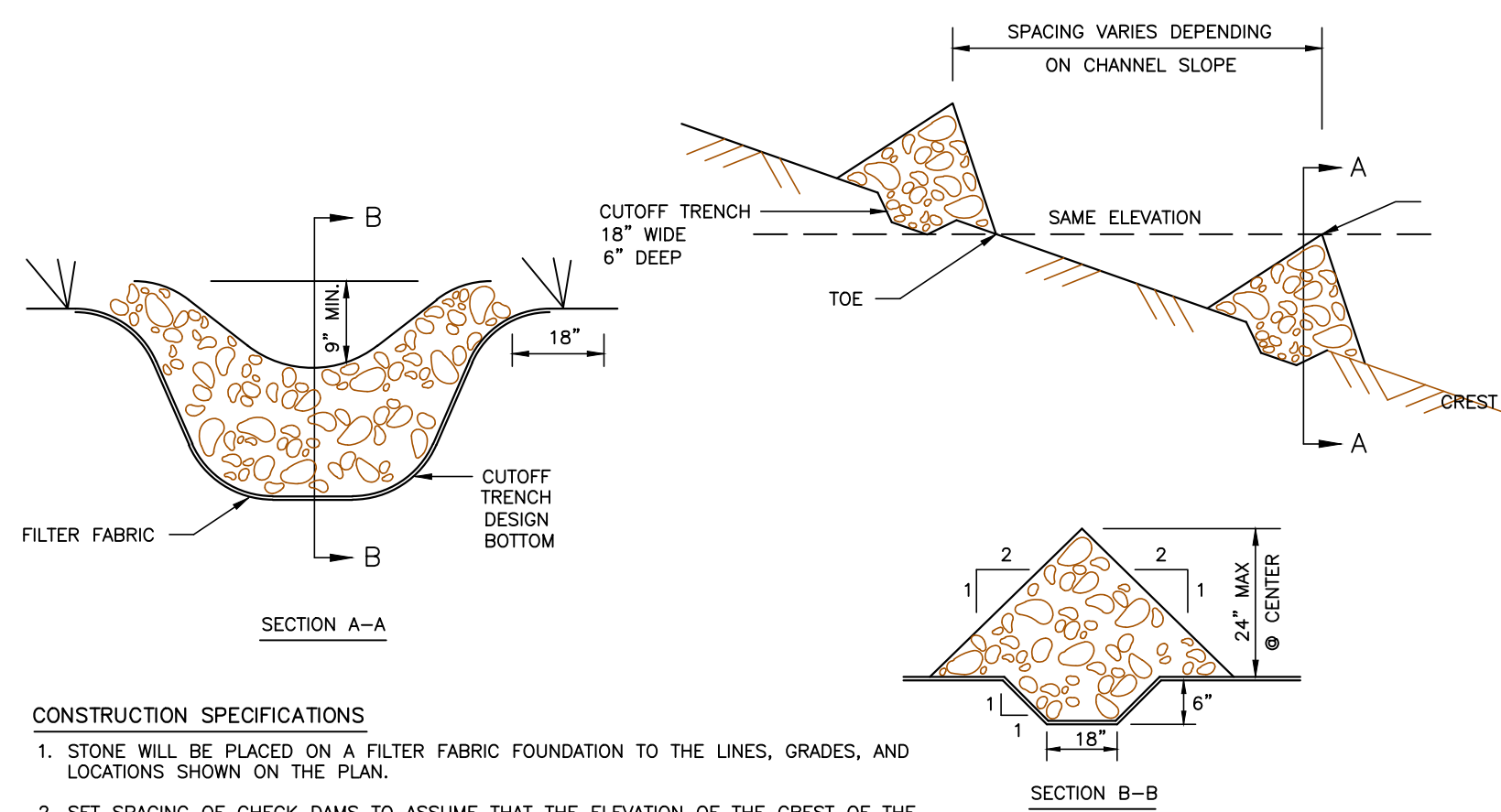
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DATE: 09-12-22
SCALE: 1"=50'
P-1
SHEET 4 OF 7

VEGETATIVE COVER SPECIFICATIONS

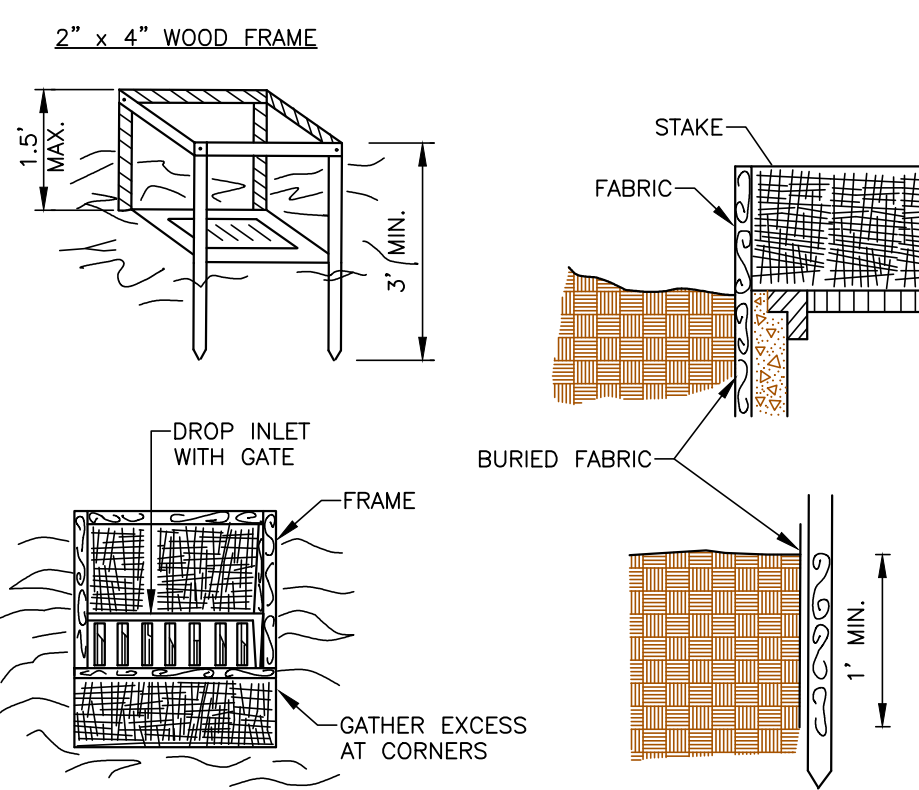
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CONSTRUCTION FENCE
NOT TO SCALE

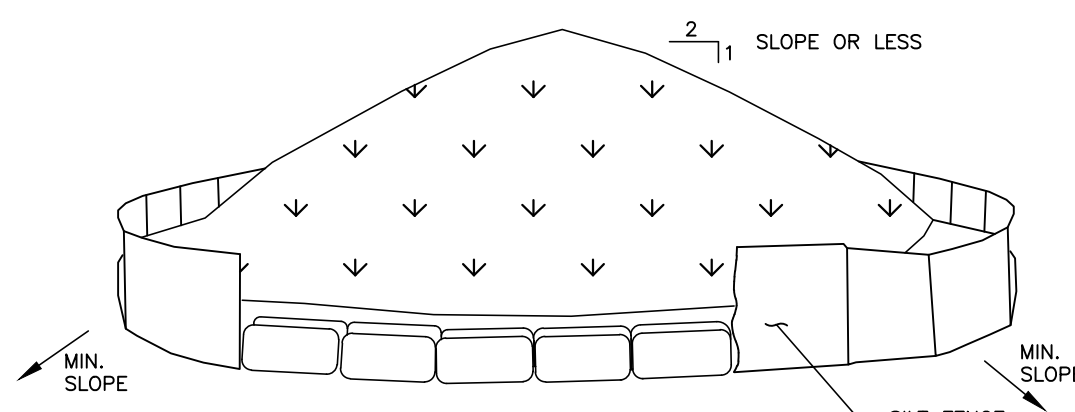


STONE CHECK DAM
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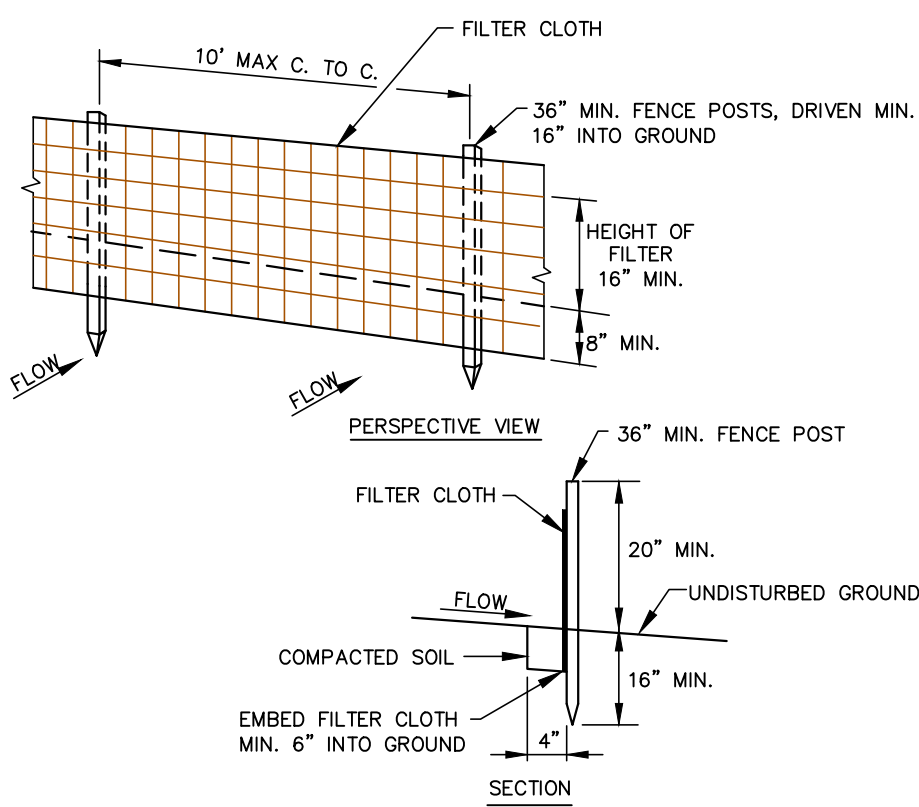


FILTER FABRIC DROP INLET PROTECTION DETAIL

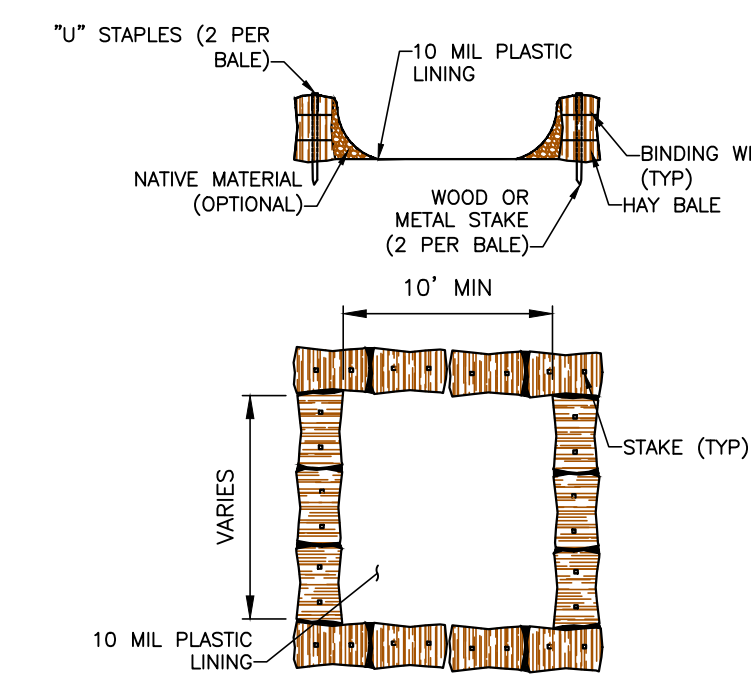
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TEMPORARY SOIL STOCKPILE
NOT TO SCALE

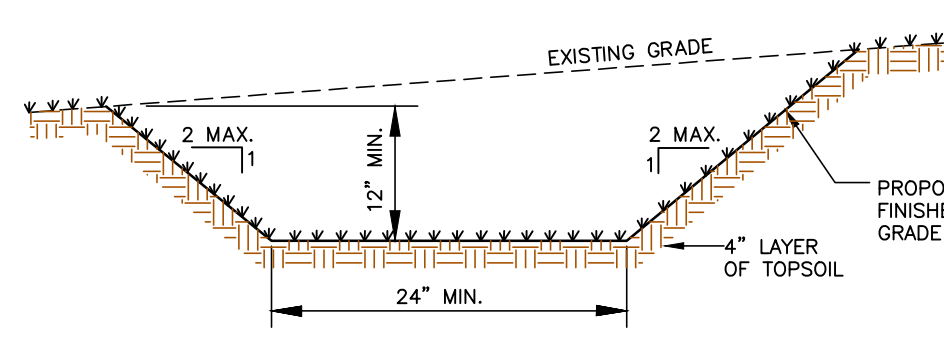


SILT FENCE
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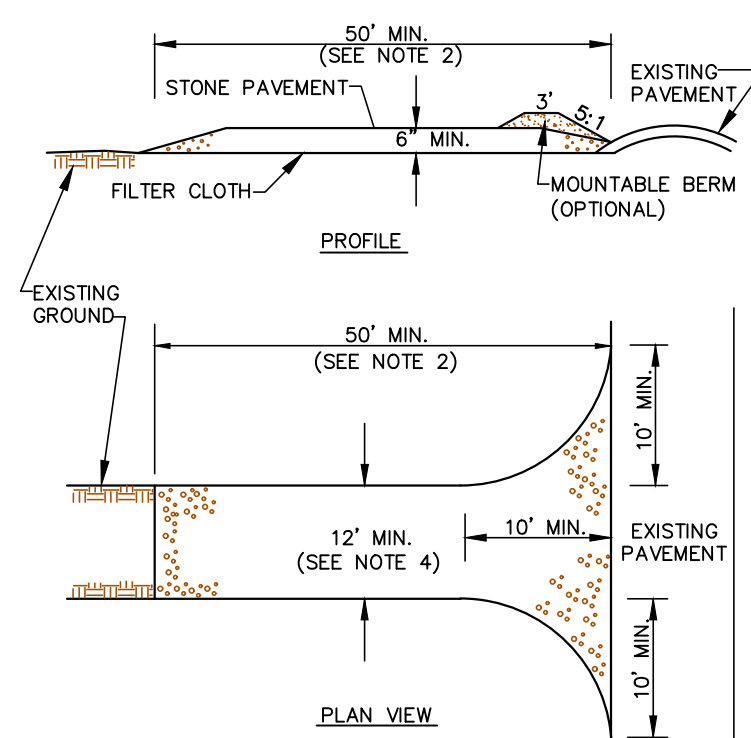


ABOVE GROUND TEMPORARY
CONCRETE WASHOUT FACILITY

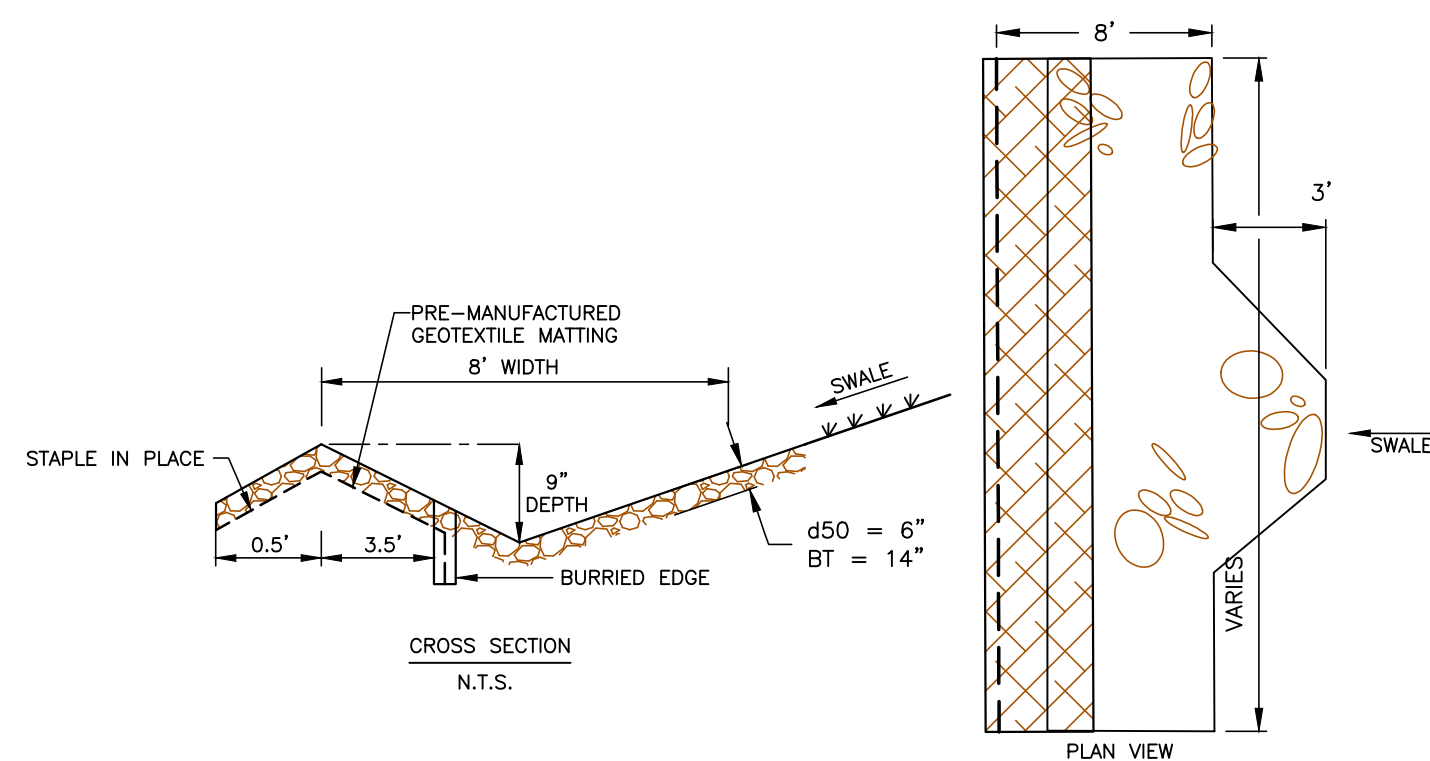
NOT TO SCALE



GRASSED SWALE
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



LEVEL SPREADER DETAIL

NOT TO SCALE

SPDES GENERAL PERMIT GP-0-20-001 COMPLIANCE NOTES:

1. THE NOTICE OF INTENT (NOI) AND SIGNED M54 SWPPP ACCEPTANCE FORM (IF APPLICABLE) SHALL BE FILED WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDCE), A COPY OF THE NOI, SIGNED SWPPP AND SWPPP ACCEPTANCE FORM (IF APPLICABLE), AND THE NOI ACKNOWLEDGEMENT SHALL BE MAINTAINED AT THE SITE IN THE LOG BOOK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FOLLOWING:
 - A. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL READ AND UNDERSTAND THE CONDITIONS OF THE "NYSDCE SPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES", GP-0—20—001.
 - B. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL READ AND SIGN THE CERTIFICATION STATEMENT PROVIDED IN THE APPENDICES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE SIGNED CERTIFICATION STATEMENT SHALL BE PLACED IN THE SITE LOG BOOK AND GIVEN TO THE TOWN FOR THEIR RECORDS.
 - C. THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL IDENTIFY THE TRAINED INDIVIDUAL(S) THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE SWPPP. THE TRAINED INDIVIDUAL(S) SHALL SIGN AND SIGN THE CERTIFICATION STATEMENT PROVIDED IN THE SWPPP. A COPY OF THE SIGNED CERTIFICATION STATEMENT SHALL BE PLACED IN THE SITE LOG BOOK AND GIVEN TO THE TOWN FOR THEIR RECORDS.
 - D. THE TRAINED INDIVIDUAL(S) SHALL PROVIDE DOCUMENTATION THAT HE/SHE HAS RECEIVED TRAINING IN PROPER EROSION AND SEDIMENT CONTROL PRINCIPLES FROM A SOIL AND WATER CONSERVATION DISTRICT, OR ANOTHER NYSDCE ENDORSED ENTITY TO THE TOWN FOR THEIR RECORDS.
 - E. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS NECESSARY FOR THE WORK OUTLINED HEREIN.
 - F. THE TRAINED CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL STORMWATER POLLUTION PREVENTIVE MEASURES OUTLINED IN THE SWPPP AND PROJECT PLANS.
 - G. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER'S REPRESENTATIVES AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - H. THE CONTRACTOR/OWNER SHALL HAVE A QUALIFIED PROFESSIONAL, AS DEFINED WITHIN THE NYSDCE STABILIZATION CRITERIA, CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT PRIOR TO CONSTRUCTION FOLLOWING THE COMMENCEMENT OF CONSTRUCTION AT LEAST EVERY 7 CALENDAR DAYS. REFER TO SWPPP FOR INSPECTION GUIDELINES.
3. PRIOR TO COMMENCEMENT OF CONSTRUCTION, A QUALIFIED PROFESSIONAL (Hired by CONTRACTOR/OWNER) SHALL CONDUCT AN ASSESSMENT OF THE SITE AND CERTIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROL STRUCTURES AS DEPICTED ON THE PLANS HAVE BEEN ADEQUATELY INSTALLED. IF THE INSPECTION REVEALS THAT EROSION AND SEDIMENT CONTROL STRUCTURES HAVE BEEN INSTALLED, REFER TO SWPPP FOR INSPECTION GUIDELINES.
4. A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS SHALL BE MAINTAINED AT THE SITE IN THE LOG BOOK. THE LOG BOOK SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL PLAN AND BE PUBLICLY ACCESSIBLE LOCATION, A SUMMARY OF THE SITE INSPECTION ACTIVITIES ON A MONTHLY BASIS.
5. ONCE CONSTRUCTION ACTIVITIES ARE COMPLETE, THE OWNER/OPERATOR SHALL HAVE A QUALIFIED PROFESSIONAL CONDUCT A FINAL SITE ASSESSMENT TO DETERMINE IF THE SITE MEETS THE FINAL STABILIZATION CRITERIA. IF THE SITE DOES NOT MEET THE NYSDCE SPDES GENERAL PERMIT GP-0—20—001, IF THE SITE IS DETERMINED TO MEET THE FINAL STABILIZATION CRITERIA, A NOTICE OF TERMINATION (N.O.T.) SHALL BE PREPARED AND SUBMITTED TO THE NYSDCE TO TERMINATE COVERAGE UNDER THE SPDES GENERAL PERMIT GP-0—20—001.

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", AUGUST 2005 AND SUBSEQUENT REVISIONS.
2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE FULLY CONCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SOILS EROSION AND DISRUPTION OF SOIL DISRUPTION. EXISTING VEGETATION SHALL BE PRESERVED AS MUCH AS IS PRACTICAL.
3. THE CONTRACTOR AND HIS/HIGHER SUBCONTRACTOR(S) SHALL IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE LOCATED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
5. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
6. EROSION AND SEDIMENT CONTROL INSPECTIONS:
 - A. THE TRAINED INDIVIDUAL SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS AND FOLLOWING EACH RAINFALL EVENT TO MEASURE PROPER PERFORMANCE. ANY SILTATION BUILDUP WILL BE CLEANED, AND SHIFTED HAY BALES WILL BE REINFORCED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROLS SHALL BE REPAIRED EITHER AT THE BEGINNING OR AT THE END OF EACH WORKING DAY.
 - B. THE QUALIFIED PROFESSIONAL SHALL CONDUCT SITE INSPECTIONS EVERY 7 DAYS DURING CONSTRUCTION. ANY DEFICIENCIES NOTED IN THE REPORTS SHALL BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
 - C. ALL RECORDS, INCLUDING COPIES OF THE SWPPP, SPDES PERMIT AND INSPECTION REPORTS, SHALL BE MAINTAINED ON SITE AND BE PUBLICLY ACCESSIBLE.
7. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
8. EARTHWORK ACTIVITIES SHALL BE CONSISTENT WITH THE PLANS. EARTHWORK OPERATION AREAS SHALL BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS, WHICH ARE NOT CURRENTLY UNDER CONSTRUCTION, LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 48 HOURS.
9. STOCKPILED TOPSOIL SHALL BE TEMPORARILY SEEDED, MULCHED, AND ENCLOSED WITH SILT FENCING. ALL GRASS SEED WILL CONTAIN AT LEAST 25 PERCENT RAPID GERMINATING PERENNIAL RYE GRASS.
10. EROSSIVE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED BY A SURROUNDING SILT FENCE BARRIER.
11. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
12. IF THE CONSTRUCTION PROCESS EXPOSES SIGNIFICANT SOIL AREAS FOR ANY LENGTH OF TIME, INCREASED POTENTIAL FOR EROSION AND DUST CREATION WILL OCCUR. THE CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, SUFFICIENTLY MAINTAINED SUPPLEMENTAL SURFACE TREATMENTS (SUCH AS SILT FENCE, TEMPORARY SWALES AND/OR RIP-RAP INTERCEPT POOLS, AND DUST CONTROL MEASURES) AS MAY BE REQUIRED.
13. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS UNDERGO FINAL STABILIZATION AND WHEN UPRATED SURFACE TREATMENTS ARE PROPERLY STABILIZED AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERABLE. ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE RESEED, RE-MULCHED, RESEED, AND MULCHED.
14. TOWN OF WAPPINGER STORMWATER MANAGEMENT OFFICER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE FOLLOWING:
 - A. START OF CONSTRUCTION.
 - B. INSTALLATION OF SEDIMENT OR EROSION CONTROL MEASURES.
 - C. COMPLETION OF SITE CLEARING.
 - D. COMPLETION OF ROUGH GRADING.
 - E. COMPLETION OF FINAL GRADING.
 - F. CLOSE OF CONSTRUCTION SEASON.
 - G. COMPLETION OF FINAL LANDSCAPING.
 - H. SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.

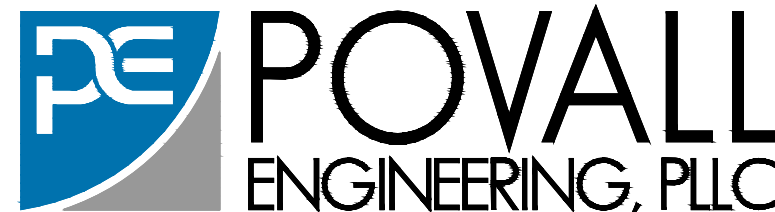
POLLUTION PREVENTION CONTROLS:

GOOD HOUSEKEEPING PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. GOOD HOUSEKEEPING MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THOSE PARTIES INVOLVED WITH THE DIRECT CARE AND DEVELOPMENT OF THE SITE. THE FOLLOWING MEASURES SHOULD BE IMPLEMENTED TO CONTROL THE POSSIBLE EXPOSURE OF HARMFUL SUBSTANCES AND MATERIALS TO STORMWATER RUNOFF:

1. MATERIAL, RESULTING FROM THE CLEARING AND GRUBBING OPERATION SHALL BE STOCKPILED AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR WATERCOURSES AND SURROUNDED WITH ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES. SOIL STOCKPILE LOCATIONS SHALL BE EXPOSED NO LONGER THAN 14 DAYS BEFORE SEEDING.
2. EQUIPMENT MAINTENANCE AREAS SHALL BE PROTECTED FROM STORMWATER FLOWS AND SHALL BE SUPPLIED WITH APPROPRIATE WASTE RECEPTACLES FOR SPENT CHEMICALS, SOLVENTS, OILS, GREASES, GASOLINE, AND ALL POLLUTANTS THAT MIGHT CONTAMINATE THE SURROUNDING HABITAT AND/OR WATER SUPPLY. EQUIPMENT WASH-OUT LOCATIONS SHALL BE LOCATED WITHIN AREAS DRAINING TO SEDIMENT CONTROL DEVICES.
3. THE USE OF DETERGENTS FOR LARGE-SCALE (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.) WASHING IS PROHIBITED.
4. MATERIAL STORAGE LOCATIONS AND FACILITIES (I.E., COVERED STORAGE AREAS, STORAGE SHEDS, ETC.) SHALL BE LOCATED ON-SITE AND SHALL BE STORED ACCORDING TO THE MANUFACTURER'S STANDARDS IN A DEDICATED STAGING AREA. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL SHALL BE STORED IN DISPLAY CONTAINERS OR TIGHTLY COVERED DRUMS. ALL TOXIC MATERIALS SHALL BE REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
5. HAZARDOUS SPILLS SHALL BE IMMEDIATELY CONTAINED TO PREVENT SUCH POLLUTANTS FROM ENTERING THE SURROUNDING HABITAT AND/OR WATER SUPPLY. SPILL KITS SHALL BE PROVIDED ON-SITE AND SHALL BE DISPLAYED PROMINENTLY. IN THE EVENT OF A SPILL, THE SPILL KIT SHALL BE USED TO CONTAIN AND REMOVE GALLONS SHALL BE REPORTED TO THE NYSDCE RESPONSE UNIT AT 1-800-457-7362. IN ADDITION, A RECORD OF THE INCIDENT(S) AND/OR NOTIFICATIONS SHALL BE DOCUMENTED AND ATTACHED TO THE SWPPP.
6. PORTABLE SANITARY WASTE FACILITIES SHALL BE PROVIDED ON-SITE FOR WORKERS AND SHALL BE PROPERLY MAINTAINED.
7. DUMPSTERS AND/OR DEBRIS CONTAINERS SHALL BE LOCATED ON-SITE AND SHALL BE OF ADEQUATE SIZE TO MANAGE RESPECTIVE MATERIALS. REGULAR COLLECTION AND DISPOSAL OF WASTES SHALL OCCUR AS REQUIRED.
8. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 60 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHALL BE PLACED AT THE FACILITY TO INSTRUCT OPERATORS TO PROPERLY USE THE FACILITY AND TO INSTRUCT OPERATORS TO UTILIZE THE PROPER FACILITIES. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED, EXCESS CONCRETE SHALL BE REMOVED AND DISPOSED AT AN APPROVED FACILITY. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND/OR REPAIRED, SEEDED, AND MULCHED FOR FINAL STABILIZATION.
9. NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLISHED WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

CONSTRUCTION SEQUENCING OF LOT IMPROVEMENTS NOTES:

1. STATE OUT THE LOCATIONS OF THE LIMITS OF DISTURBANCE AND IMPROVEMENTS (I.E. RESIDENCE, DRIVEWAY, ETC.) AND THE LIMITS OF THE DISTURBED AREAS. THE LIMITS SHALL BE MARKED WITH ORANGE SURVY FENCING AND APPROPRIATE SIGNAGE TO INDICATE THE PRESENCE OF THE WETLAND. THE PROPOSED AREA OF DISTURBANCE AND THE LIMITS SHALL BE LIMITED TO THE AREAS INDICATED ON THE PROJECT PLANS.
2. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. STABILIZED CONSTRUCTION ENTRANCES, SILT FENCING, STORM DRAIN INLET PROTECTIONS, ETC.) SHALL BE INSTALLED AS SHOWN ON THE PROJECT PLANS.
3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED, STABILIZED, AND MAINTAINED TO PREVENT EROSION AND SEDIMENT FROM ENTERING ANY TRIBUTARY ON THE PROJECT PLANS.
4. REMOVE TREES, STUMPS, AND VEGETATION WITHIN THE DISTURBANCE LIMITS IN ACCORDANCE WITH THE PROJECT PLANS. ALL STUMPS SHALL BE STOCKPILED FOR EITHER GRINDING IN-PER PLACE OR REMOVAL FROM THE PROJECT SITE. THE STOCKPILE SHALL BE PROTECTED BY A STOCKPILE BARRIER ON THE PROJECT PLANS AS APPROPRIATE. STUMP BURIAL IS PROHIBITED.
5. ROUGH GRADE THE SITE. PLACE SURPLUS MATERIAL IN THE TEMPORARY SOIL STOCKPILE LOCATIONS SHOWN ON THE PROJECT PLANS. ANY EXISTING SURPLUS MATERIAL (I.E. TOPSOIL, FILL MATERIALS) SHALL BE SEPARATED FROM EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PROJECT PLANS AS APPROPRIATE.
6. CONSTRUCT THE SINGLE FAMILY RESIDENCES AND ASSOCIATED STRUCTURES (DECKS, PATIOS, ETC.)
7. CONSTRUCT ALL SITE UTILITIES SUCH AS SUBSURFACE SEWAGE DISPOSAL SYSTEM (SDS) AND ON-SITE WELLS AND SANITARY AND WASTEWATER PIPING AND ALL OTHER UTILITY SYSTEM CONNECTIONS, SUCH AS ELECTRIC SERVICE AS SHOWN ON THE PROJECT PLANS.
8. FINALIZE DRIVEWAY PAVEMENT SUB-GRADE PREPARATION.
9. PLACE DRIVEWAY PAVEMENT BASE COURSE.
10. FINISH GRADING AND STABILIZE ALL DISTURBED AREAS (THIS SHALL INCLUDE ANY PREVIOUSLY DISTURBED AREAS). ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE LEFT IN PLACE UNTIL FINAL STABILIZATION OF THE DISTURBED AREAS IS COMPLETE.
11. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES. ESTABLISH PERMANENT VEGETATION COVER AND INSTALL ALL LANDSCAPING. REMOVE WETLAND AND BUFFER FENCING.

[illegible]

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TOWN OF WAPPINGER

**SWPPP DETAILS FOR
KETCHAMTOWN
LAND DEVELOPMENT, LLC**

DUTCHESS COUNTY, NEW YORK

JOB #: 2212

DATE: 09-12-22

SCALE: N.T.S.

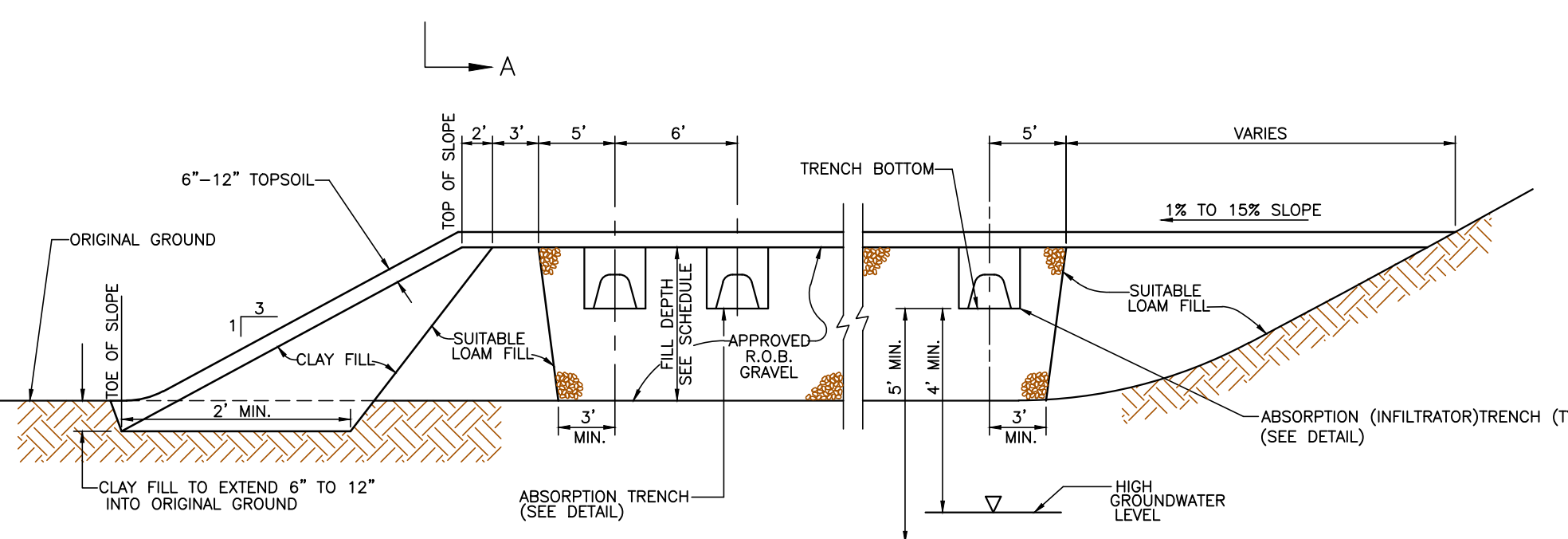
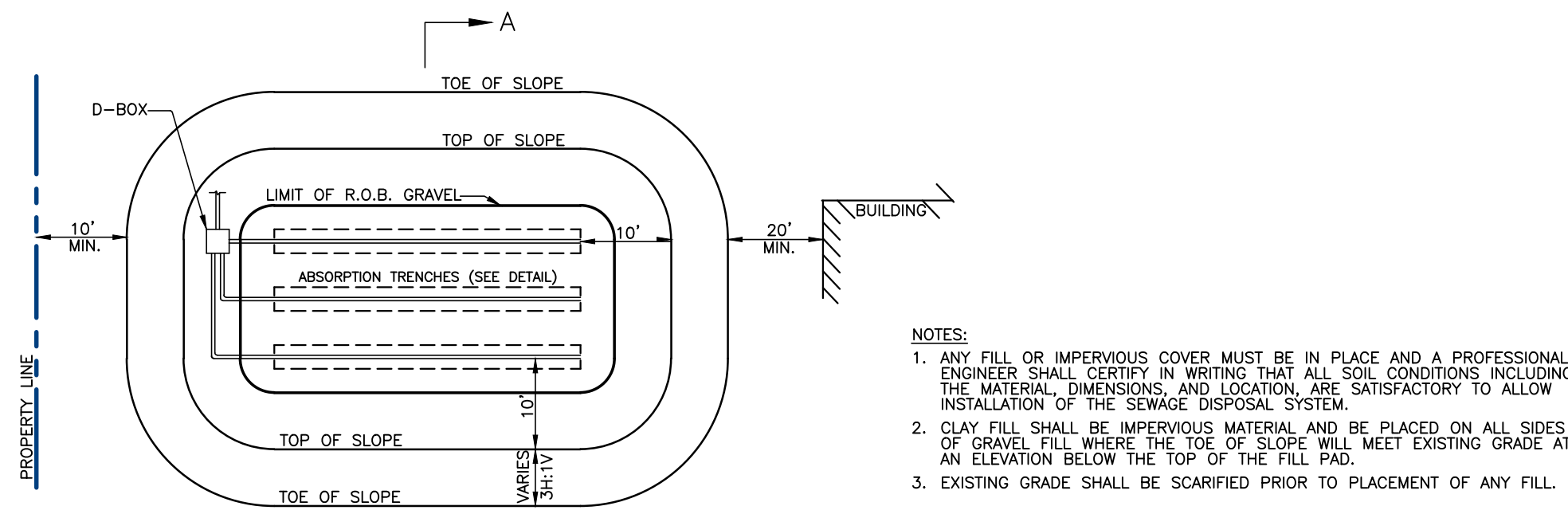
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SHEET 5 OF 7

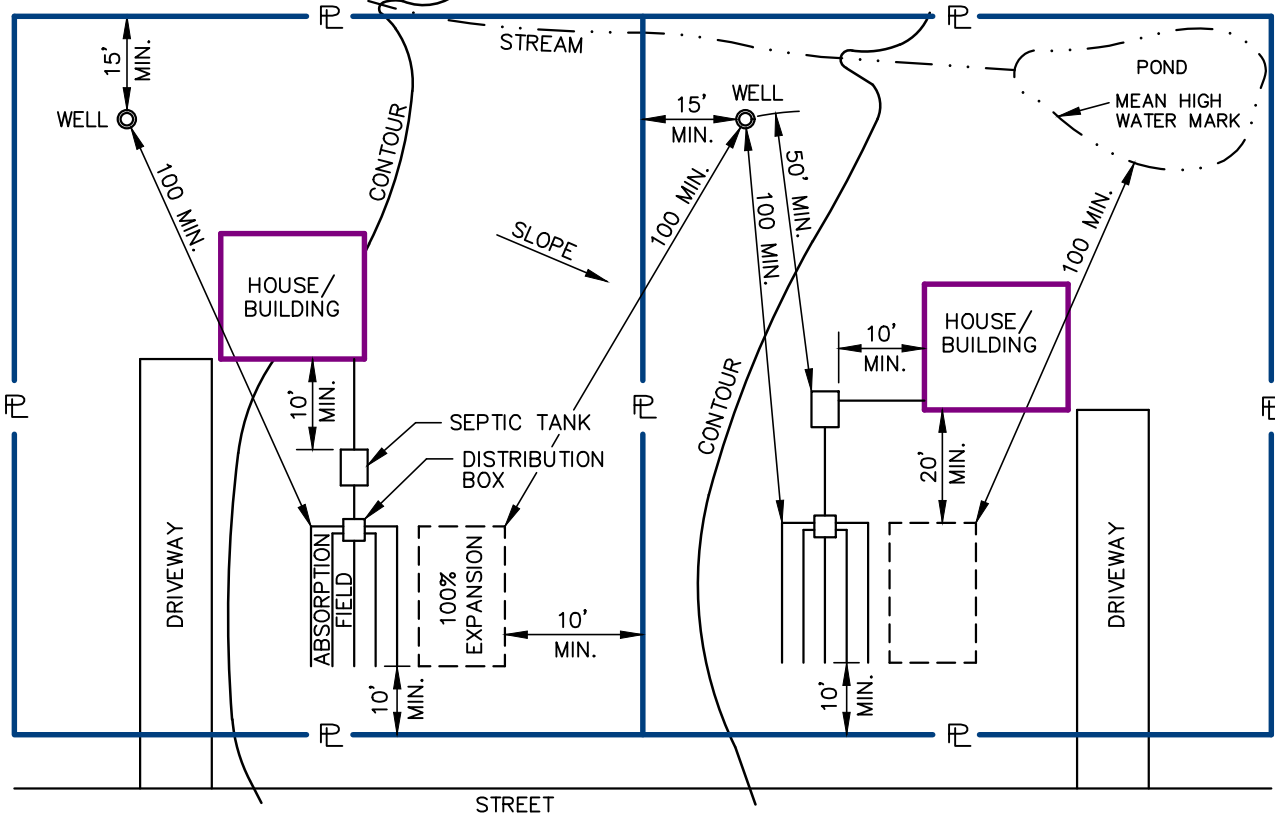
DCDH STANDARD NOTES FOR RESIDENTIAL PROJECTS:

- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
 - "APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
 - "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDOT.
 - "RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS, DESIGN HANDBOOK", NEW YORK STATE DEPARTMENT OF HEALTH.
 - "PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT", NEW YORK STATE DEPARTMENT OF HEALTH.
 - "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."
 - "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES"
 - "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."
- THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES; AND, AS A CONDITION OF THIS APPROVAL, A CONSTRUCTION INSPECTION BY A REPRESENTATIVE OF THE DUTCHESS COUNTY HEALTH DEPARTMENT SHALL BE DONE TO DETERMINE THAT CONSTRUCTION AT THE TIME OF INSPECTION WAS COMPLETED IN GENERAL CONFORMANCE WITH THE APPROVED PLANS AND ANY AMENDMENT THEREOF.
- APPROVAL OF ANY PLANS(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
- THE DUTCHESS COUNTY DEPARTMENT OF HEALTH SHALL BE CONTACTED PRIOR TO THE COMMENCEMENT OF THE HOME CONSTRUCTION AND/OR ISSUANCE OF A BUILDING PERMIT FOR A PRE-CONSTRUCTION INSPECTION TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS, EXISTING OR APPROVED LOCATED WITHIN 300 FEET OF THE PROPOSED WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.
- IF THE TANK IS DELIVERED TO THE SITE IN SECTIONS, THEN IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DUTCHESS COUNTY DEPARTMENT OF HEALTH FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.
- ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.
- NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM OR WITHIN 50 FEET OF ANY WELL.
- ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.
- THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE SEWAGE DISPOSAL SYSTEM PRIOR TO CONSTRUCTION. THE AREA OF THE SYSTEM SHALL BE STAKED OUT AND FENCED OFF.
- ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.
- ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORM WATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
- THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.
- SEPTIC FILL SPECIFICATIONS: SAND AND GRAVEL FILL, WITH A STABILIZED PERCOLATION RATE WHICH IS LESS THAN OR EQUIVALENT TO THE PERCOLATION RATE OF THE VIRGIN SOIL, AND NO MORE THAN 10 MINUTES PER INCH SHALL BE USED.
- A NEW YORK STATE REGISTERED DESIGN PROFESSIONAL, SHALL CERTIFY IN WRITING THAT THE FILL MATERIAL IS IN THE PROPER LOCATION, OF THE PROPER QUANTITY AND DIMS IONLESS, AND OF PROPER QUALITY. PROPER QUALITY MUST BE DEMONSTRATED BY STABILIZED PERCOLATION TEST, THE RESULTS OF WHICH SHALL BE SUBMITTED WITH THE ENTINGERS CERTIFICATION.
- PRIOR TO THE PLACEMENT OF THE FILL, THE AREA OF THE ONSITE WASTEWATER TREATMENT SYSTEM SHALL BE CLEARED OF DEBRIS, AND ALL BRUSH, TREES, OR OTHER VEGETATION CUT TO THE LEVEL OF THE VIRGIN GROUND. NO TOPSOIL SHALL BE REMOVED UNLESS SPECIFICALLY INDICATED IN THE PLANS.
- ALL TRENCHING SHALL BE BACKFILLED WITH WELL DRAINED SUITABLE MATERIAL COMPACTED IN 12" MAXIMUM LIFTS.
- FOR MAPS THAT REQUIRE TEST WELLS:

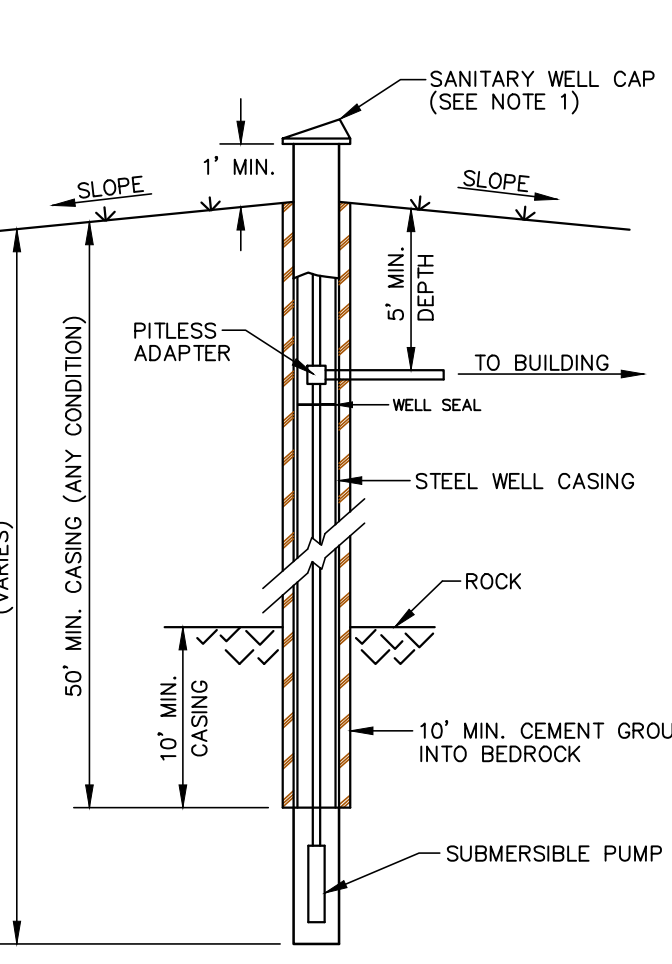
ADVISORY: ALTHOUGH INFORMATION HAS BEEN SUBMITTED AND/OR TEST WELLS HAVE BEEN DRILLED TO AID IN DEMONSTRATING THE ADEQUACY (QUALITY AND QUANTITY) OF THE WATER SUPPLY, THIS DOES NOT CONSTITUTE A GUARANTEE THAT AN ADEQUATE WATER SUPPLY IS AVAILABLE FOR EACH AND EVERY LOT.



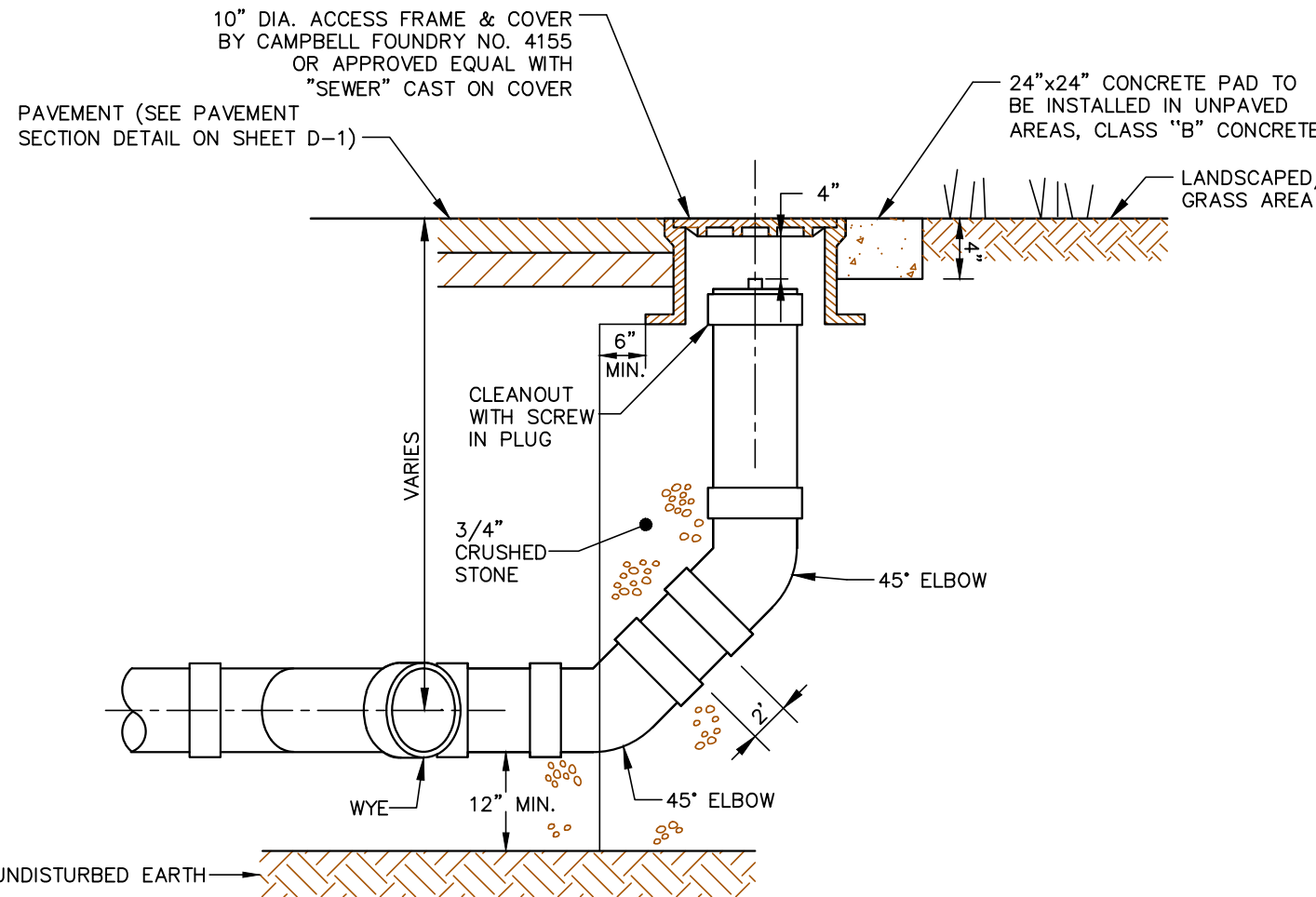
SECTION A - A
TYPICAL FILL PAD DETAIL FOR SEWAGE DISPOSAL FIELD
NOT TO SCALE



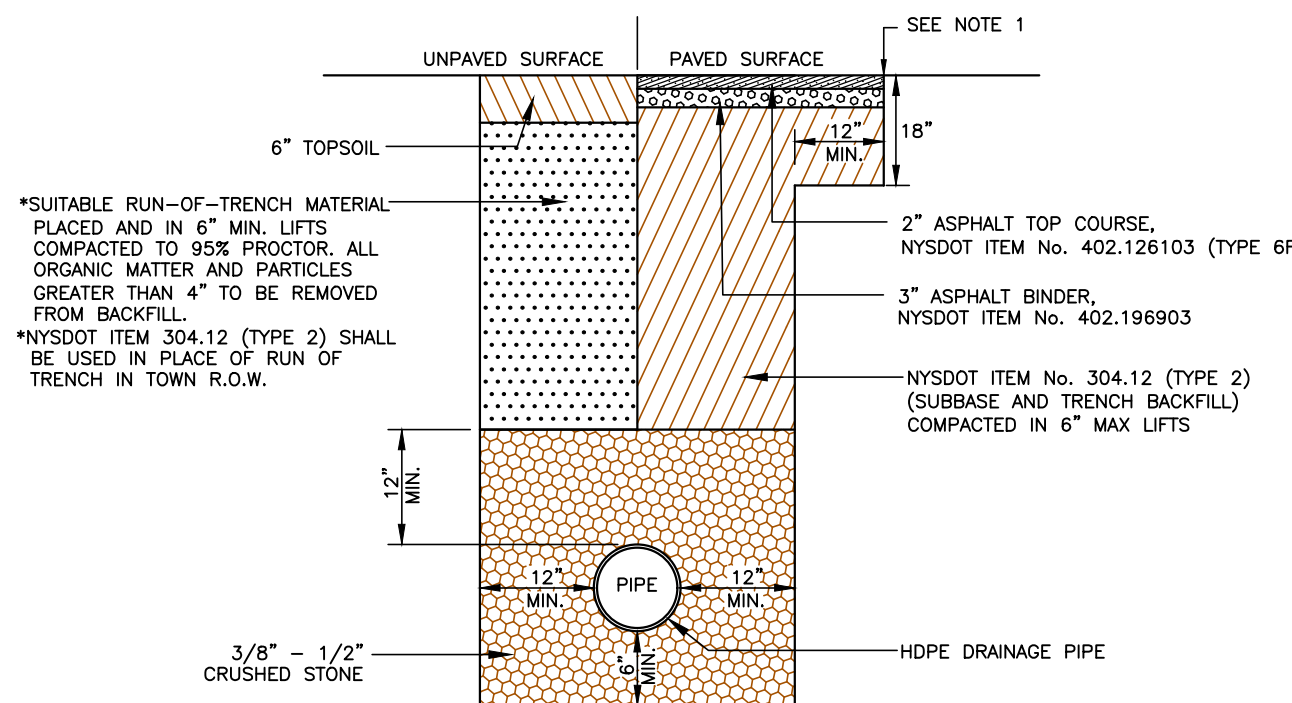
TYPICAL WELL & SDS LAYOUT
NOT TO SCALE



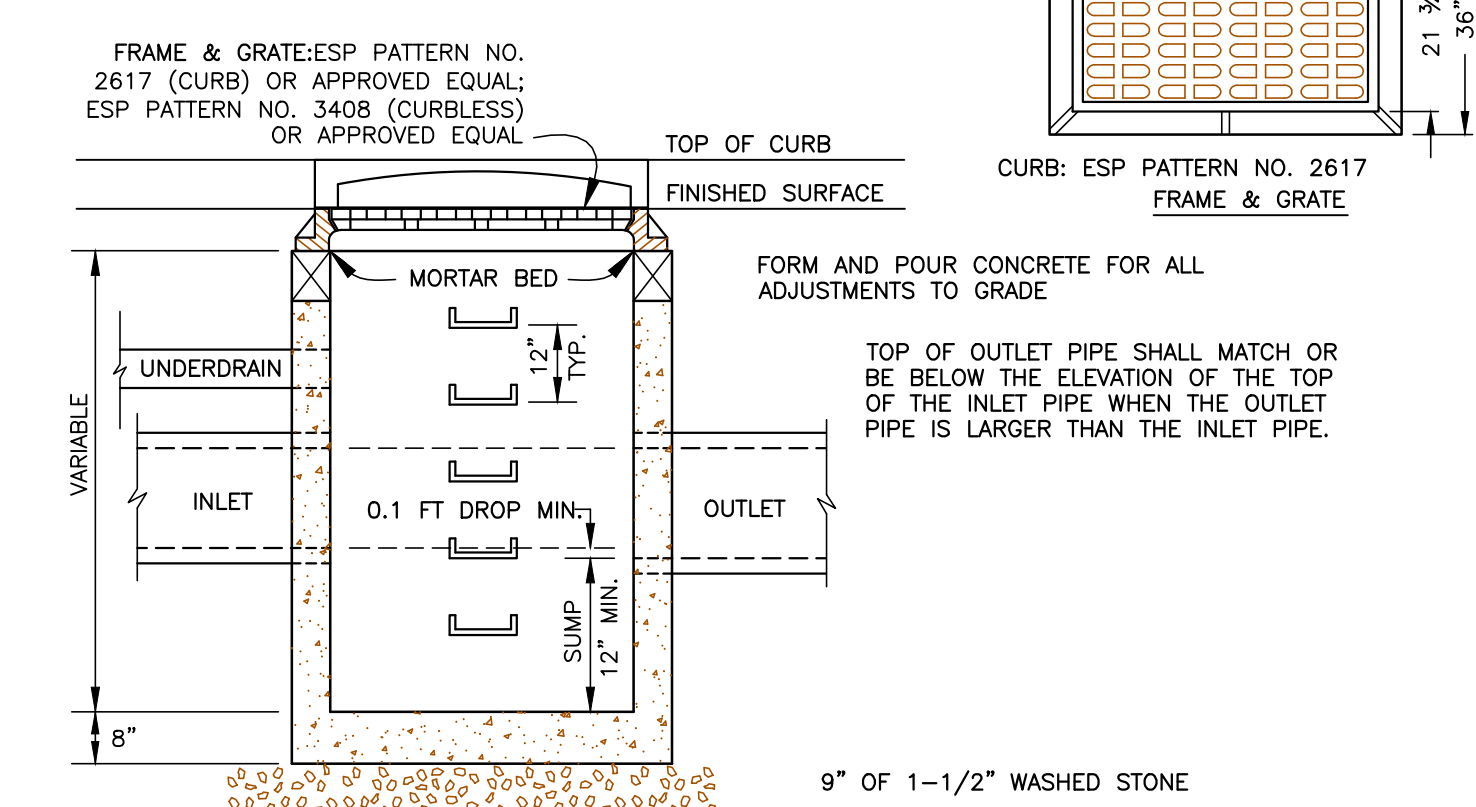
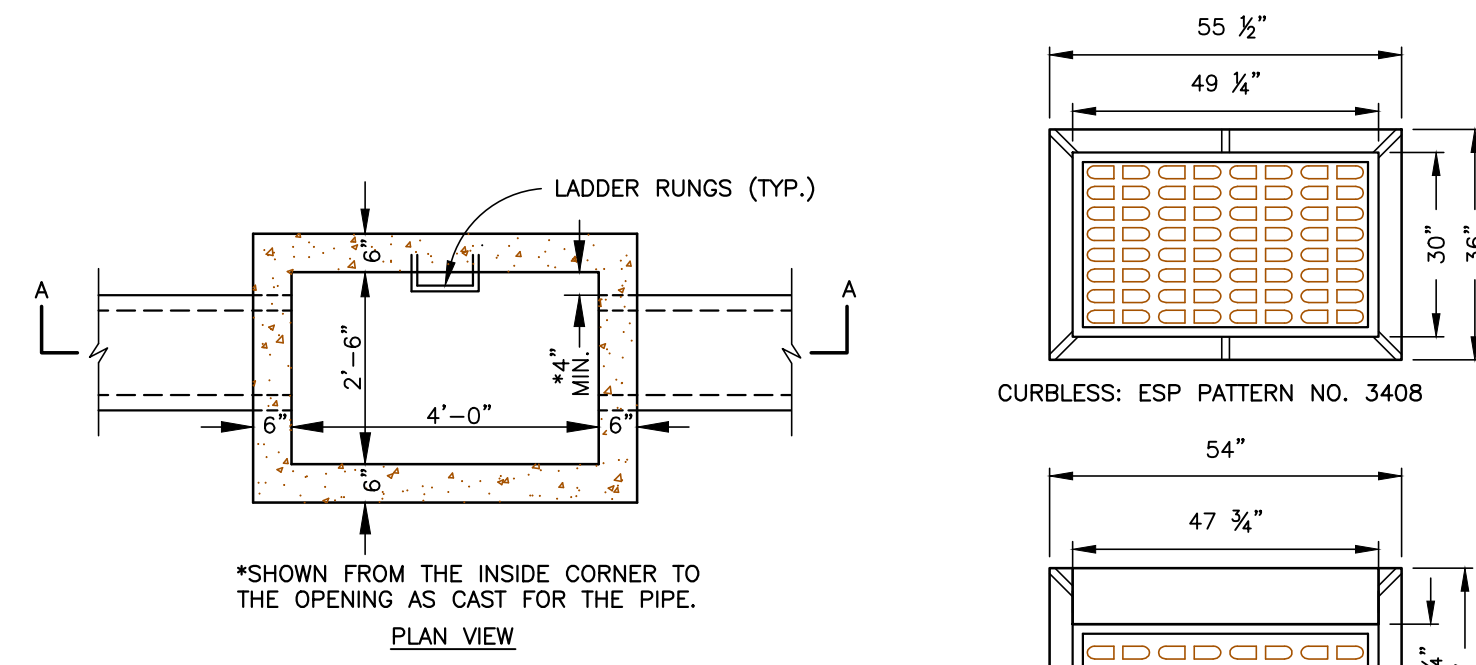
NOTES:
1. PROVIDE CAMPBELL WELL SEAL MODEL OR APPROVED EQUAL FOR ANY DRILLED WELL DETERMINED TO BE ADEQUATE FOR DISCHARGE CONTROL, BELOW PITLESS ADAPTER.
TYPICAL WELL DETAIL
NOT TO SCALE



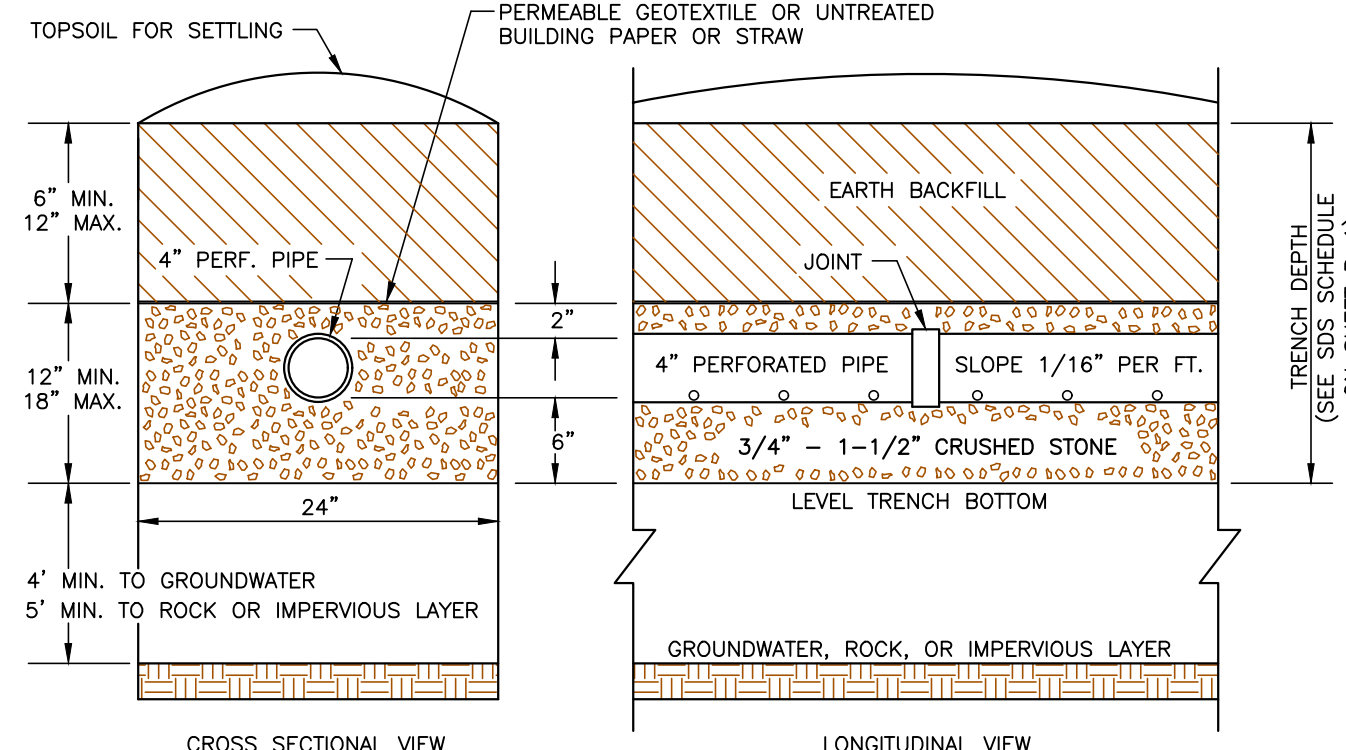
NOTES:
1. SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35.
2. TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.
CLEANOUT DETAIL
NOT TO SCALE



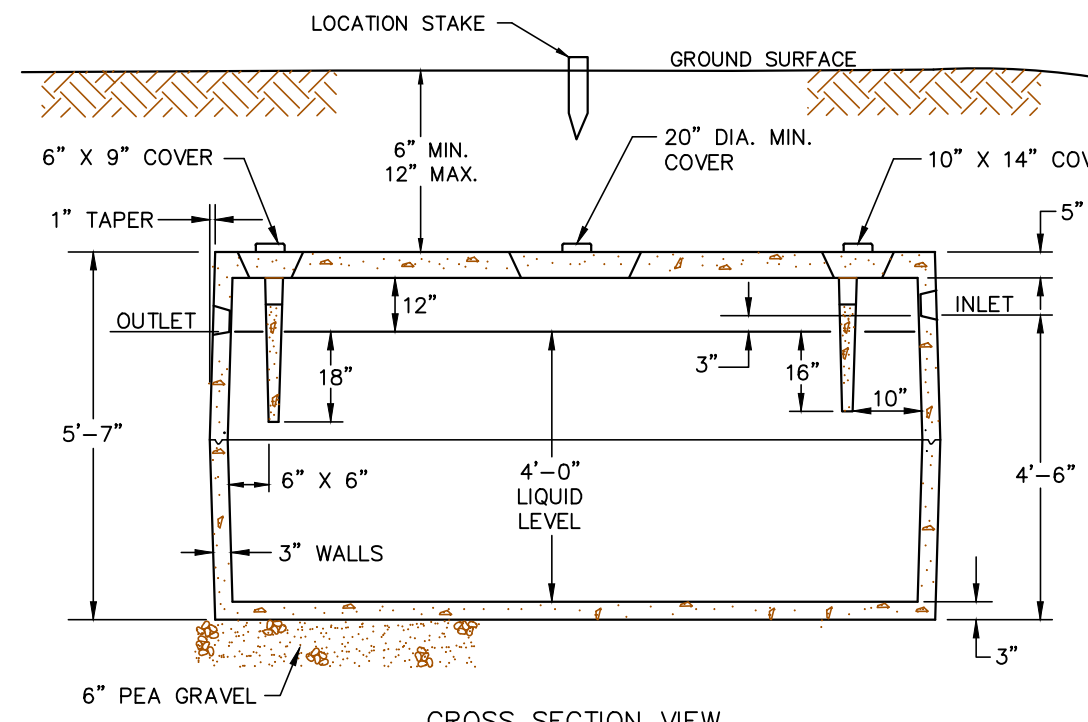
NOTES:
1. SAW CUT 12" MIN. FROM EDGE OF TRENCH IN ALL PAVED AREAS. EDGES OF SAW CUT SHALL BE SEALED WITH ASPHALT EMULSION PRIOR TO PAVING.
2. PAVEMENT SECTION IN AREAS OF NEW CONSTRUCTION SHALL CONFORM TO TYPICAL PAVEMENT SECTION.
3. WHEN PLACING FILL OR BACKFILL AROUND CULVERTS AND PIPES, LIFTS SHALL BE PLACED TO PROGRESSIVELY BURY THE PIPE OR CULVERT TO EQUAL DEPTHS ON BOTH SIDES.
4. BACKFILL MATERIAL UNDER PAVED AND UNPAVED SURFACES SHALL BE RUN-OF-TRENCH MATERIAL AND BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS PRIOR TO COMPACTION. IF EXCAVATED MATERIAL IS UNSUITABLE FOR BACKFILL, R.O.B. GRAVEL SHALL BE USED. NO STONE GREATER THAN 4" INCHES IN SIZE SHALL BE PLACED IN TRENCH.
5. TRENCH EXCAVATION SHALL CONFORM TO ANMA STANDARDS AS WELL AS OSHA REQUIREMENTS.
6. IF UNSUITABLE MATERIAL IS FOUND AT BOTTOM OF TRENCH, AN APPROVED MEANS OF SUPPORTING THE PIPE SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY THE TOWN ENGINEER.
7. RUN-OF-TRENCH BACKFILL SHALL BE FREE FROM COBBLES, FROZEN SOIL OR ANY ORGANIC MATERIAL.
8. CRUSHED STONE SHALL BE INSTALLED IN 6" (MAXIMUM) LIFTS AND MECHANICALLY COMPACTED.
STORM DRAINAGE PIPE TRENCH DETAIL
NOT TO SCALE



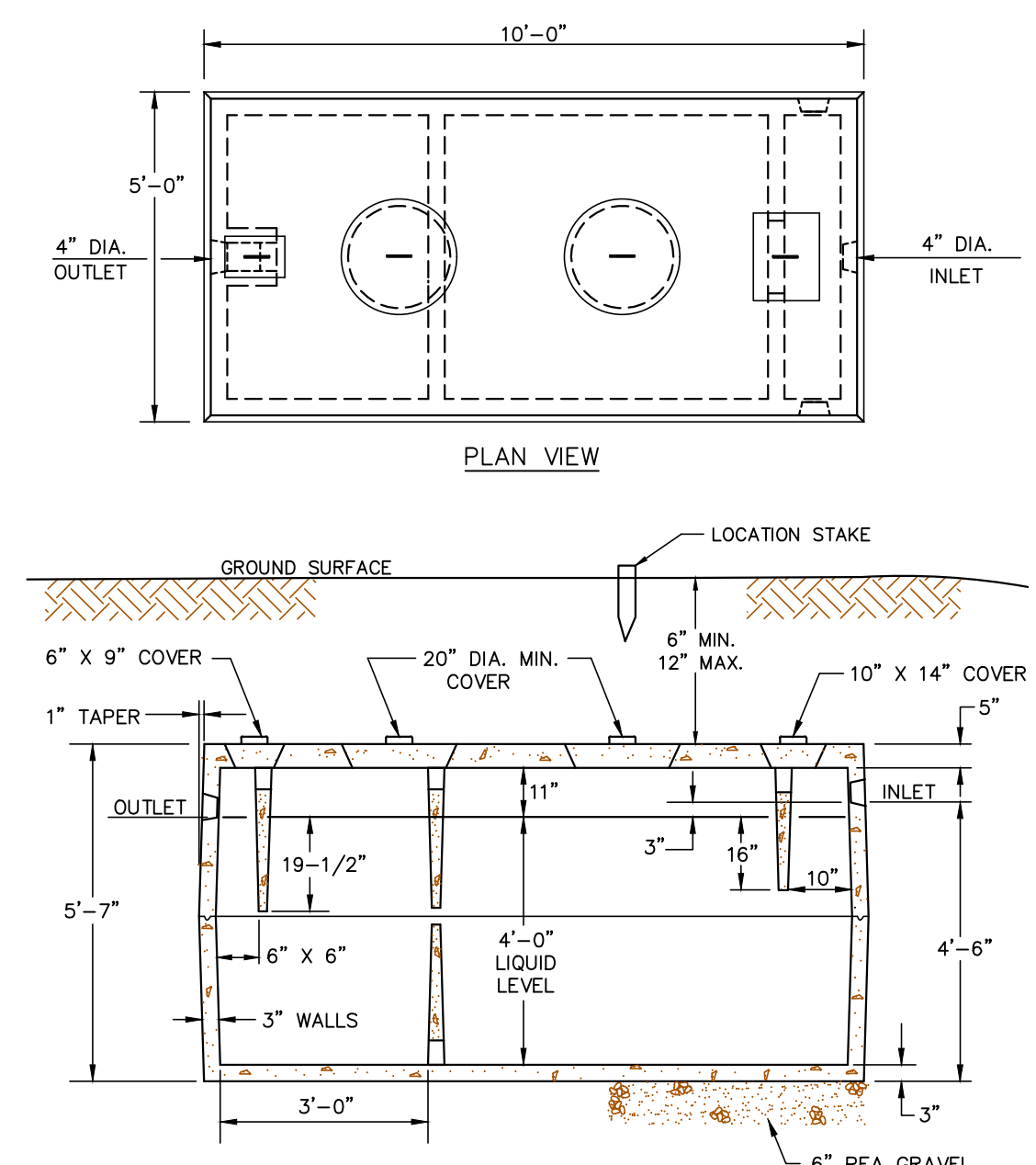
NOTES:
1. SEE GRADING AND UTILITY PLAN TO IDENTIFY CURB OR CURBLESS TYPE GRATES
2. PRECAST CATCH BASIN, FRAME, AND GRATE SHALL BE DESIGNED FOR H-20 LOADING.
3. PRECAST CONCRETE TOP WITH FRAME AND GRATE MAY NOT BE USED.
4. LADDER RUNGS SHALL BE STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS IN CONFORMANCE WITH ASTM C-478, 12" TO BOTTOM.
5. ALL PIPES SHALL BE LAID OR CUT FLUSH WITH THE INSIDE OF THE CATCH BASIN WALL AND SHALL BE FIRMLY PARGED IN PLACE, BOTH INSIDE AND OUTSIDE.
6. BACKFILL SHALL BE SELECT FILL COMPACTED IN 6" LIFTS.
7. PRECAST "KNOCKOUT" BASINS SHALL NOT BE USED.
8. IF A HOLE IS FIELD BROKEN INTO THE WALL, THE REMAINING WALL SHALL BE MINIMUM 4" FROM THE CORNER TO THE EDGE OF THE REMAINING CONCRETE. THE OPENING SHALL BE SEALED AND PARGED AFTER THE PIPE IS INSERTED. FURTHER THE 4" MINIMUM APPLIES TO A SKINNED PIPE ENTRANCE ALSO.
9. THERE SHALL BE NO SUMPS FOR OFF-ROAD CATCH BASINS.
STANDARD PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE



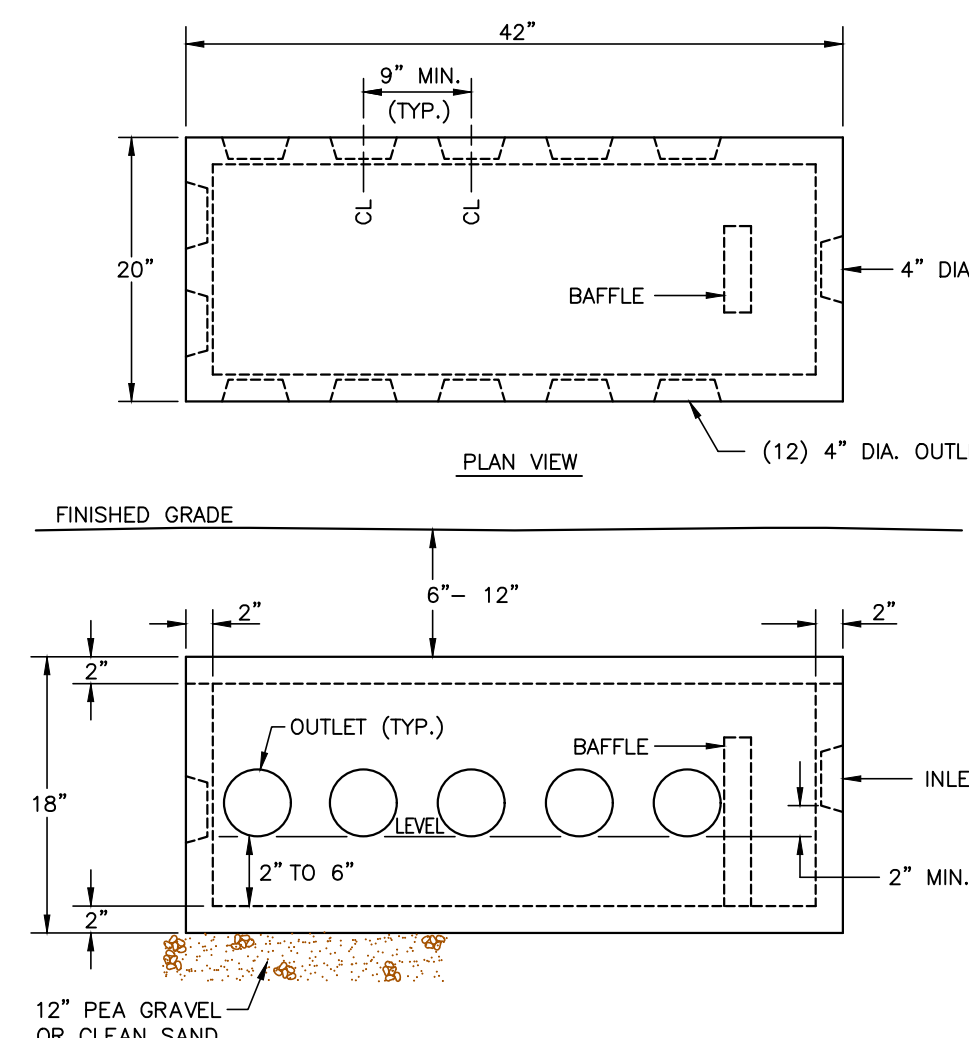
ABSORPTION TRENCH DETAIL
NOT TO SCALE



NOTES:
1. UNUSED INLETS SHALL BE PLUGGED WATER TIGHT.
2. WATERTIGHT EXTENSION COLLARS AND COVERS WILL BE REQUIRED OVER MANHOLE OPENINGS WHERE MORE THAN 12" OF COVER IS PROPOSED.
SPECIFICATIONS:
• CONCRETE MINIMUM STRENGTH - 4,000 P.S.I. @ 28 DAYS
• STEEL REINFORCEMENT - 6" X 6" X 10 GA. STEEL WIRE MESH
• CONSTRUCTION JOINT - SEALED WITH BUTYL RUBBER BASE CEMENT
• PIPE CONNECTIONS - POLY-LOC SEALS
1,000 GALLON
PRECAST CONCRETE SEPTIC TANK DETAIL
NOT TO SCALE

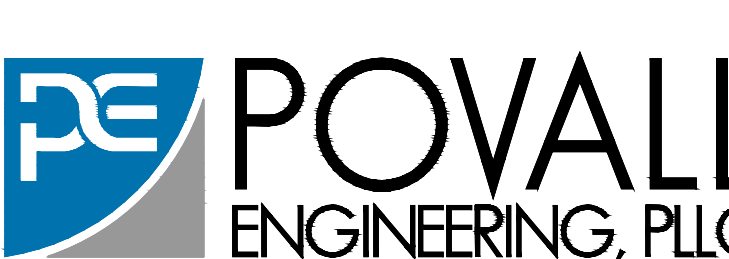


NOTES:
1. UNUSED INLETS SHALL BE PLUGGED WATER TIGHT.
2. WATERTIGHT EXTENSION COLLARS AND COVERS WILL BE REQUIRED OVER MANHOLE OPENINGS WHERE MORE THAN 12" OF COVER IS PROPOSED.
SPECIFICATIONS:
• CONCRETE MINIMUM STRENGTH - 4,000 P.S.I. @ 28 DAYS
• STEEL REINFORCEMENT - 6" X 6" X 10 GA. STEEL WIRE MESH
• CONSTRUCTION JOINT - SEALED WITH BUTYL RUBBER BASE CEMENT
• PIPE CONNECTIONS - POLY-LOC SEALS
1,250 GALLON
PRECAST CONCRETE SEPTIC TANK DETAIL
NOT TO SCALE



NOTES:
1. SPEED LEVELERS SHALL BE USED TO SET THE INVERTS OF ALL OUTLETS AT THE SAME ELEVATION.
2. ALL OUTLETS SHALL BE VARRIED TO BE LEVEL PRIOR TO USE.
3. ALL OUTLETS NOT USED SHALL REMAIN PLUGGED.
4. 4" MIN. OF SOLID PIPE SHALL BE PROVIDED BETWEEN DISTRIBUTION BOX AND ALL LATERALS.
SPECIFICATIONS:
• CONCRETE MINIMUM STRENGTH - 4,000 P.S.I. @ 28 DAYS
• STEEL REINFORCEMENT - 6" X 6" X 10 GA. STEEL WIRE MESH
• CONSTRUCTION JOINT - SEALED WITH BUTYL RUBBER BASE CEMENT
• PIPE CONNECTIONS - POLY-LOC SEAL
12 OUTLETS
PRECAST CONCRETE DISTRIBUTION BOX DETAIL
NOT TO SCALE

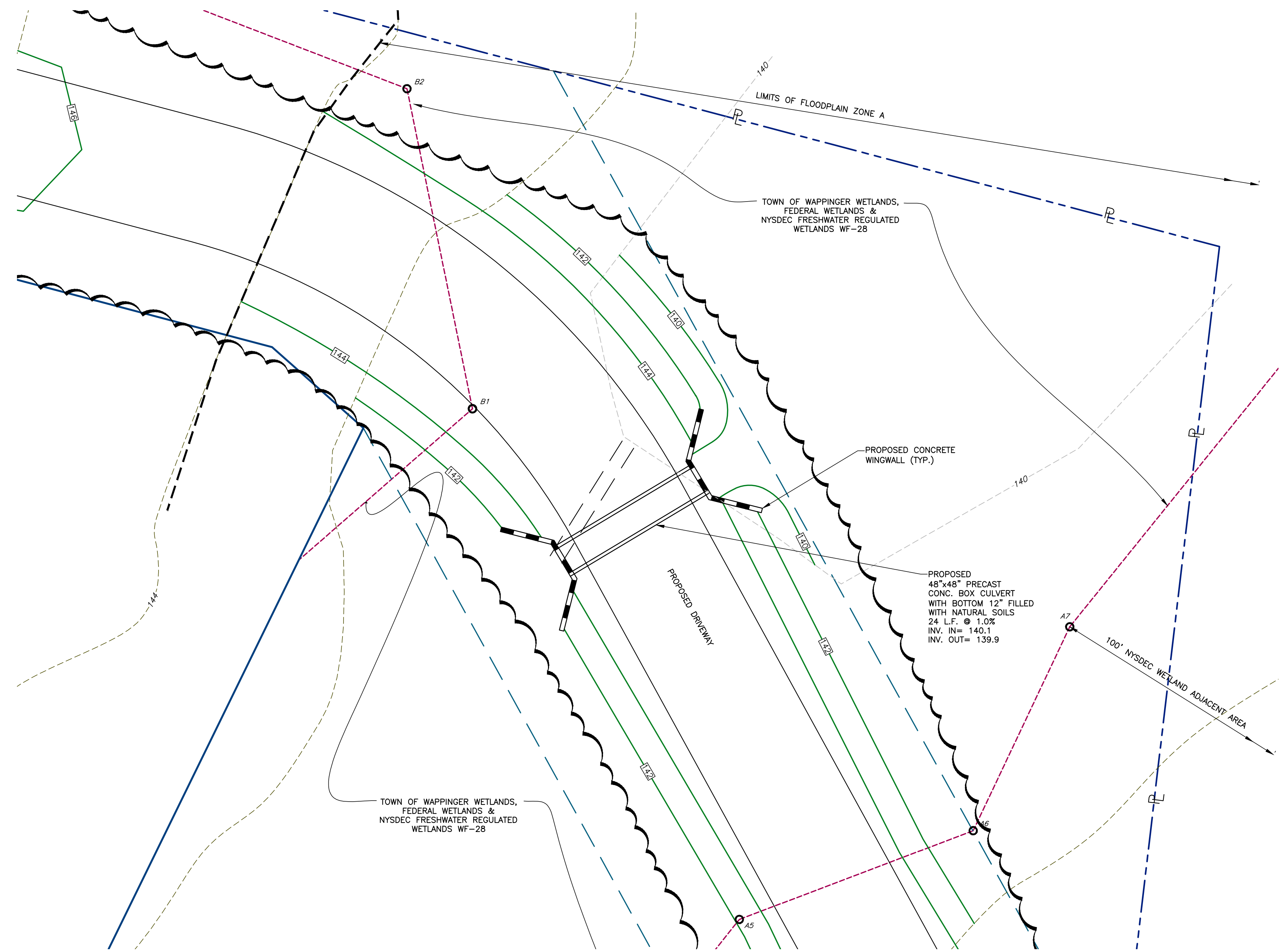
REVISIONS	
DATE:	DESCRIPTION:



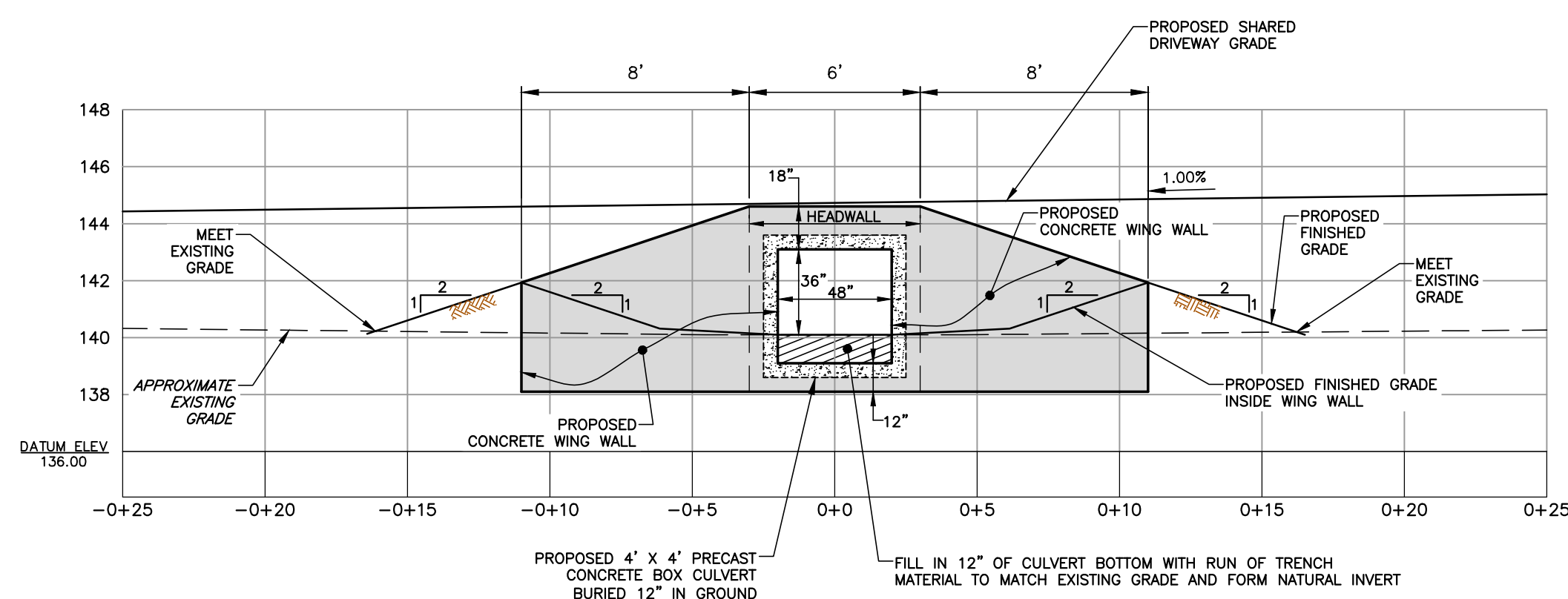
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DETAILS FOR
KETCHAMTOWN
LAND DEVELOPMENT, LLC
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

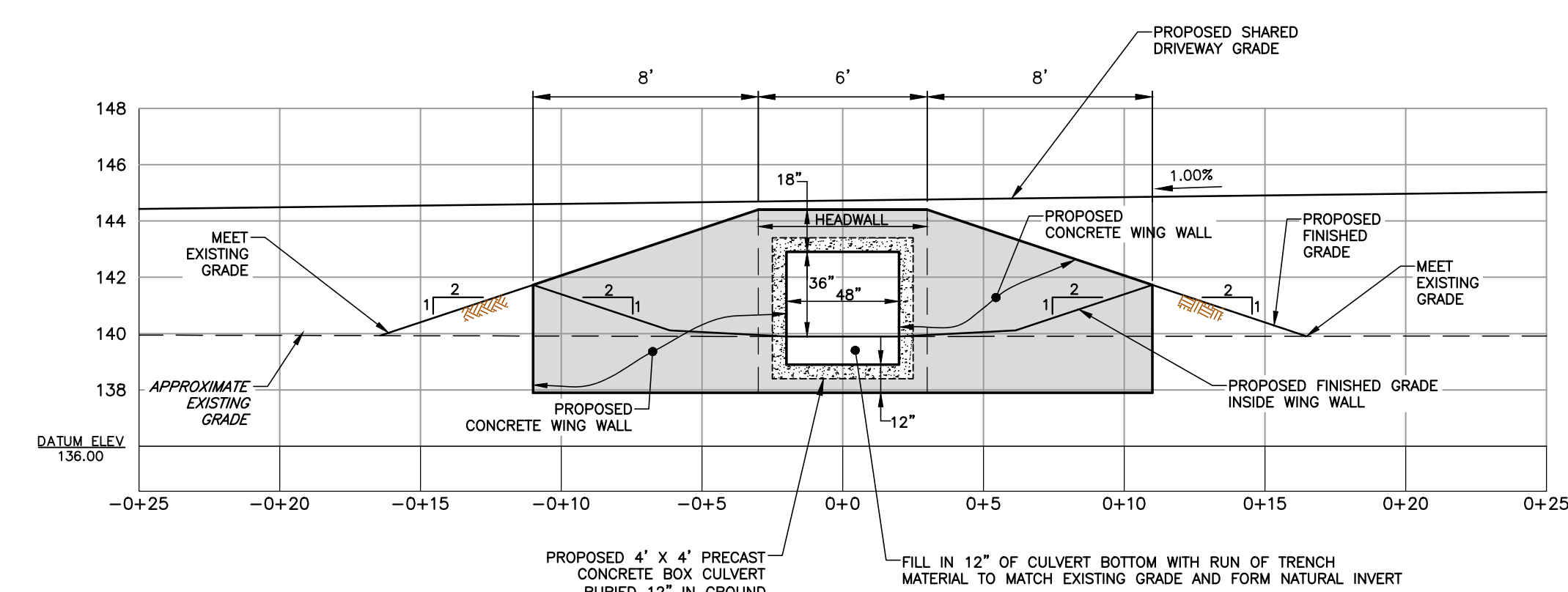
JOB #: 2212
DATE: 09-12-22
SCALE: N.T.S.
D-2
SHEET 6 OF 7



CULVERT CROSSING DETAIL
SCALE: 1"=10'



SOUTH FACE/INLET SIDE DETAIL
SCALE: HORZ. 1"=5'
VERT. 1"=5'



NORTH FACE/OUTLET SIDE DETAIL
SCALE: HORZ. 1"=5'
VERT. 1"=5'

REVISIONS	
DATE:	DESCRIPTION:

POVALL
ENGINEERING, PLLC

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**CULVERT DETAILS FOR
KETCHAMTOWN
LAND DEVELOPMENT, LLC**

TOWN OF WAPPINGER DUTCHESS COUNTY, NEW YORK

JOB #: 2212
DATE: 01-26-23
SCALE: AS SHOWN
D-3
SHEET 7 OF 7