

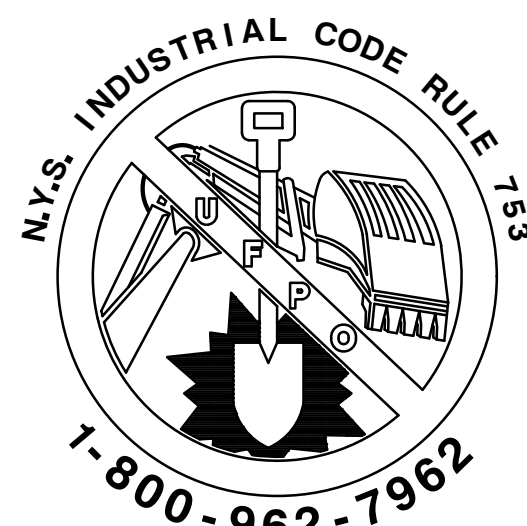
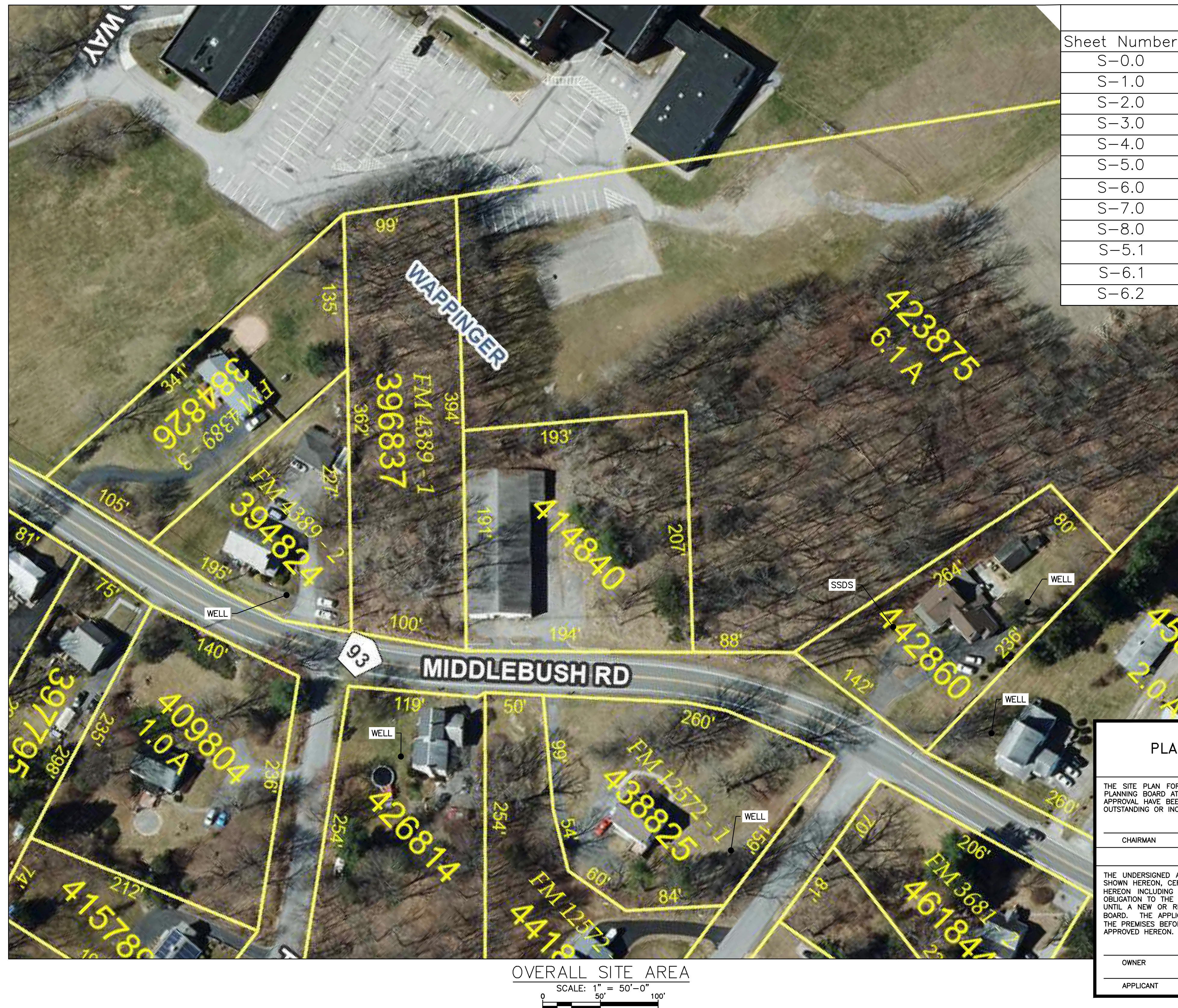
TW ENGINEERING, P.C.
P.O. BOX 913
WAPPINGER FALLS, NY 12590
845-594-1529

TROY A. WOJCIEKOWSKY, P.E., LEED - AP
CONSULTING ENGINEER

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ALTER THIS DOCUMENT IN ANY WAY. THIS
DOCUMENT IS ALTERED, THE ALTERING
ENGINEER SHALL AFFIX TO THE ITEM HIS
SEAL AND THE NOTATION "ALTERED BY"
FOLLOWED BY HIS SIGNATURE, THE DATE OF
SUCH ALTERATION, AND A SPECIFIC
DESCRIPTION OF THE ALTERATION.

CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

LIST OF DRAWINGS	
Sheet Number	Sheet Title
S-0.0	COVER SHEET
S-1.0	SITE PLAN
S-2.0	EXISTING CONDITIONS & REMOVALS PLAN
S-3.0	LANDSCAPING & SIGNAGE PLAN
S-4.0	GRADING & DRAINAGE PLAN
S-5.0	SITE SSDS PLAN (DOH APPROVAL)
S-6.0	EROSION CONTROL PLAN
S-7.0	SITE LIGHTING PLAN
S-8.0	VEHICLE MANEUVERING PLAN
S-5.1	SSDS DETAILS (DOH APPROVAL)
S-6.1	EROSION CONTROL DETAILS
S-6.2	EROSION CONTROL DETAILS 2



**CALL BEFORE YOU DIG, DRILL OR BLAST
NO LESS THAN TWO WORKING DAYS NOTICE
IT'S THE LAW!**

TOWN OF WAPPINGER
PLANNING BOARD SITE PLAN APPROVAL
WAPPINGERS FALLS, NEW YORK

THE SITE PLAN FOR THE PROPERTY AS DEPICTED HEREON WAS APPROVED BY THE TOWN OF WAPPINGER PLANNING BOARD AT A MEETING HELD ON _____, AND THE CONDITIONS OF THE SITE PLAN APPROVAL HAVE BEEN SATISFIED OR ARRANGEMENTS HAVE BEEN MADE TO ENSURE THE COMPLETION OF ANY OUTSTANDING OR INCOMPLETE CONDITIONS.

CHAIRMAN _____ DATE _____

OWNER / APPLICANT SIGNATURES

THE UNDERSIGNED APPLICANT(S) FOR THE PROPERTY AND THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON, CERTIFY THAT THEY ARE FAMILIAR WITH THIS MAP, ITS NOTES AND ITS CONTENTS AS STATED HEREON, INCLUDING ALL CONDITIONS OF APPROVAL OF THE APPLICANT(S) AND OWNER(S) UNDERTAKING OBLIGATION TO THE TOWN TO KEEP THIS PREMISES AS PER PLAN APPROVAL BY THE TOWN PLANNING BOARD UNTIL A NEW OR REVISED PLAN FOR DEVELOPMENT OR USE OF THE SITE IS APPROVED BY THE PLANNING BOARD. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE TOWN FOR THE OCCUPANCY AS APPROVED HEREON.

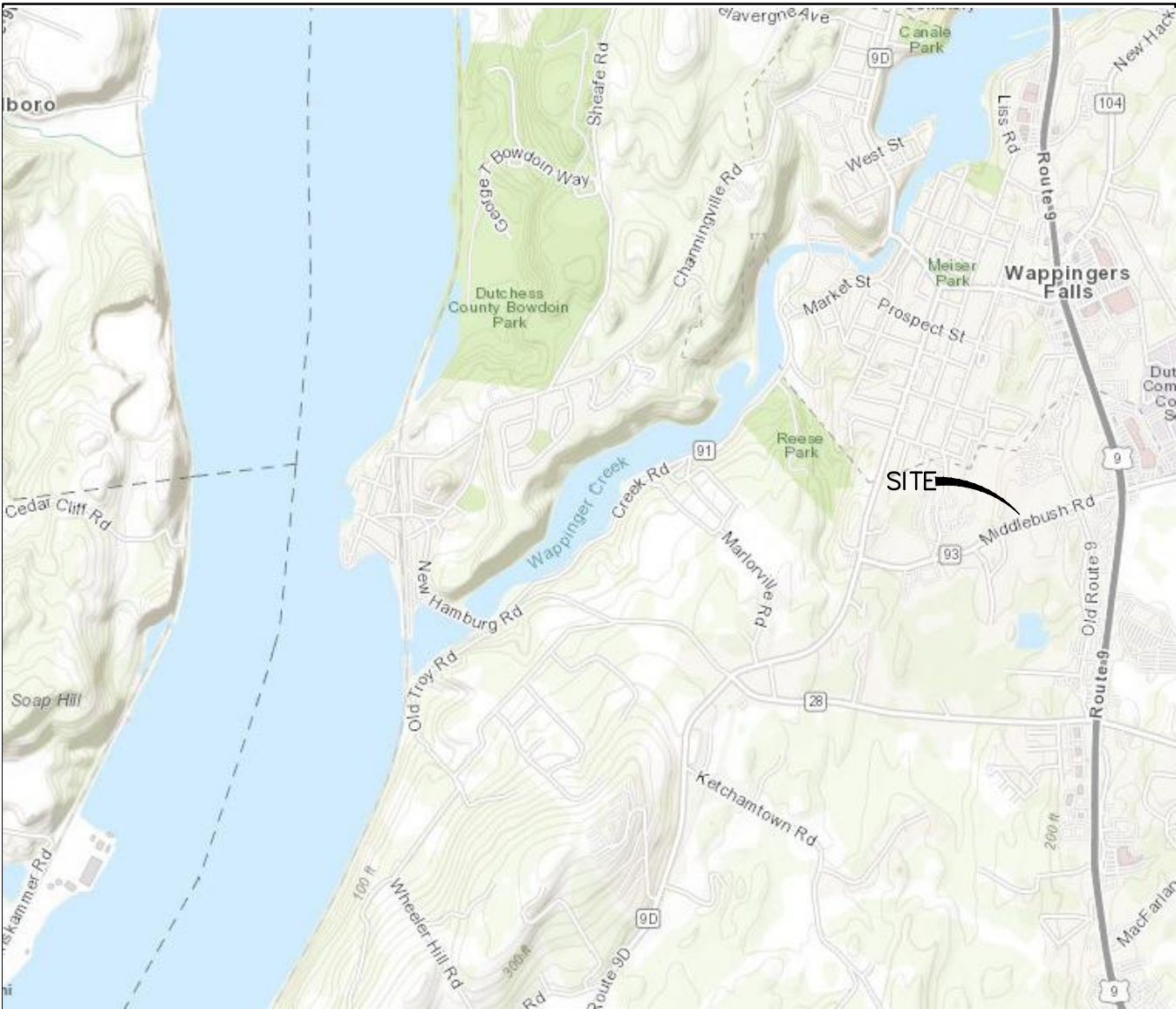
OWNER _____ DATE _____

APPLICANT

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COVER SHEET	PROJECT NO.
	2022-20
	SCALE:
	N.T.S.
	DRAWING NO. S-0.0

LOCATION MAP:



AREA MAP:



SITE NOTES:

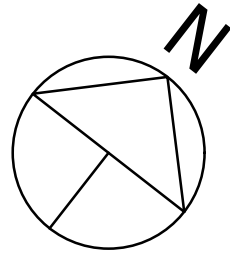
- EXISTING CONDITIONS TAKEN FROM SURVEY AS PREPARED BY ROBERT OICLE, LLS. DATED NOVEMBER 7, 2017.
- T/O WAPPINGER ZONING BOARD OF APPEALS GRANTED A USE VARIANCE FOR THE PROPERTY AND BUILDING WITH THE FOLLOWING CONDITIONS:
 - NO COMMERCIAL BUILDING MAY BE CONSTRUCTED ON THE VACANT LOT 6157-01-396837. SUCH LOT MAY BE USED TO CONSTRUCT A SEPTIC SYSTEM, TO PROVIDE STORM WATER FACILITIES DESIGNED IN ACCORDANCE WITH NYS DEC GUIDELINES. IF NECESSARY OR TO PROVIDE LANDSCAPING AND BUFFERING.
 - ANY CONSTRUCTION ACTIVITIES ON THE PREMISES ARE SUBJECT TO SITE PLAN APPROVAL BY THE T/O WAPPINGER PLANNING BOARD IN ACCORDANCE WITH ARTICLE IX OF THE ZONING CODE. THE PLANNING BOARD MAY WAIVE A PUBLIC HEARING ON THE SITE PLAN REVIEW IF IT CHOOSES TO DO SO.
 - THE WAREHOUSE SHALL NOT BE PHYSICALLY DIVIDED INTO MORE THAN THREE (3) TENANT SPACES.
 - THERE SHALL BE NO OUTDOOR STORAGE OF ANY EQUIPMENT OR MATERIALS.
 - THERE SHALL BE NO OVERNIGHT PARKING OF COMMERCIAL MOTOR VEHICLES ON THE PREMISES.
- PRIOR TO A CERTIFICATE OF OCCUPANCY ALL DISTURBED AREAS SHALL BE FINAL GRADED, SEEDDED/STABILIZED AND MULCHED TO THE SATISFACTION OF THE ZONING ADMINISTRATOR AND TOWN OF WAPPINGER BUILDING DEPARTMENT PROTECTIVE EROSION CONTROL MEASURES MUST BE IN PLACE AT THE ONSET OF CONSTRUCTION.
- ALL TREES SHALL BE REMOVED BETWEEN NOVEMBER 1 AND MARCH 31 UNLESS SITE IS CLEARED TO NOT POSE HABITAT FOR ENDANGERED BATS.

PARKING:

FOR WHOLESALE, STORAGE & UTILITY & SIMILAR COMMERCIAL	1 SP./1,000 S.F.	= 7 SPACES
FOR ACCESSORY OFFICE USE: PROVIDED USE:	1 SP./1,000 S.F.	= 0 SPACES
TOTAL REQUIRED.		= 7 SPACES
TOTAL		= 20 SPACES

BULK TABLE REQUIREMENTS

USE: LIQUID PROPANE STORAGE	REQUIRED	PROVIDED
MINIMUM LOT AREA	20,000/40,000 SF	76,386 SF (1.77 AC)
MINIMUM LOT WIDTH	125 FT	295 FT
MINIMUM LOT DEPTH	125 FT	362 FT
MINIMUM FRONT YARD	75 FT (COUNTY ROAD)	29 FT (EXISTING)
MINIMUM REAR YARD	50 FT	39 FT (EXISTING)
MINIMUM SIDE YARD	25 FT	103 FT / 123 FT
MAXIMUM BUILDING HEIGHT	35 FT/2.5 STYS.	25 FT
MAXIMUM BUILDING COVERAGE	12% (9.166 SF)	9% (6890 SF)
F.A.R.	0.12 (9.166 SF)	1ST FLOOR: 6,700 SF 2ND FLOOR: 2,400 SF TOTAL, 9,100 SF (0.119)
EXISTING PAVED AREA:		4,750 SF (6.22%)
PROPOSED ADDITIONAL PAVED AREA: (INCLUDES ELIMINATION OF PAVEMENT IN FRONT OF BUILDING AND PROPOSED GRAVEL PARKING)		3,924 SF (5.41%)
TOTAL PAVED AREA:		8,734 SF (11.4%)
TOTAL BUILDING & PAVED AREAS:		15,624 SF (20.5%)
OPEN SPACE:		60,762 SF (79.5%)



SITE DATA:

PROJECT LOCATION:	33 MIDDLEBUSH ROAD TOWN OF WAPPINGER DUTCHESS COUNTY, NY
TAX MAP NUMBERS:	LOT #1, 6157-01-414840 LOT#2 6157-01-396837
LOT AREA:	LOT #1: 38,640 S.F. LOT #2: 37,746 S.F. TOTAL: 76,386 S.F. (1.75 ACRES)
ZONING:	R-20/40 EXISTING
BUILDING SIZE:	6,700 S. F.
PROPOSED USE:	CONTRACTOR STORAGE FACILITY WITH ACCESSORY OFFICES SPECIFIC TO THOSE USES

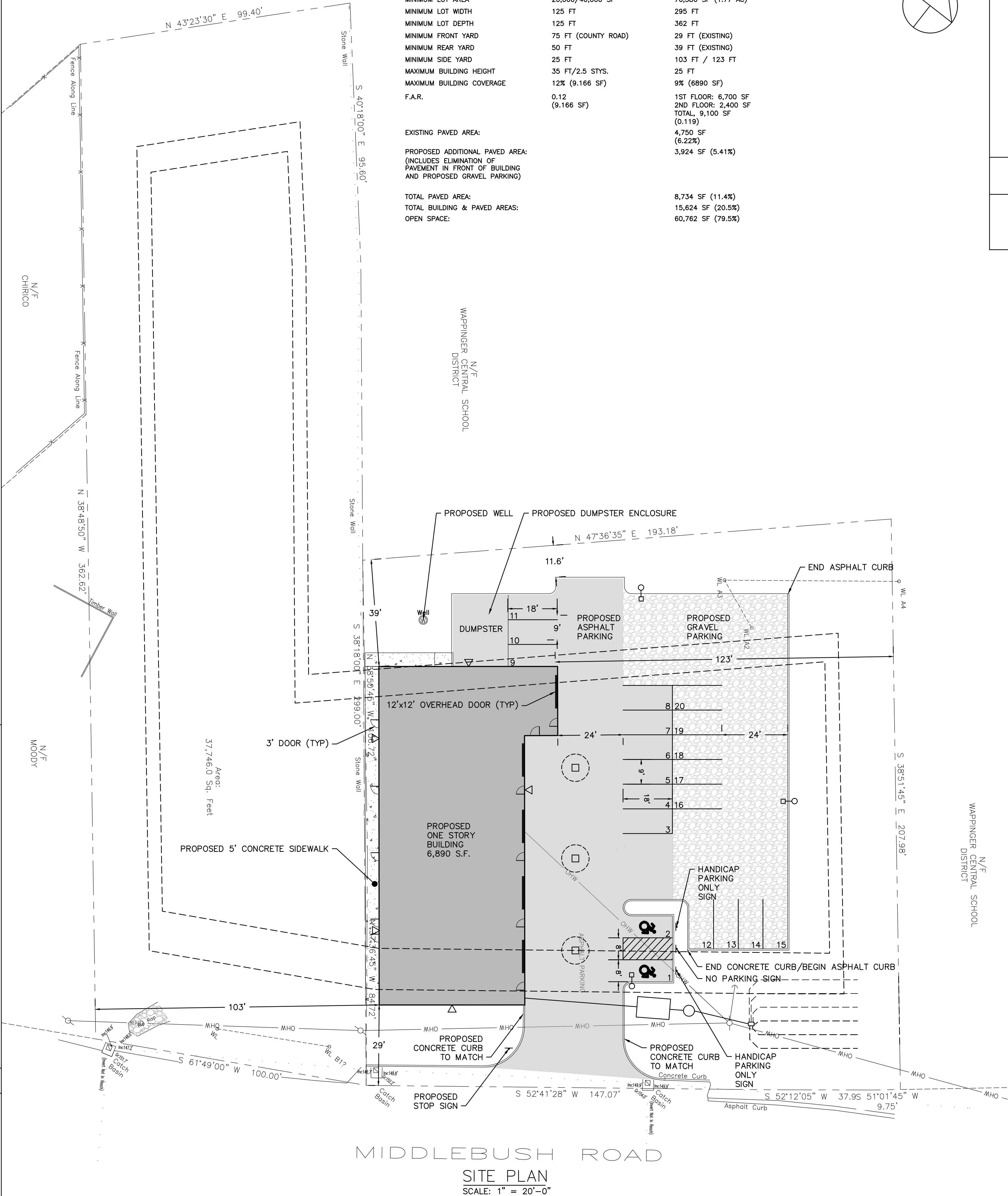
OWNER / APPLICANT

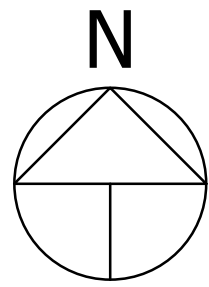
33 MIDDLEBUSH, LLC
JOHN FALVELLA 47
UNION SCHOOL ROAD
MONTGOMERY, NY

CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION
1.	2.07.22	PER CONSULTANT COMMENTS

SITE PLAN	DATE: 2/7/2023
	PROJECT NO. 2022-20
	SCALE: 1" = 20'
	DRAWING NO. S-1.0





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33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION
1.	2.07.22	PER CONSULTANT COMMENTS

EXISTING CONDITIONS &
REMOVALS PLAN

DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-2.0



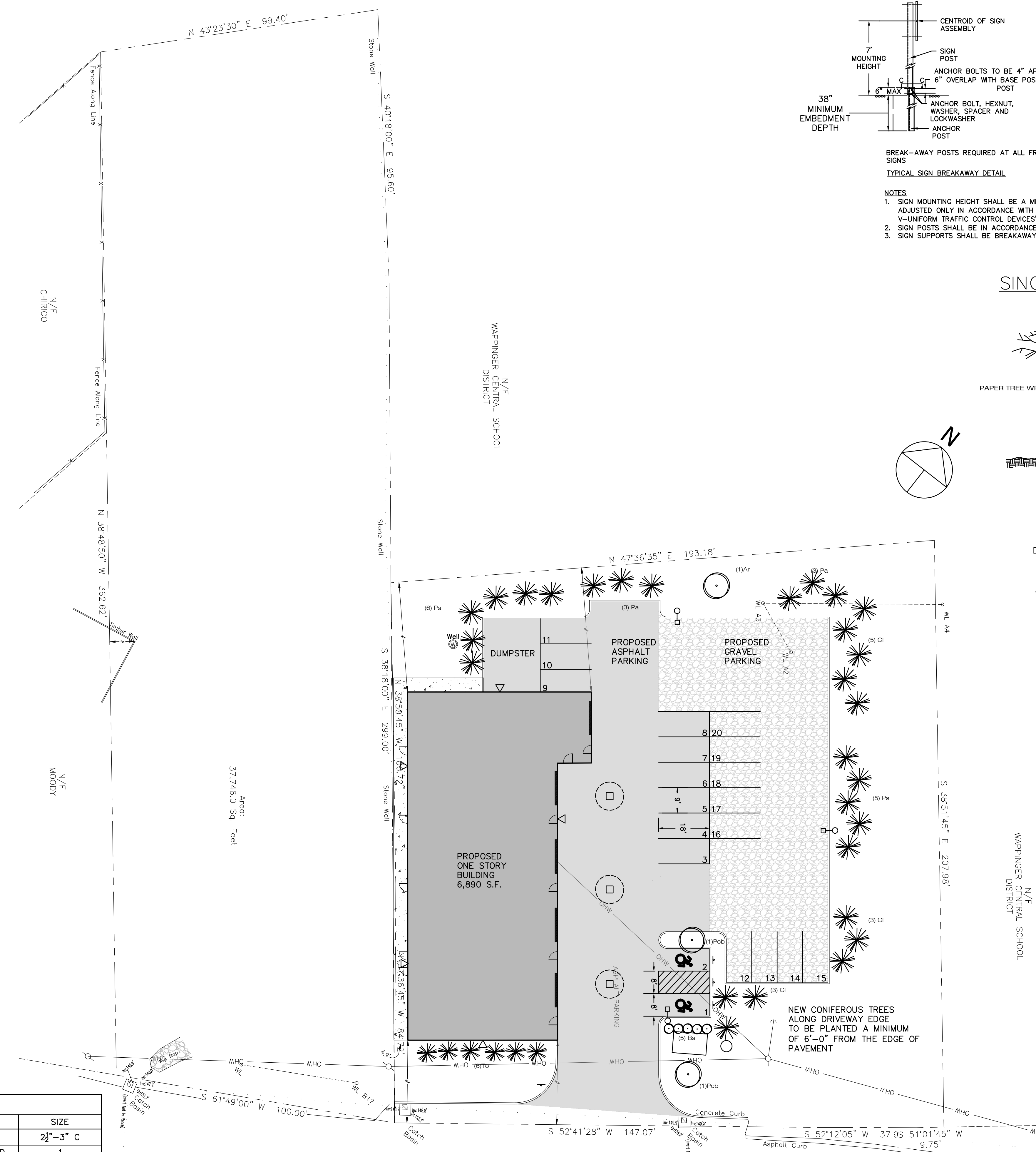
EXISTING CONDITIONS/REMOVALS PLAN
SCALE: 1" = 20'-0"



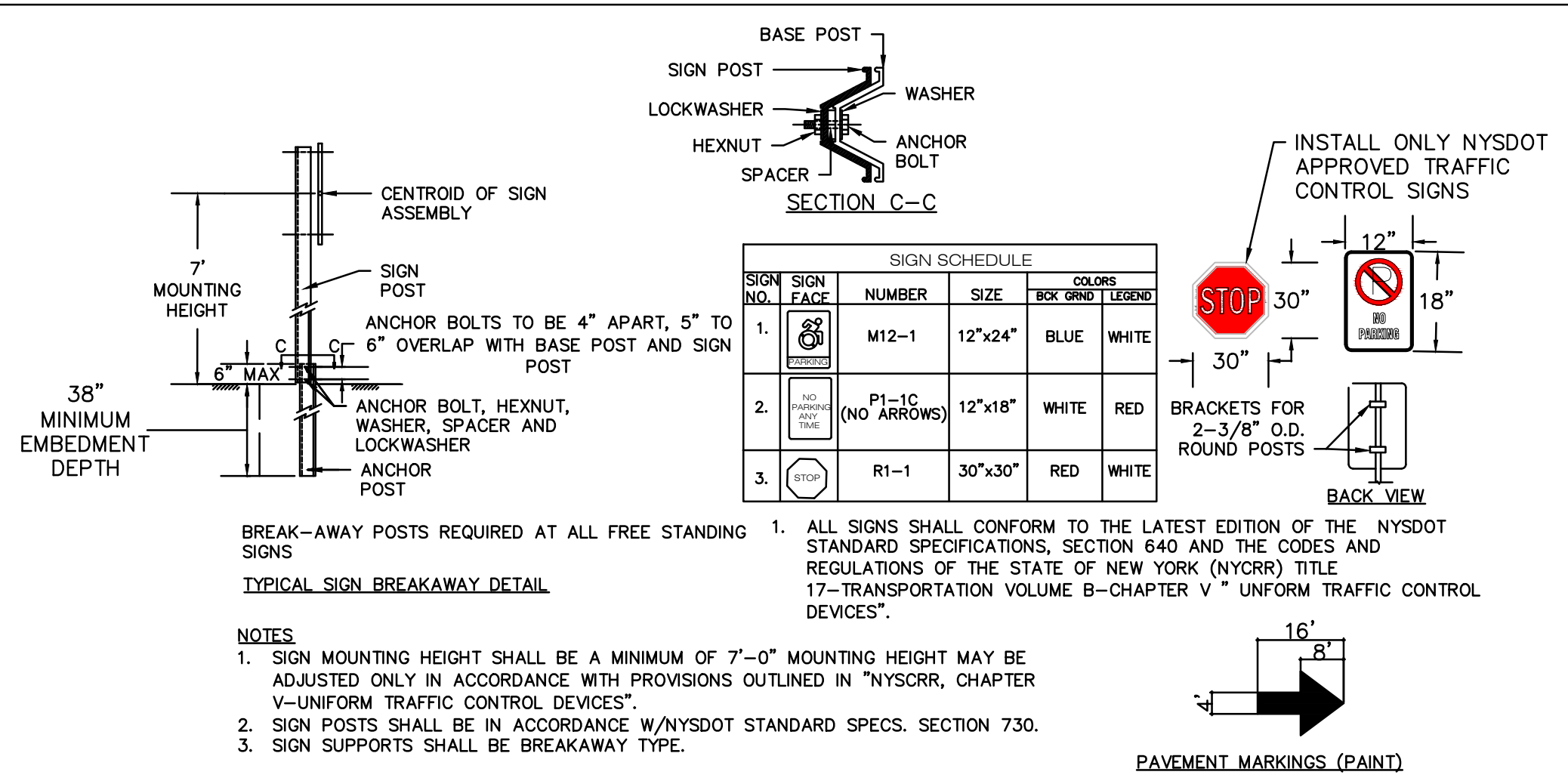
LANDSCAPING NOTES

1. THE WORK OF FURNISHING AND PLANTING TREES, SHRUBS AND VINES AS SHOWN ON THE PLANS AND AS APPROVED BY THE PLANNING BOARD WILL BE ACCOMPLISHED IN ACCORDANCE WITH ACCEPTED, ESTABLISHED HORTICULTURAL PRACTICES. ANY CHANGE IN PLAN TYPE, ETC., OR LOCATION REQUIRES THE WRITTEN APPROVAL OF THE PLANNING BOARD.
2. PLANTS: COMMON AND SCIENTIFIC NAMES OF PLANTS SHALL BE IN CONFORMITY WITH SPN (STANDARDIZED PLANT NAMES). PLANTS INCLUDING ROOT SPREAD AND BALL SIZE SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
3. PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH AND BE TYPICALLY CHARACTERISTIC OF THEIR RESPECTIVE KINDS.
4. PLANTS SHALL BE FREE FROM INJURY, INSECT DAMAGE, AND DISEASE.
5. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN LONG ENOUGH FOR NEW FIBROUS ROOTS TO HAVE DEVELOPED. SHRUBS AND VINES SHALL HAVE GOOD FIBROUS ROOT SYSTEMS.
6. NO PLANTING WILL BE DONE WHEN THERE ARE UNSATISFACTORY CONDITIONS AS DETERMINED BY THE ARCHITECT.
7. ROCK OR OTHER UNDERGROUND OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH AS DIRECTED BY THE ARCHITECT.
8. ALL PLANTS SHALL BE PROTECTED FROM DRYING OUT.
9. LOCATIONS OF PLANTINGS SHALL BE MARKED OUT ON THE GROUND BY THE CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT.
10. ALL PLANTS WILL BE SET IN ACCORDANCE WITH GOOD ESTABLISHED HORTICULTURAL PRACTICE.
11. ALL PLANTS SHALL BE SET PLUMB AT SUCH A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATIONSHIP TO THE LEVEL OF THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
12. BACKFILL SHALL BE THOROUGHLY SETTLED BY TAMPING. BACKFILL IS TO BE PLACED INTO PLANT PITS IN LAYERS NOT TO EXCEED 4" AND TAMPED.
13. THOROUGH WATERING SHOULD ACCOMPANY BACKFILL UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. A SAUCER CAPABLE OF HOLDING WATER TO A DEPTH AS SHOWN ON THE PLANS SHALL BE FORMED ABOUT EACH PLANT PIT. ALL PLANTS SHALL BE WATERED TO PROVIDE NOT LESS THAN FIVE GALLONS OF WATER PER SQUARE YARD OF PLANT PIT OR BED AREAS.
14. ALL CLOTH ROPES, ETC., SHALL BE REMOVED FROM THE TOPS OF BALLS, BUT NOT PULLED OUT FROM UNDER THE BALLS.
15. ALL TRUNKS OF DECIDUOUS TREES SHALL BE WRAPPED WITH A MATERIAL AS APPROVED BY THE ARCHITECT IMMEDIATELY AFTER PLANTING.
16. ALL TREES SHALL BE FIRMLY GUYS, STAKED, OR ANCHORED UNLESS OTHERWISE APPROVED.
17. PRUNING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED GOOD HORTICULTURAL PRACTICE AS DIRECTED BY THE ARCHITECT.
18. MULCHING SHALL COVER THE PLANT PIT OR PLANTING BED TO A DEPTH AS SPECIFIED ON THE PLANS.
19. THE AREA DISTURBED BY THE PLANTING OPERATION SHALL BE RESTORED TO AN ORDERLY CONDITION AS APPROVED BY THE ARCHITECT.
20. ANTI-DESICCANTS SHALL BE APPLIED TO ALL PLANTINGS ACCORDING TO THE MANUFACTURER'S DIRECTIONS. THIS MATERIAL SHALL BE APPLIED TO EVERGREENS WITHIN TWO WEEKS OF PLANTING AND TO DECIDUOUS PLANTINGS PLACED IN THE FALL WHEN AIR TEMPERATURE IS ABOVE 40 DEGREES F OR IN THE SPRING WHEN LEAVES HAVE REACHED 75% OF MATURE SIZE.
21. ALL DEAD, UNHEALTHY OR BADLY IMPAIRED PLANTS, AS DETERMINED BY THE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE PROJECT.
22. IN THE EVENT OF THE THREAT OF SERIOUS DAMAGE FROM INSECTS, DISEASE, OR RODENTS, THE PLANTS WILL BE TREATED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AS APPROVED BY THE ARCHITECT.
23. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
24. ALL PLANTED AREAS WHERE TREES AND/OR SHRUBS ARE INDICATED, TO HAVE BEDS OF WHITEWASHED STONE OR PINE BARK CHIPS AS NOTED ON PLANS.
25. ALL REMAINING AND DISTURBED AREAS NOT PAVED OR BEING PLANTED WITH TREES OR SHRUBS SHALL BE SEEDED AND MULCHED.
26. CONTRACTOR TO BE RESPONSIBLE FOR BRINGING TOPSOIL TO SITE AS NECESSARY FOR PROPER SEEDING AND PLANTING.
27. ALL PLANTING SHALL BE GUARANTEED BY CONTRACTOR A MINIMUM OF ONE YEAR AND BE REPLACED AS NECESSARY.
28. FERTILIZE AND/OR FEED ALL PLANTINGS AS RECOMMENDED.
29. AFTER SEEDING GERMINATES, CONTRACTOR TO BE RESPONSIBLE FOR RAKING, MULCHING, RE-SEEDING AS NECESSARY AND CUTTING AND MAINTAINING LAWN FOR A PERIOD OF ONE MONTH AFTER GERMINATION AND TO ARCHITECT'S SATISFACTION.

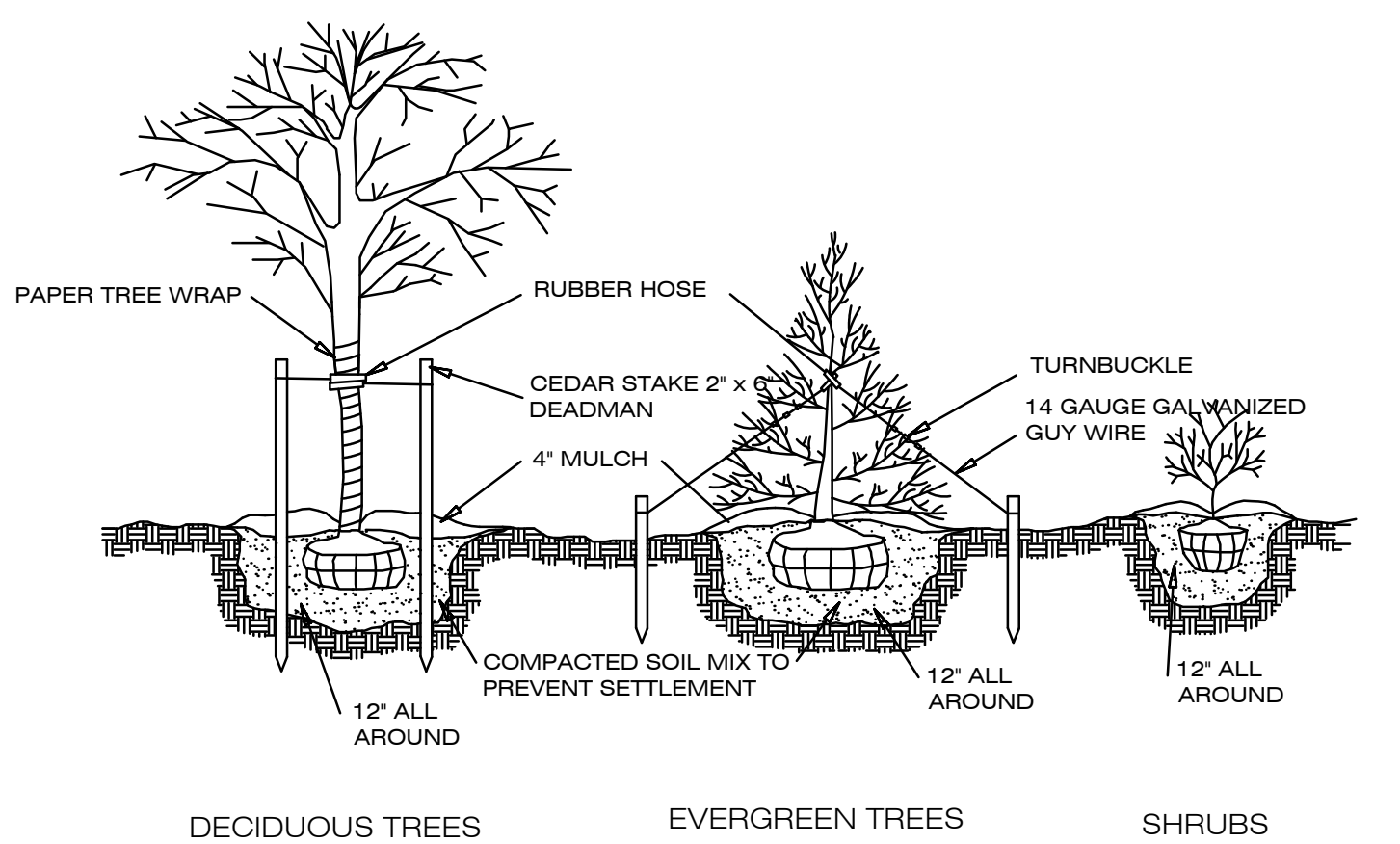
LANDSCAPING SCHEDULE				
MARK	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
Ar	1	ACER RUBRUM BUXUS	RED MAPLE	2 1/2"-3" C
Bs	5	SEMPERVIRENS	DWARF ENGLISH BOXWOOD	1
Cl	6	CUPRESSUS LEYLANDI	LEYLAND CYPRUS	6" HT
Pa	6	PICEA ABIES PYRUS	NORWAY SPRUCE	6" HT
Pcb	3	CALLERVANA PINUS	BRADFORD PEAR	2 1/2"-3" C
Ps	6	STROBUS THUJA	WHITE PINE	6" HT
To	5	OCCIDENTALIS	EMERALD GREEN ARBORVITAE	6" HT



MIDDLEBUSH ROAD
LANDSCAPING & SIGNAGE PLAN
SCALE: 1" = 20'-0"



SINGLE POST SIGN DETAIL

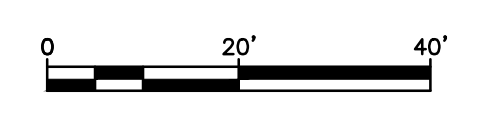


PLANTING AND GUYING DETAIL

LAWN RESTORATION SCHEDULE & NOTES

	SPECIES	LBS./1,000 SQ. FT
PERMANENT SEED MIXTURE	TALL FESCUE	1
	KENTUCKY BLUEGRASS	3
	PERENNIAL RYEGRASS	1

- NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: SPRING OR EARLY FALL
1. REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA. AND PREPARE SOIL BY TILLING TO A DEPTH OF 3" TO 4" .
 2. RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
 3. FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT THE RATE OF 6 LBS. PER 1,000 SQ. FT. FERTILIZER SHALL BE A COMMERCIAL 5-10-10 MIXTURE.
 4. AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
 5. PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER. (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 LBS. OF SEED MIXTURE PER 1,000 SQ.FT. DO NOT OVER-SEED, OR OVER CROWDING OF THE SEEDLING MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
 6. LIGHTLY COVER SEEDED AREA WITH 1/4" TO 3/4" OF SOIL. (ROLLING OF SEEDED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH MULCH OR HAY OR STRAW AT A RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F.
 7. SEEDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 LBS. (APPROX. 2 BALES PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
 8. LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
 9. NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2" - 2 1/2"
 10. PRACTICE REGULAR MAINTENANCE AND WATER REGULARLY AS CONDITIONS REQUIRE.



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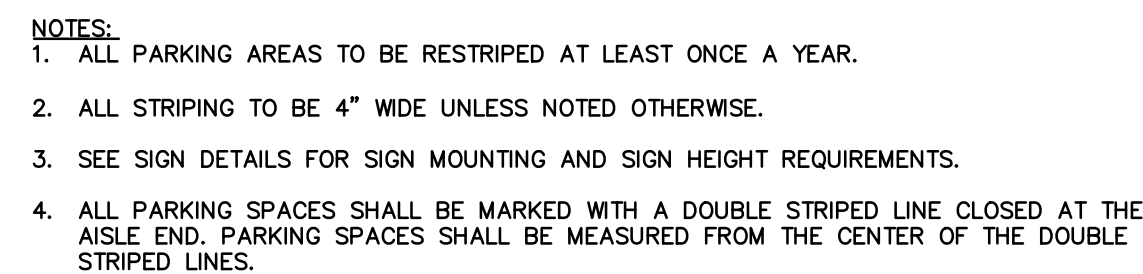
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REVISIONS

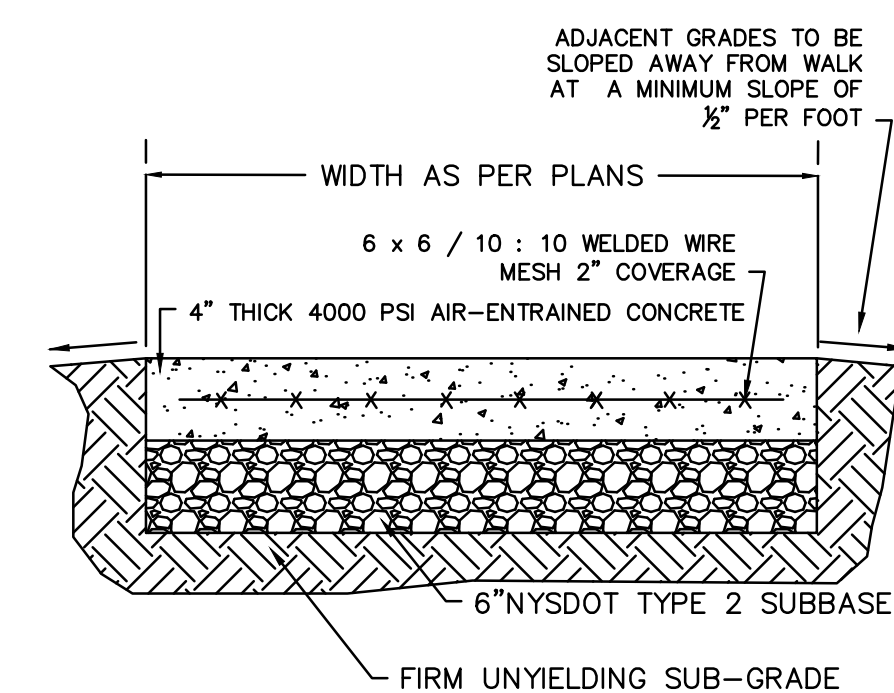
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DATE: 2/7/2023
PROJECT NO.: 2022-20
SCALE: 1" = 20'
DRAWING NO.: S-3.0

MIDDLEBUSH-PLAT-SHEETS.DWG



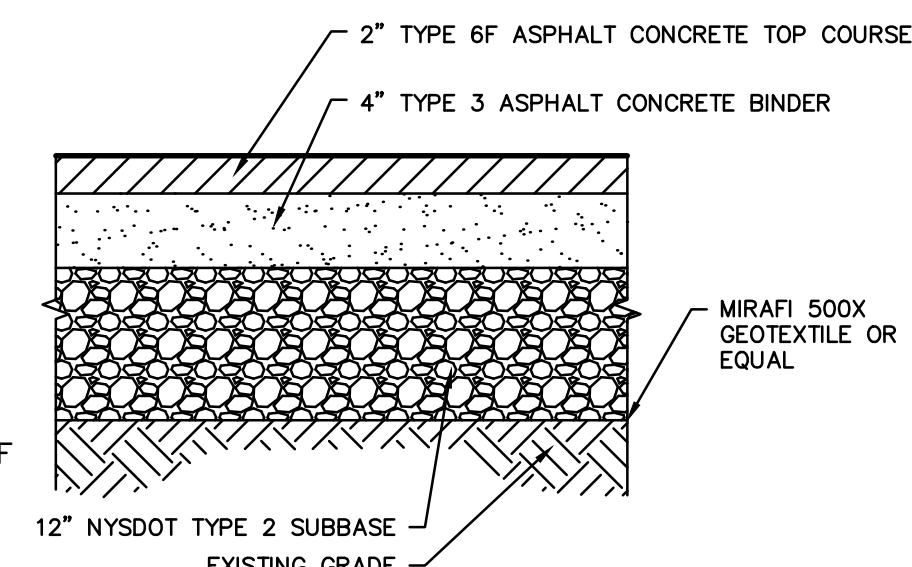
TYPICAL HANDICAP PARKING STRIPING DETAIL



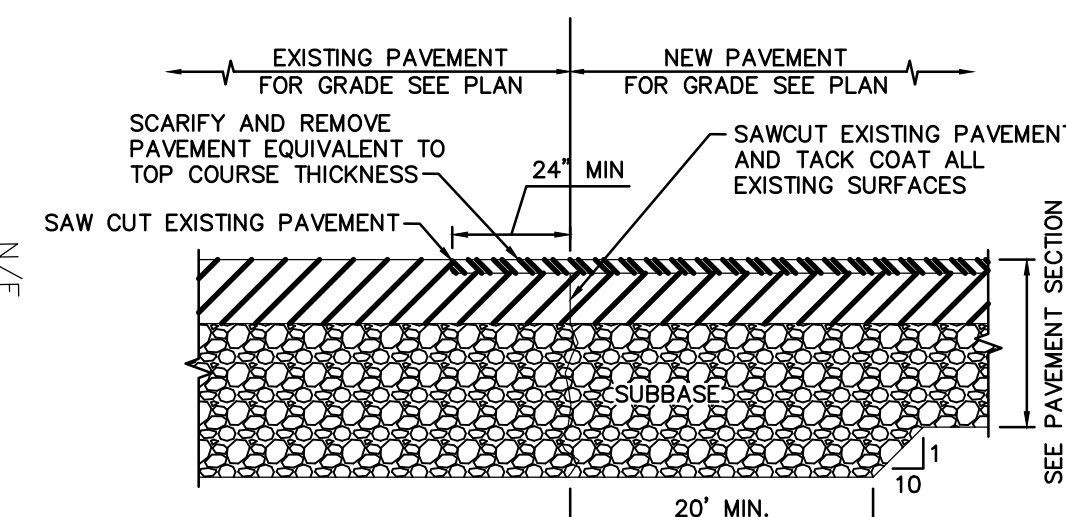
NOTES:

1. EXPANSION JOINTS OF $\frac{1}{2}$ " CELLULOSE OR SIMILAR WITH $\frac{1}{2}$ " RADIUS EDGES SHALL BE PLACED ACROSS THE FULL WIDTH OF WALKWAY, AT INTERVALS NOT TO EXCEED 20' ALONG LENGTH OF SIDEWALK.
2. CONTRACTION JOINTS (ACROSS FULL WIDTH OF WALKWAY) SHALL BE LOCATED AT A MAXIMUM SPACING OF 5' ON CENTER BETWEEN EXPANSION JOINTS.

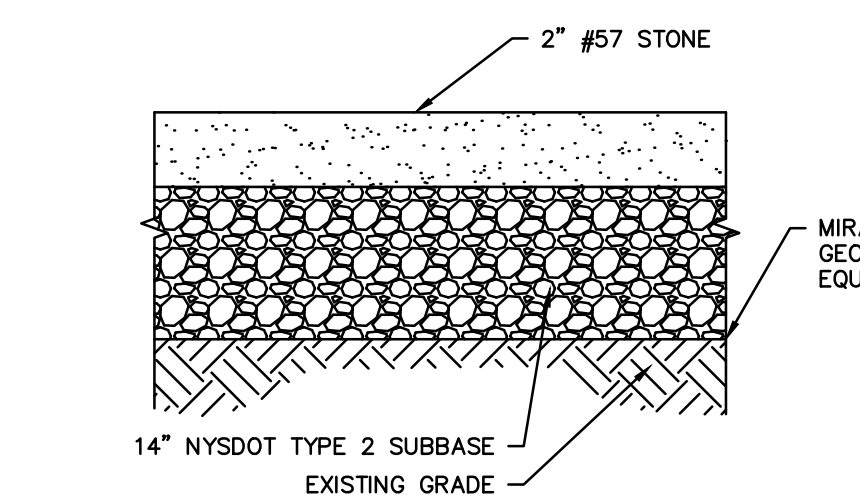
SIDEWALK DETAIL



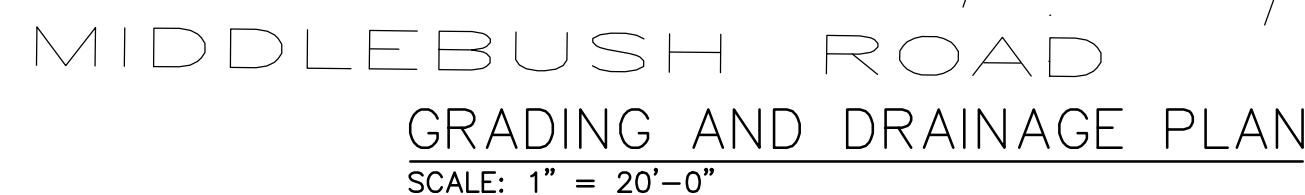
ASPHALT PARKING PAVEMENT DETAIL



PAVEMENT TRANSITION (SAWCUT)



GRAVEL PARKING PAVEMENT DETAIL



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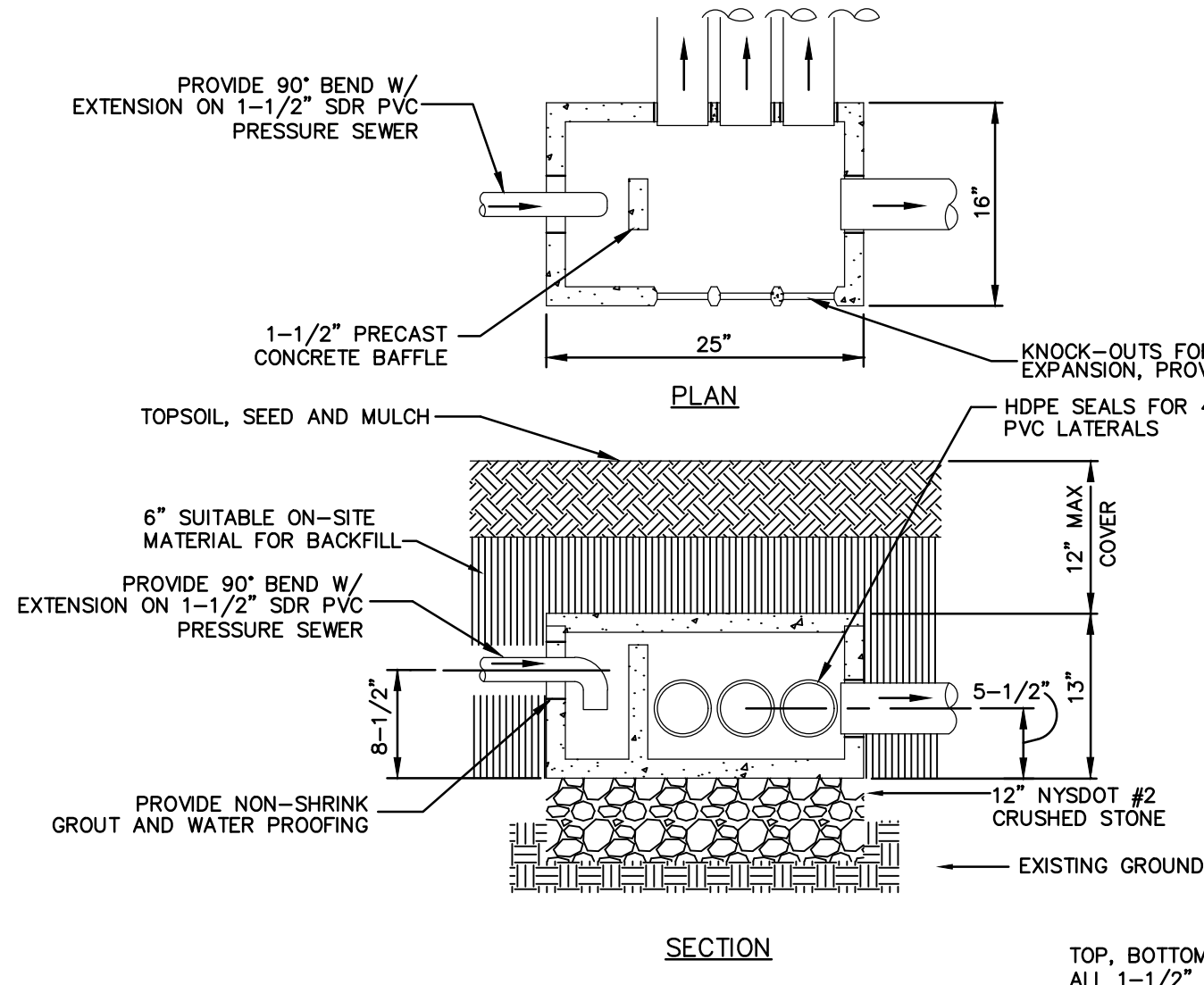
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2/7/2023
PROJECT NO.
2022-20
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S-4.0

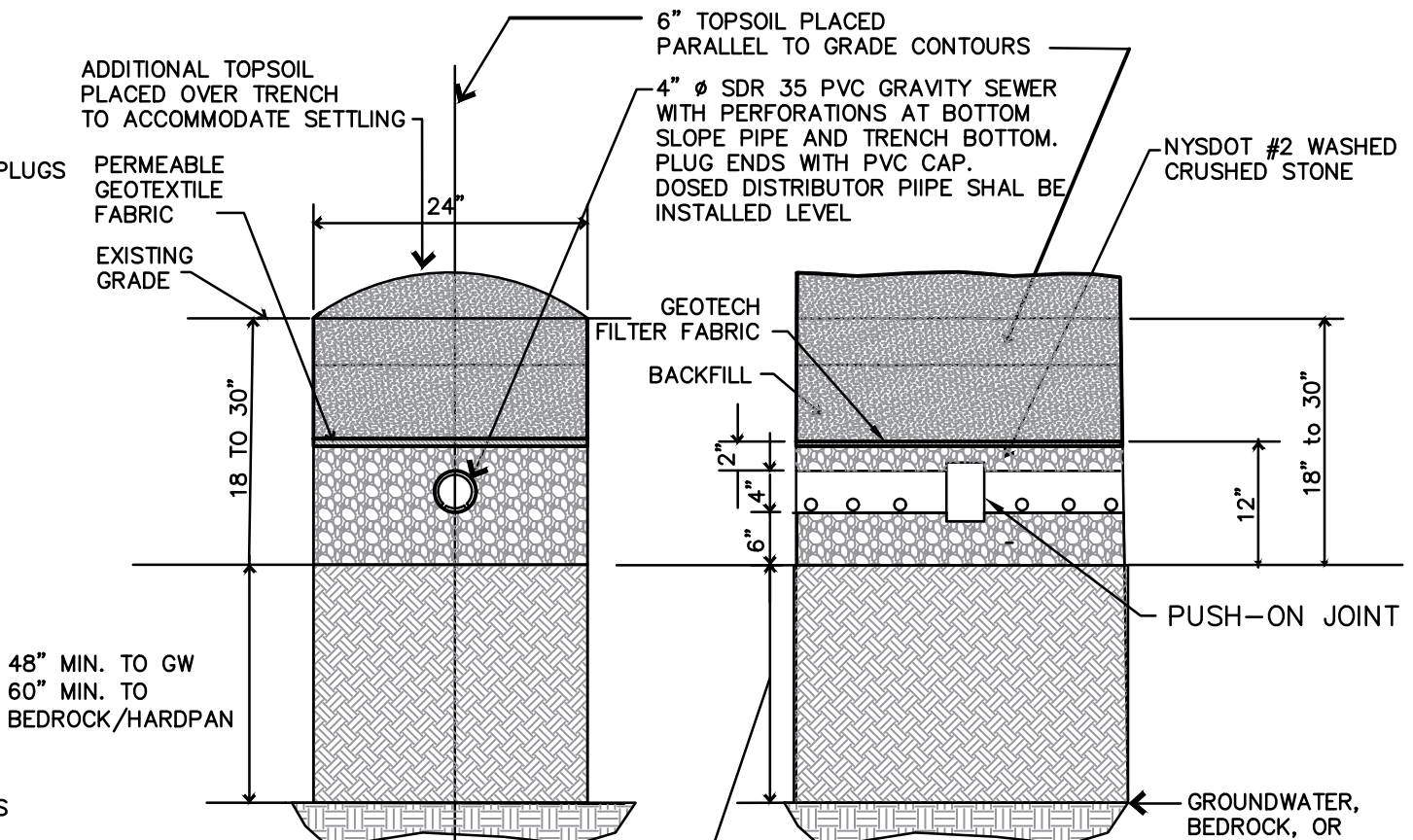
STANDARD NOTES FOR
COMMERCIAL PROJECTS (ONSITE
WATER SOURCE AND SEWAGE
DISPOSAL) W/NO PWS

- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
- "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDEC
- APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE. "RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (TEN STATES)."
- "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."
- "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."
- "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."
- THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES.
- UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC EHSD BY THE NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC EHSD.
- APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
- ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM EXISTING OR APPROVED WITHIN 300 FEET OF THE PROPOSED WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.
- IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHSD FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.
- ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.
- NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM OR WITHIN 50 FEET OF ANY WELL.
- ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.
- THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE ONSITE WASTEWATER TREATMENT SYSTEM. PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED AND FENCED OFF.
- ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.
- THE DC EHSD SHALL BE NOTIFIED PRIOR TO THE BACKFILLING OF ANY COMPLETED ONSITE WASTEWATER TREATMENT SYSTEM SO THAT A FINAL INSPECTION MAY BE PERFORMED.
- THE DC EHSD SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE-APPROVAL BY THE DC EHSD.
- ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
- THE UNDERSIGNED OWNERS OF THE PROPERTY HERON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HERON.
- ONSITE WASTEWATER TREATMENT SYSTEM IS DESIGNED FOR SANITARY SEWAGE ONLY. NO WASTES FROM RESTAURANTS, TAVERNS, DINERS, PIZZERIAS, FOOD SERVICE ESTABLISHMENTS, BAKERIES, DOCTOR'S OFFICES, DENTISTS, HAIR DRESSERS, SALONS, BEAUTY PARLORS, DRY CLEANERS, LAUNDROMATS, LAUNDRIES, PHOTOFINISHERS, METAL PLATERS, OR ANY OTHER PROCESS WASTES ARE ALLOWED.



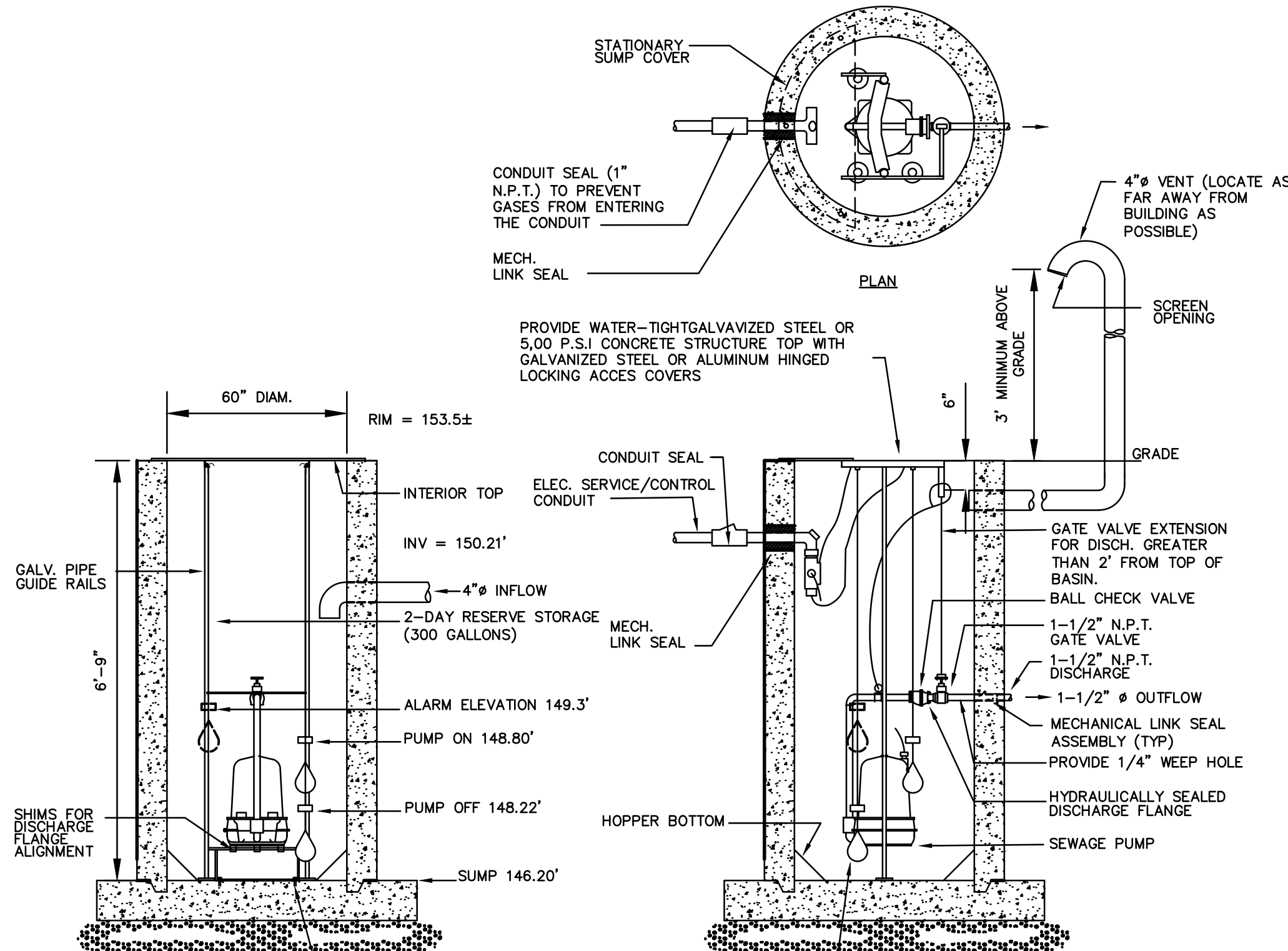
NOTES:
1. DISTRIBUTION BOX TO BE PROVIDED WITH PRE-FABRICATED SPEED LEVELERS AND LEVELED USING WATER.
2. FORT MILLER TYPE 2, DESIGN CASE 4 (NON-TRAFFIC).

DISTRIBUTION BOX (PRESSURE INLET)
NOT TO SCALE



NOTES:
1. DISTRIBUTION BOX TO BE PROVIDED WITH PRE-FABRICATED SPEED LEVELERS AND LEVELED USING WATER.
2. FORT MILLER TYPE 2, DESIGN CASE 4 (NON-TRAFFIC).

ABSORPTION TRENCH DETAIL
NOT TO SCALE



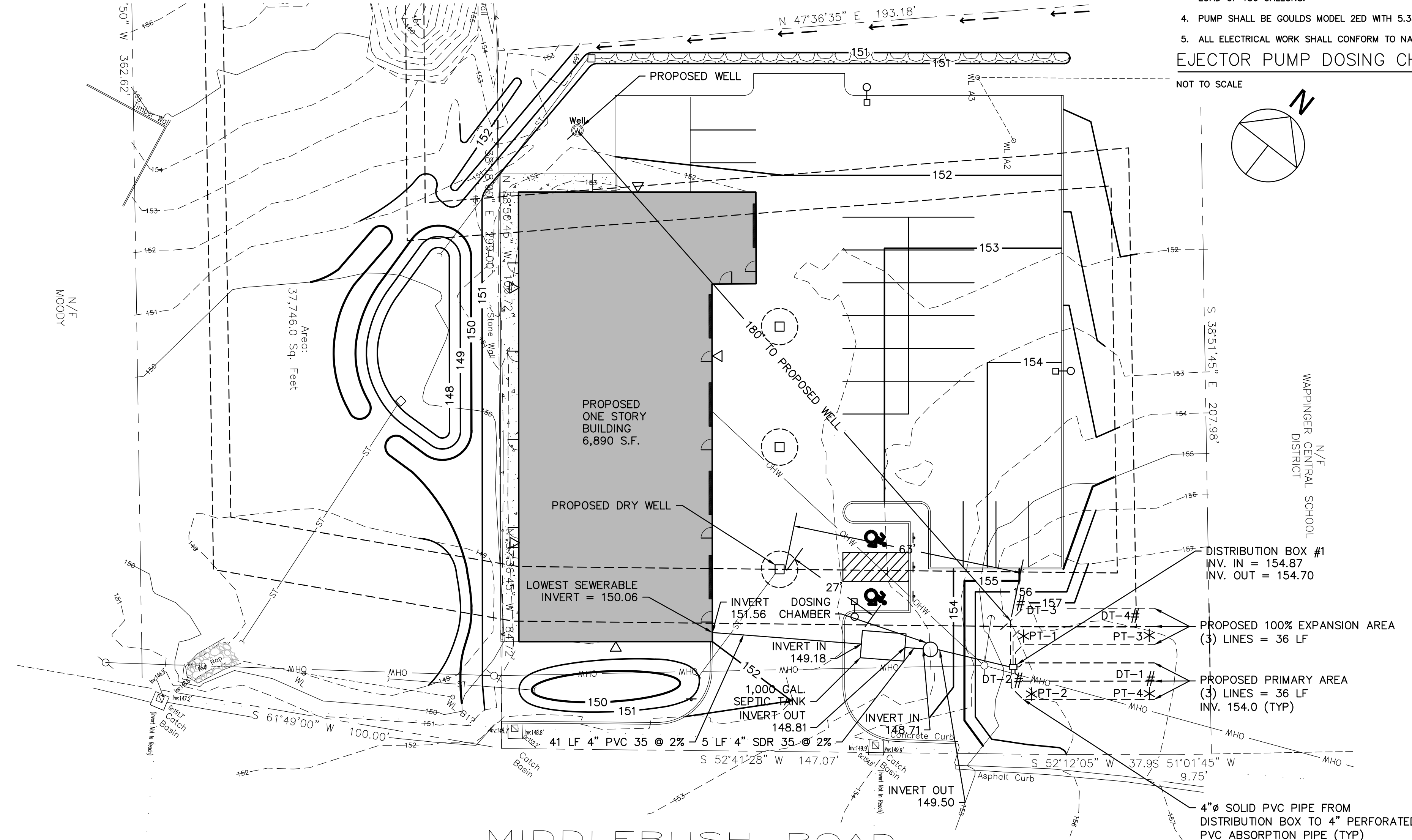
END VIEW OF PUMP

SIDE VIEW OF PUMP

- NOTES:
- ALL PUMP STATION COMPONENTS TO BE APPROVED BY PROJECT ENGINEER PRIOR TO INSTALLATION.
 - ELECTRICAL CONTROL UNIT WITH AUDIBLE/VISUAL ALARM & PUMP CONTROLS TO BE LOCATED WITHIN THE BUILDING.
 - THE WET WELL IS SIZED TO PROVIDE HOLDING CAPACITY EQUIVALENT TO 2 DAYS AT THE AVERAGE DAY LOAD OF 150 GALLONS.
 - PUMP SHALL BE GOULDS MODEL 2ED WITH 5.38" IMPELLER, 0.33 HP.
 - ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE (NEC) - LATEST EDITION.

EJECTOR PUMP DOSING CHAMBER DETAILS

NOT TO SCALE



MIDDLEBUSH ROAD

SDS PLAN
SCALE: 1" = 20'-0"

* TEST PIT DATA
(7/11/2021 BY AL CAPPELLI WITNESSED BY DAN KEELER)

TEST PIT #1
0-2" TOPSOIL
2" TO 7"-2" SILT LOAM & TIGHT SILT (NO GW)

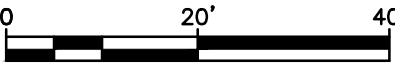
TEST PIT #2
18" GRAVELLY LOAM
18" TO 7"-0" SILT LOAM & TIGHT SILT (NO GW)

TEST PIT #3
0" TO 5.-5" CONSTRUCTION DEBRIS & FILL MATERIALS

PERC. PIT DATA
(7/12/2021 BY AL CAPPELLI)

PT-1
RUN #1: 16 MIN./INCH
RUN #2: 18 MIN./INCH
RUN #3: 18 MIN./INCH
RUN #4: 17 MIN./INCH
STABILIZED PERC. RATE = 18 MIN./INCH USE
APPLICATION RATE + 0.7 GAL/DAY/SF

USE: CONTRACTOR STORAGE BUILDING
EMPLOYEES MAX.) = 75 GAL/DAY (5)



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CONSULTING ENGINEER

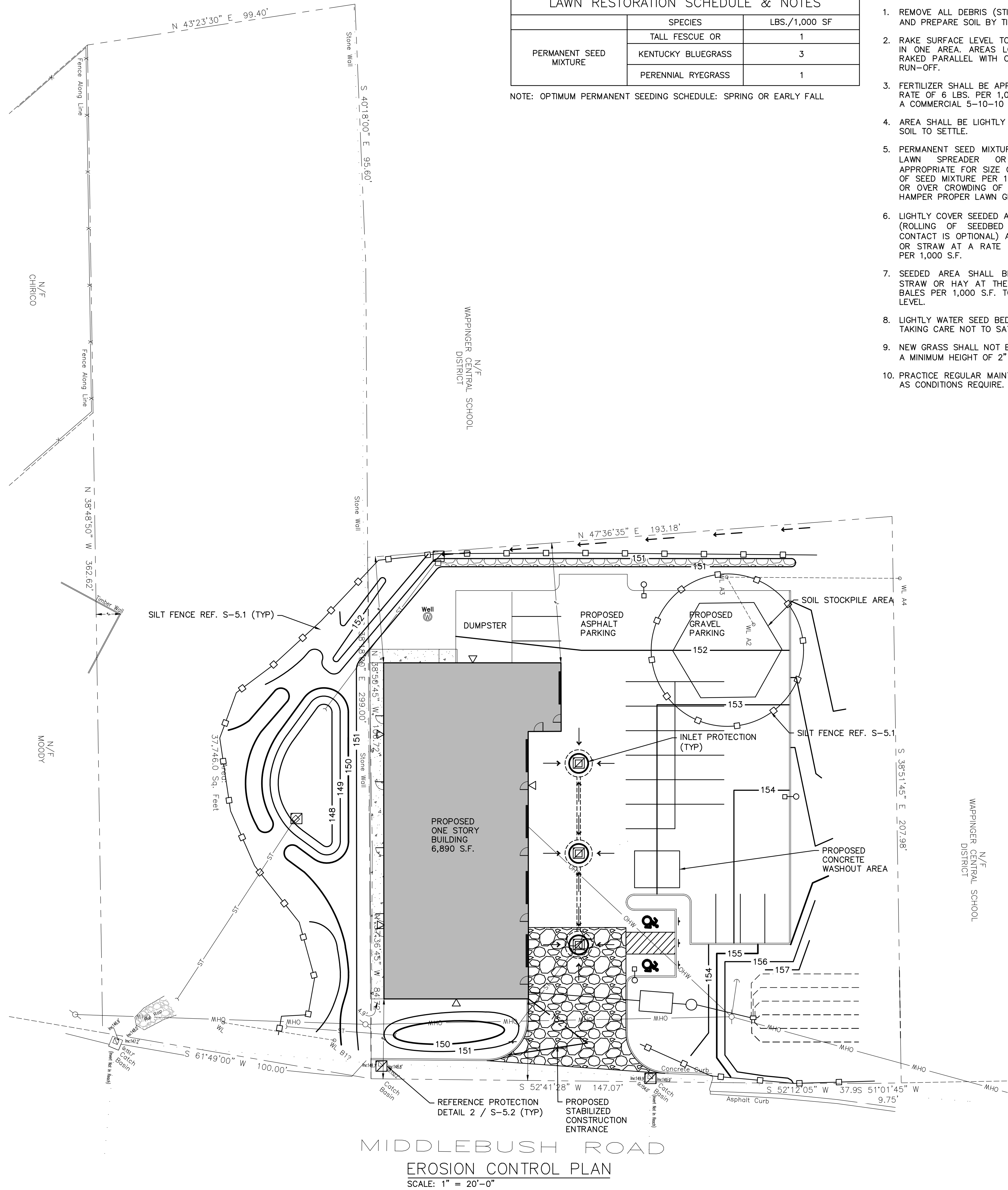
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CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION
1	2.07.22	PER CONSULTANT COMMENTS

SITE SSDS PLAN
(DOH APPROVAL)

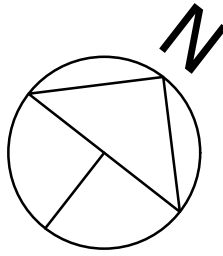
DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-5.0



LAWN RESTORATION SCHEDULE & NOTES		
PERMANENT SEED MIXTURE	SPECIES	LBS./1,000 SF
	TALL FESCUE OR	1
	KENTUCKY BLUEGRASS	3
	PERENNIAL RYEGRASS	1

NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: SPRING OR EARLY FALL

- NOTES
1. REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA. AND PREPARE SOIL BY TILLING TO A DEPTH OF 3" TO 4".
 2. RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
 3. FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT THE RATE OF 6 LBS. PER 1,000 SQ. FT. FERTILIZER SHALL BE A COMMERCIAL 5-10-10 MIXTURE.
 4. AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
 5. PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER. (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 LBS. OF SEED MIXTURE PER 1,000 SQ.FT. DO NOT OVER-SEED, OR OVER CROWDING OF THE SEEDLING MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
 6. LIGHTLY COVER SEEDED AREA WITH 1/4" TO 3/4" OF SOIL. (ROLLING OF SEEDBED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH MULCH OR HAY OR STRAW AT A RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F.
 7. SEEDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 LBS. (APPROX. 2 BALES PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
 8. LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
 9. NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2" - 2 1/2"
 10. PRACTICE REGULAR MAINTENANCE AND WATER REGULARLY AS CONDITIONS REQUIRE.



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EROSION CONTROL PLAN

DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-6.0

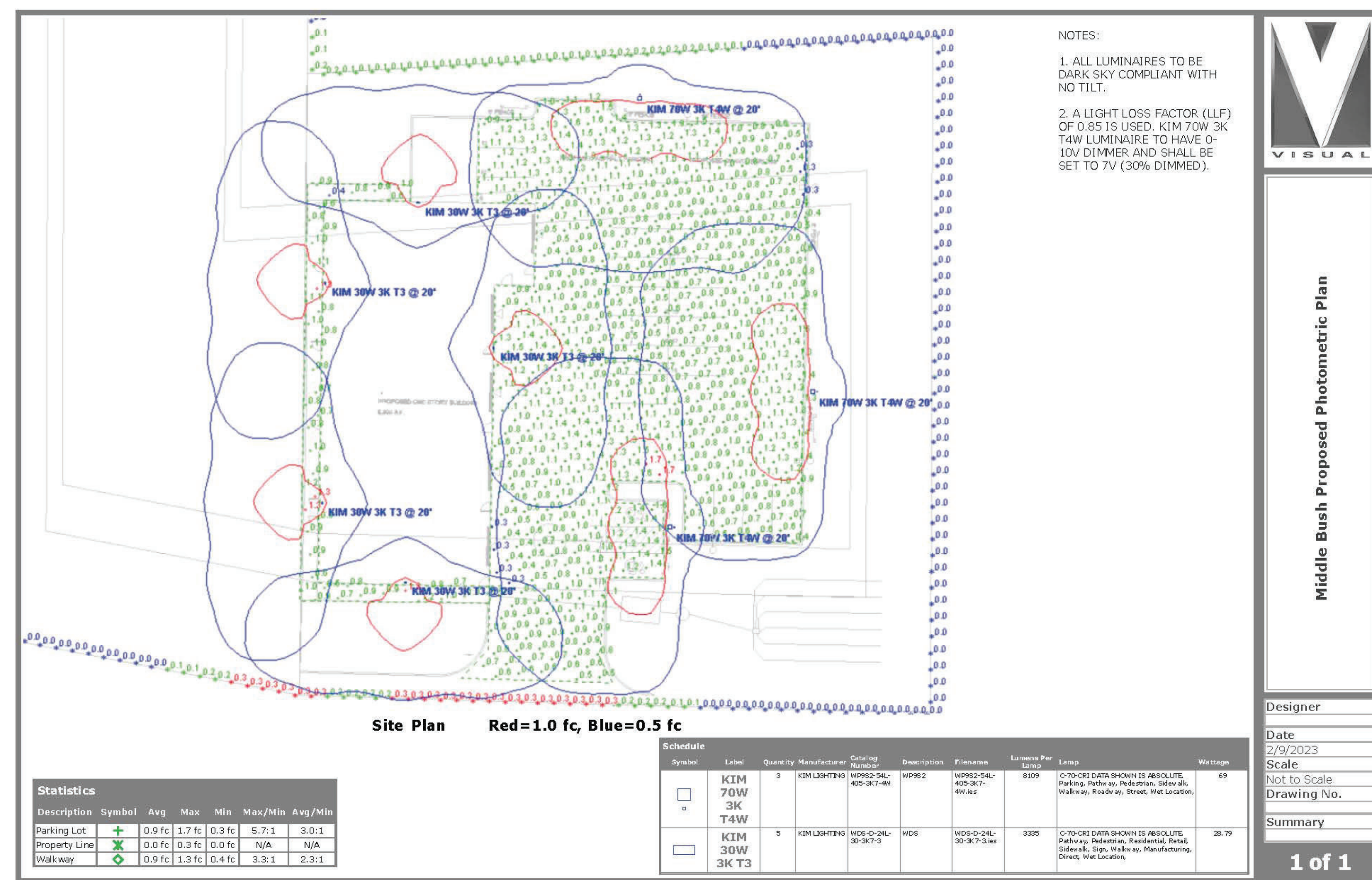


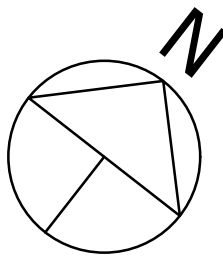
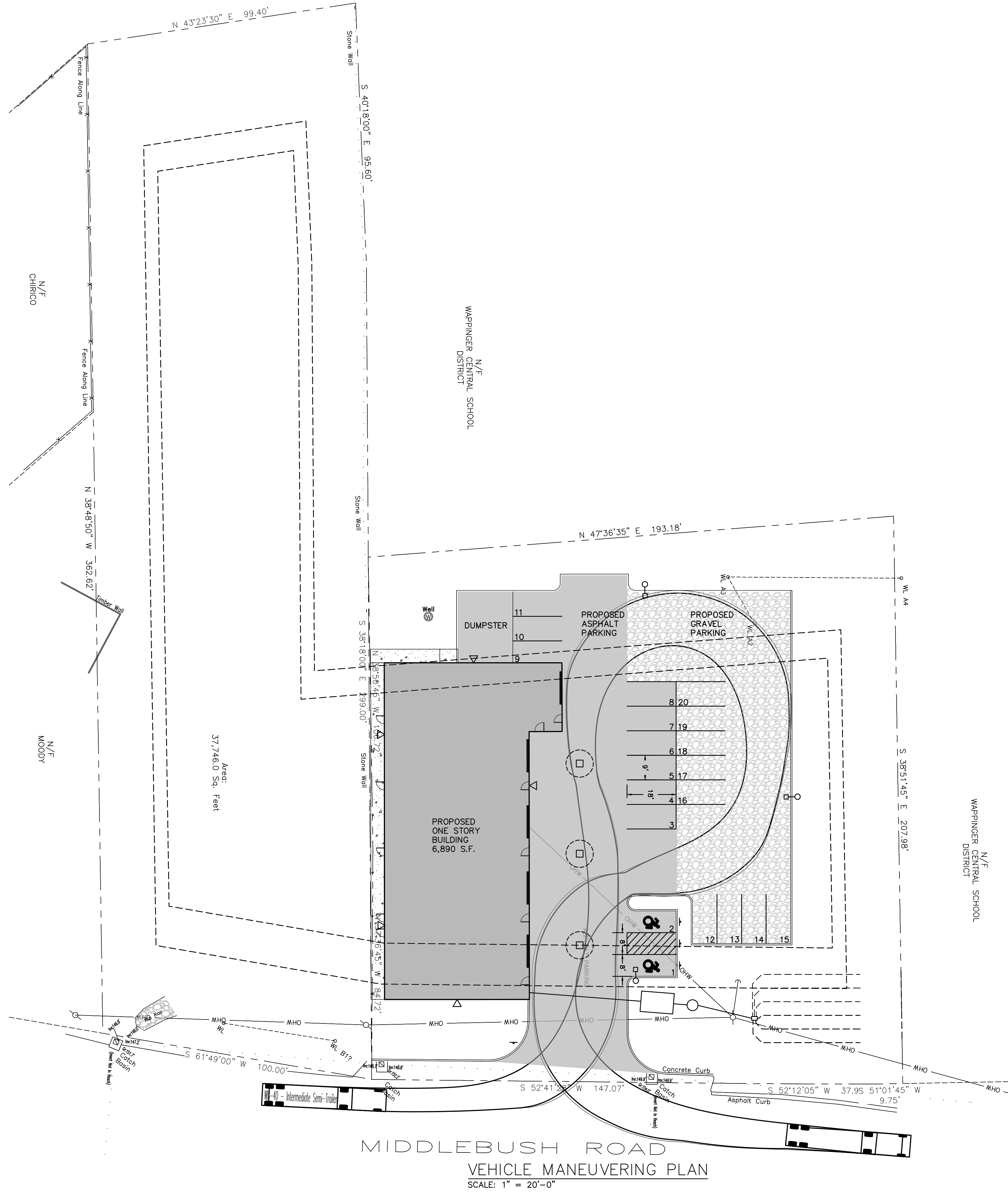
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SITE LIGHTING PLAN

DATE:	2/7/2023
PROJECT NO.	2022-20
SCALE:	1" = 20'
DRAWING NO.	S-7.0





VEHICLE MANEUVERING
PLAN

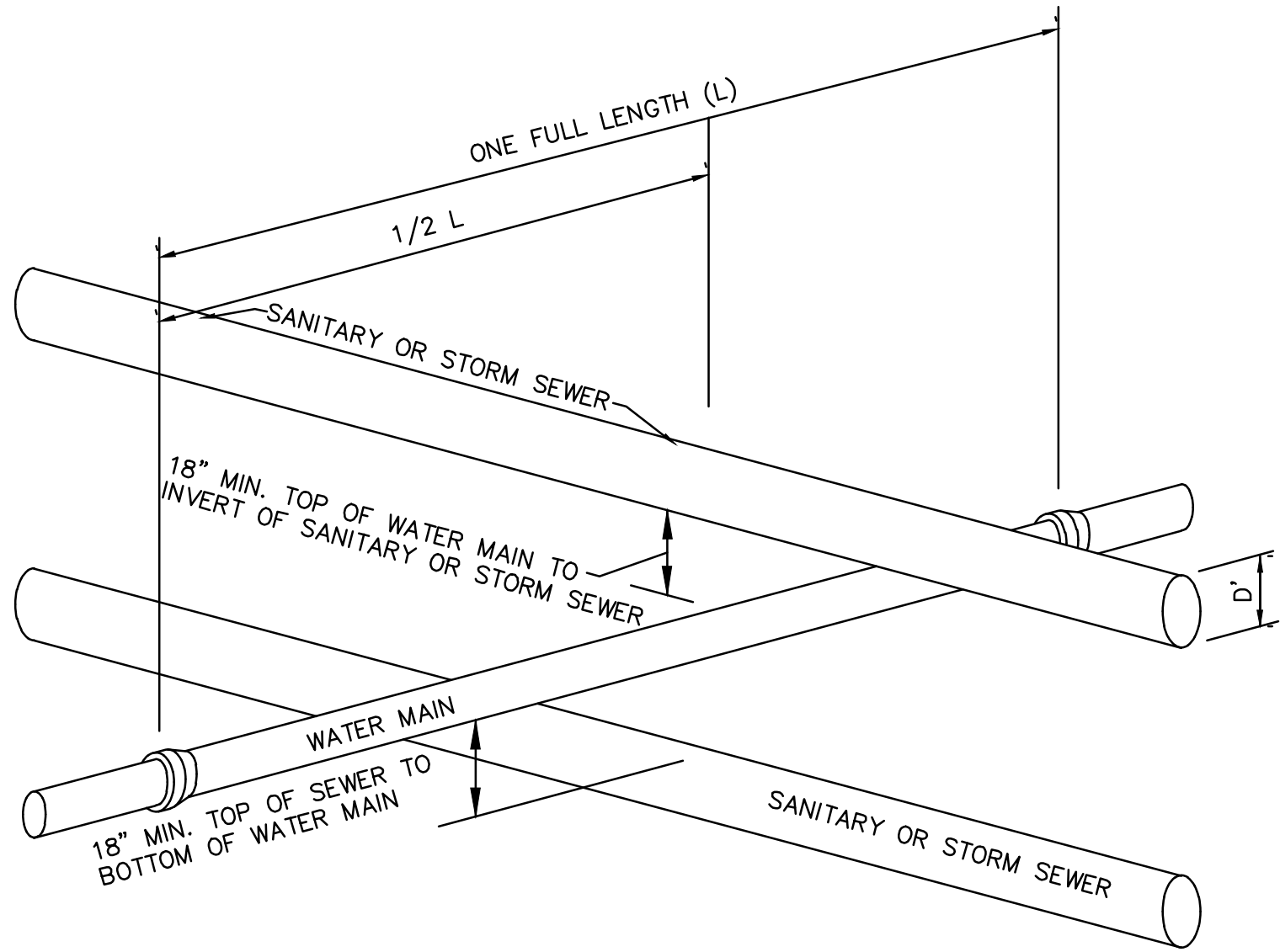
DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-8.0

REVISIONS		
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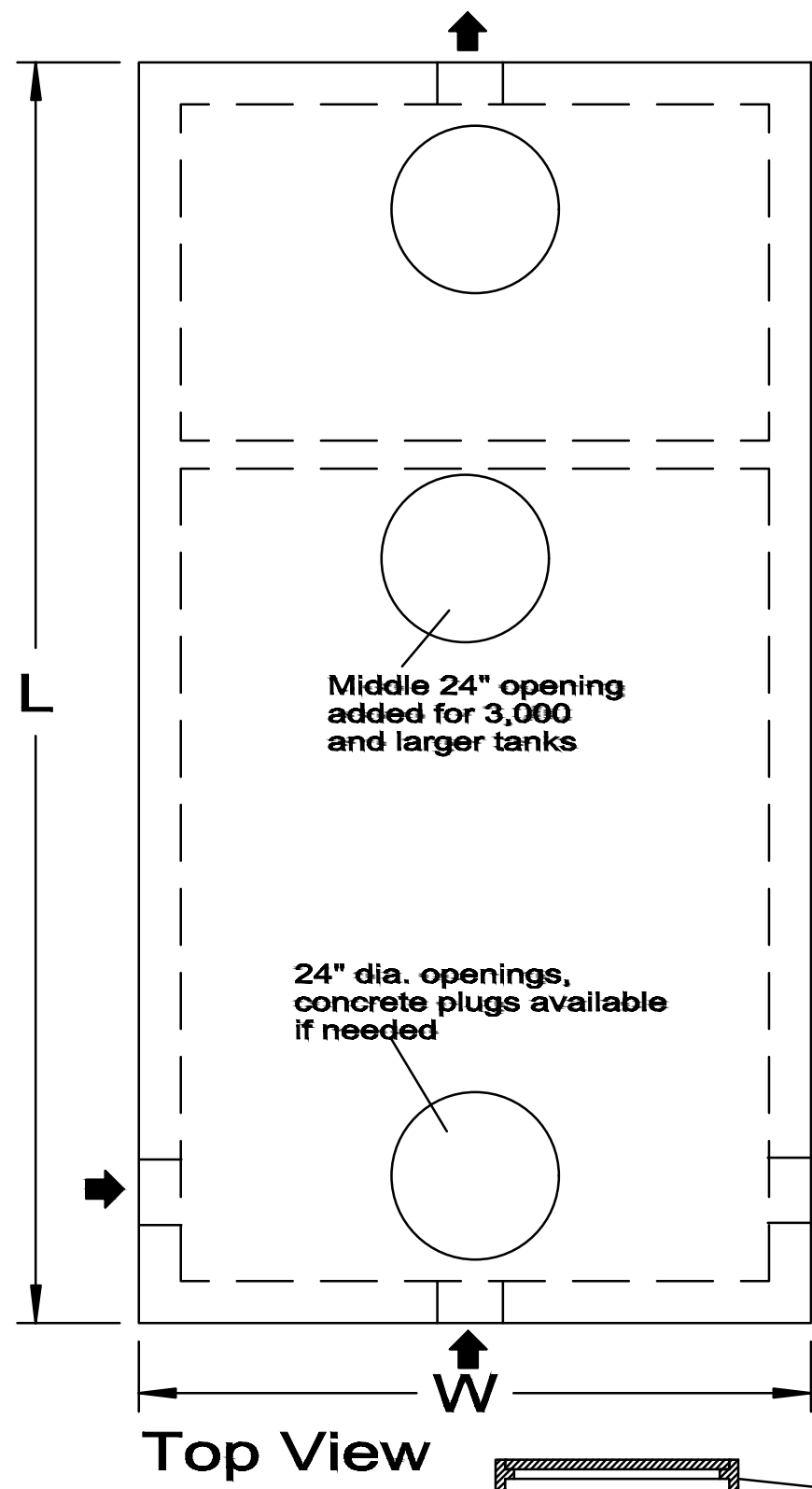
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CONSULTING ENGINEER



- NOTES:**
- IF 18" VERTICAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
 - CONSTRUCT SEWER OF PVC PRESSURE PIPE MATERIAL 10' ON EACH SIDE OF THE WATER MAIN/SEWER.
 - ENCASE SEWER PIPE IN CONCRETE, 4' DISTANCE ON EACH SIDE OF WATER MAIN/SEWER CROSSING. CONCRETE ENCASEMENT SHALL BE MINIMUM 6" ALL AROUND PROPOSED SEWER PIPE.
 - IF 10' HORIZONTAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, THE CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
 - THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THE 10' HORIZONTAL SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM THE SEWER AS POSSIBLE (REFER TO THE WATER LINE OFFSET DETAIL ON SHEET C-530).
 - BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CAST IRON PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS, OR ENCASED IN CONCRETE IN ACCORDANCE WITH THE NYS HEALTH DEPARTMENT REQUIREMENTS.

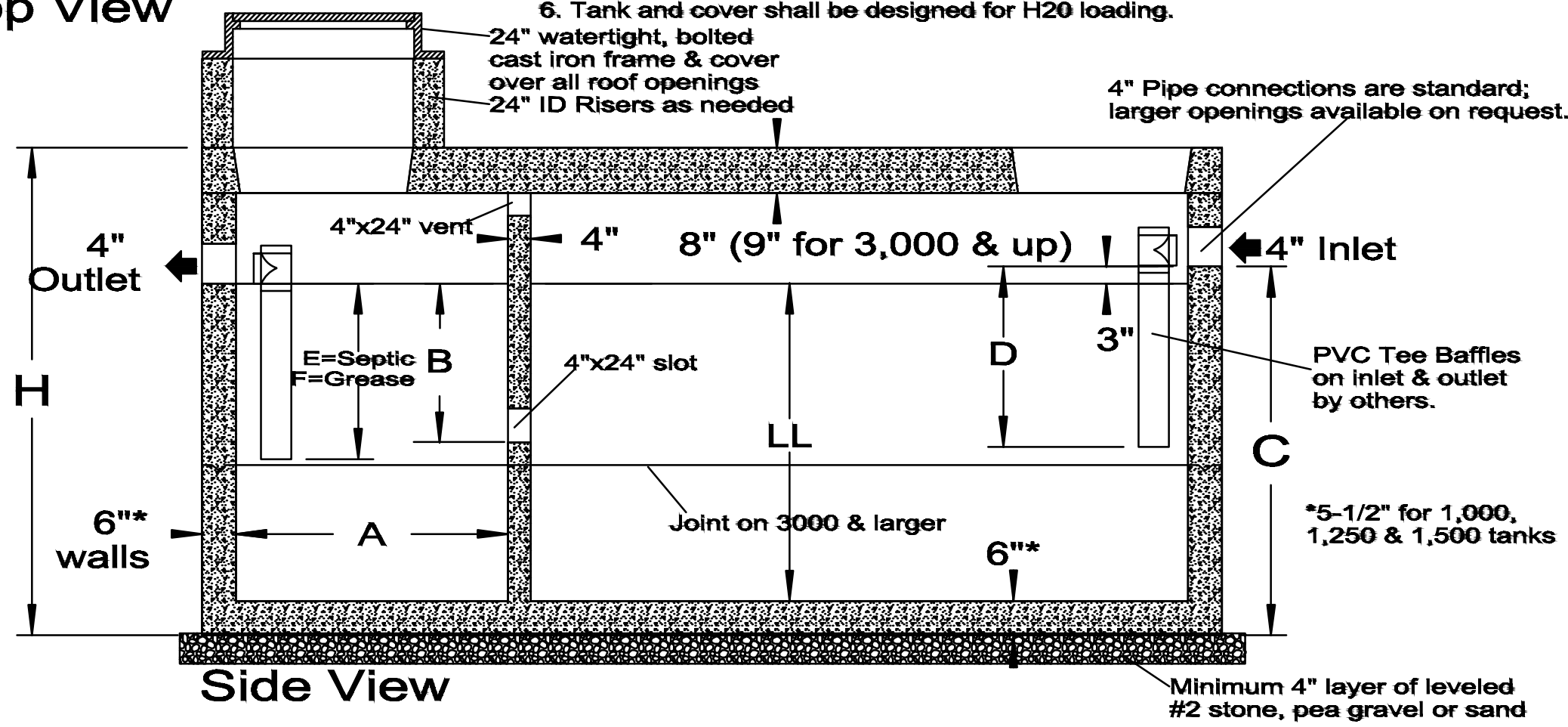
1 WATER/SEWER SEPARATION REQUIREMENTS

NOT TO SCALE



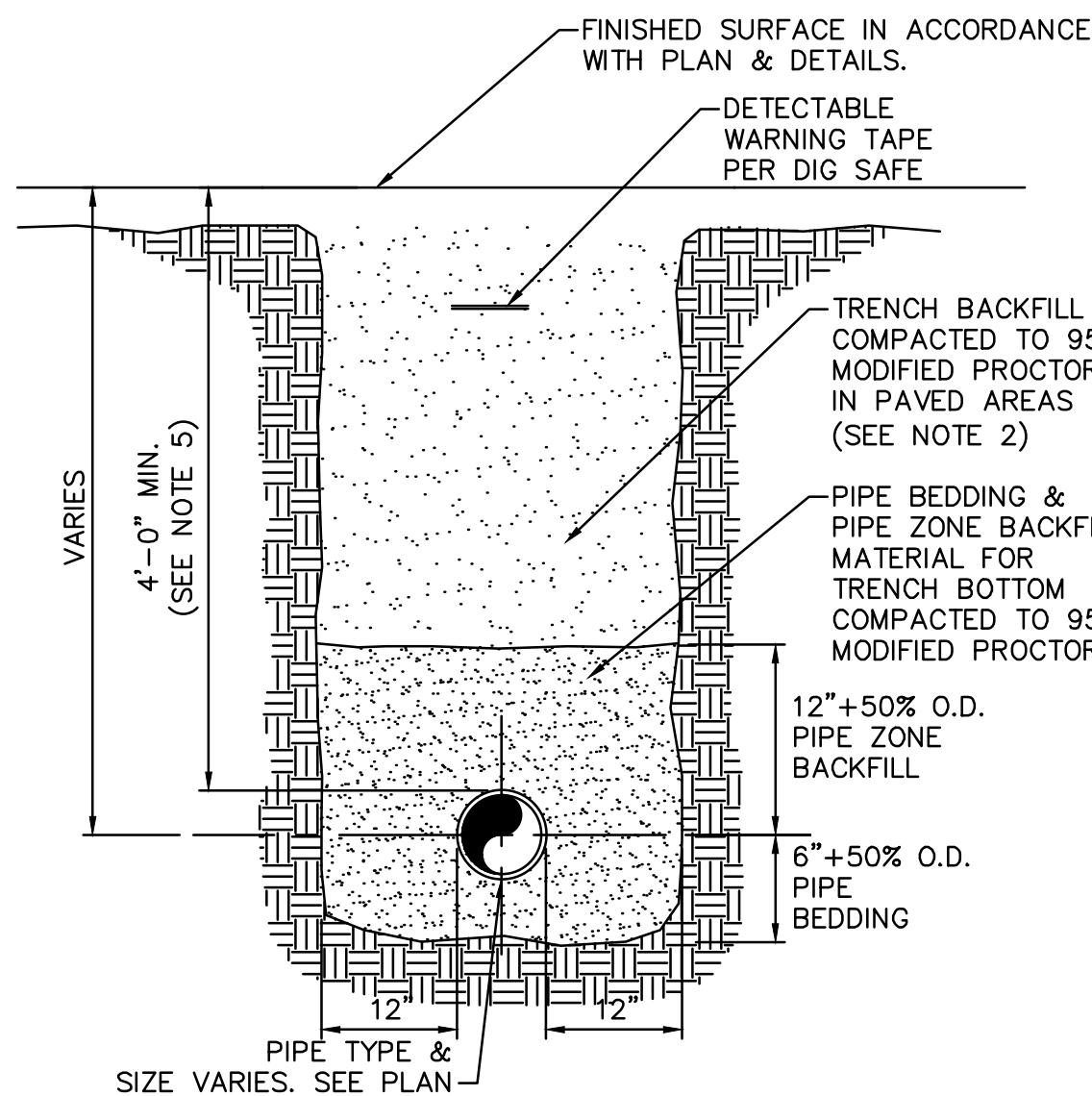
Gallons	L	W	H	LL	A	B	C	D	E	F
750	9'-6"	4'-6"	5'-11"	42"	34"	23"	51"	24"	21"	30"
1,000	10'-9"	5'-11"	4'-9"	35"	38"	16"	43"	21"	18"	23"
1,250	10'-9"	5'-11"	5'-3"	41.5"	38"	19"	49.5"	24"	21"	29"
1,500	10'-9"	5'-11"	5'-11"	49"	38"	22"	57"	27"	24"	37"
2,000	12'-6"	6'	7'-3"	58"	46"	31"	67"	32"	29"	46"
2,500	14'	6'-6"	7'-3"	58"	46"	31"	67"	32"	29"	46"
3,000	15'-6"	7'	7'-3"	58"	52"	31"	67"	32"	29"	46"
3,500	15'-6"	8'	7'-3"	58"	52"	31"	67"	32"	29"	46"
4,000	17'-2"	8'	7'-3"	58"	58"	31"	67"	32"	29"	46"
5,000	18'-8"	9'	7'-3"	58"	70"	31"	67"	32"	29"	46"
6,000	20'-4"	9'-6"	7'-3"	60"	70"	33"	69"	32"	30"	48"

- Notes:**
- Effluent outlet filters are available as well as high level alarms.
 - Gas deflectors are available for 4" outlet pipes.
 - Tank designs based on the 2014 NYSDEC design standards.
 - Grease Traps are Type 2 with longer outlet baffles than Septic Tanks.
 - 1,000, 1,250, and 1,500 tanks are two-piece design with center seam.
 - Tank and cover shall be designed for H20 loading.



2 1000 GALLON SEPTIC TANK

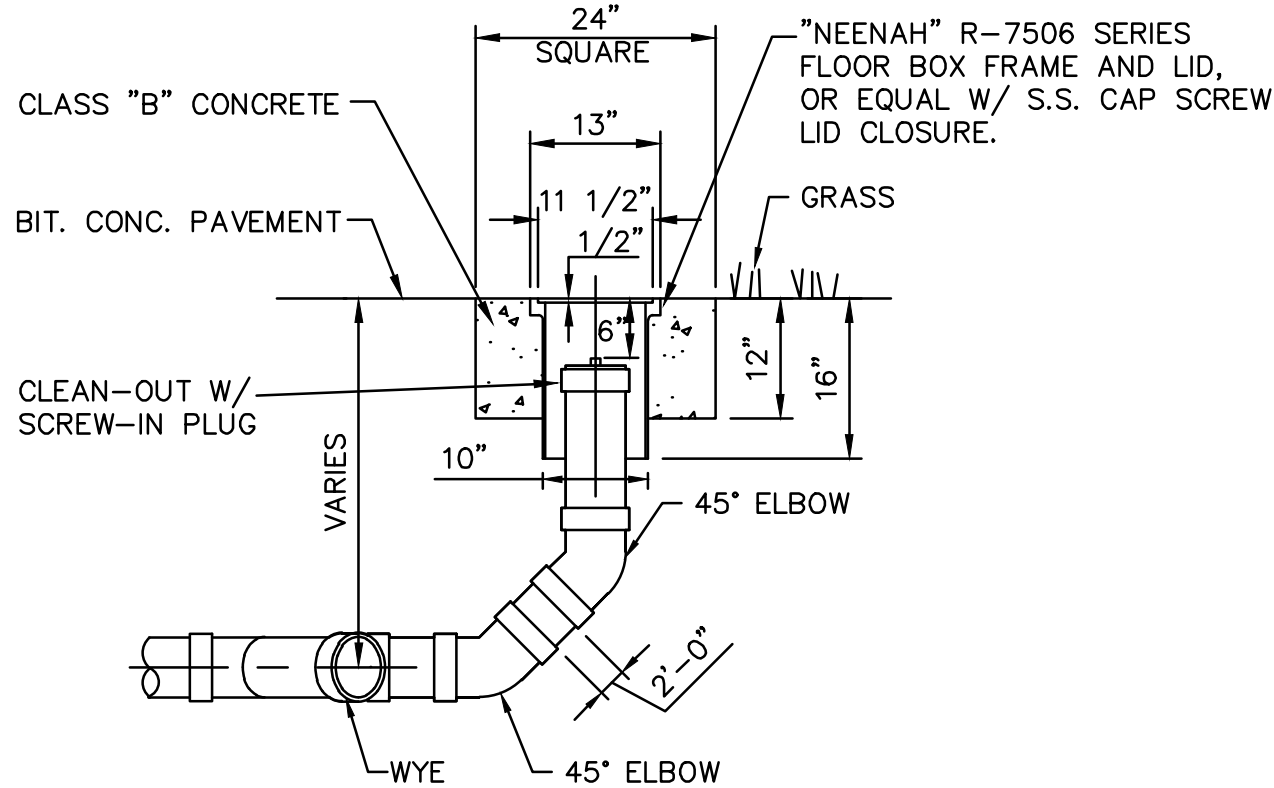
NOT TO SCALE



- NOTES:**
- PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%
 - TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

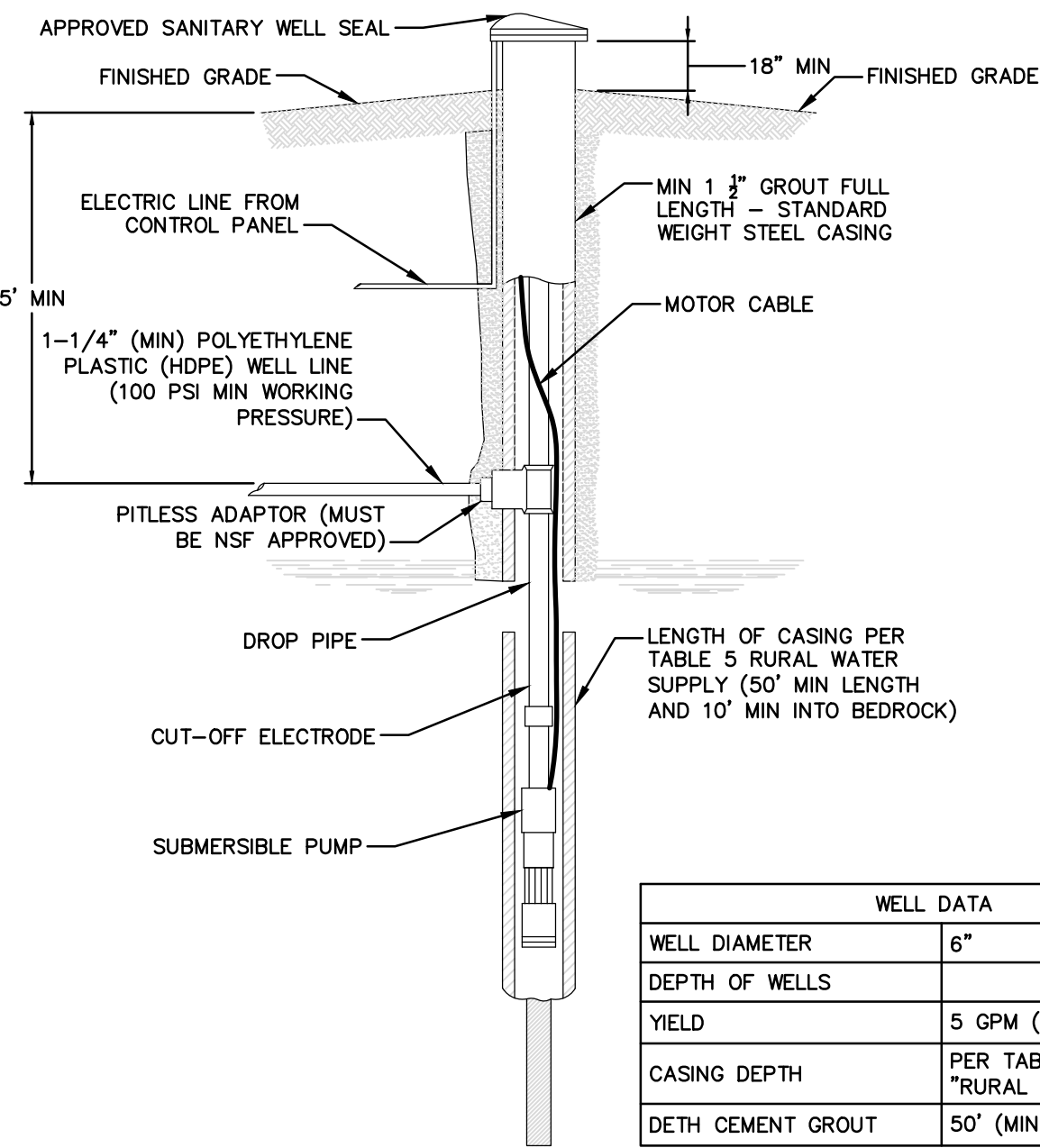
SIEVE DESIGNATION	% PASSING
2"	100%
1/4"	30-65%
NO. 40	5-40%
NO. 200	0-15%
 - INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
 - TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.
 - SEE THE SHALLOW SANITARY TRENCH DETAIL FOR WHEN COVER IS LESS THAN 4'-0".



- NOTES:**
- SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35.
 - TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

4 CLEAN OUT DETAIL

NOT TO SCALE



- NOTES:**
- SUBMERSIBLE PUMP AND PRE-CHARGED HYDRO-PNEUMATIC TANK SHALL BE PROVIDED. PRESSURE TANK DRAW DOWN SHALL NOT BE LESS THAN 20 GALLONS FOR A PRESSURE RANGE OF 30 TO 50 PSI. PUMP DISCHARGE CAPACITY SHALL NOT EXCEED THE DEPENDABLE YIELD OF THE WELL AT THE HIGH END OF THE PRESSURE RANGE.
 - THE DRILLED WELL SHALL BE COMPLETED WITH A DEPENDABLE YIELD OF NOT LESS THAN 5 GPM. PROVIDE WATER TREATMENT AS REQUIRED.
 - UPON COMPLETION OF CONSTRUCTION, DISINFECT WITH CHLORINE SOLUTION IN ACCORDANCE WITH NYS HEALTH DEPARTMENT SPECIFICATIONS.
 - CASING TO BE 50' MINIMUM LENGTH AND 10' MINIMUM INTO BEDROCK.
 - THE WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 5 OF THE RURAL WATER SUPPLY HANDBOOK - NYS DEPARTMENT OF HEALTH - REVISED 1995.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPENDIX 5-B OF PUBLIC HEALTH LAW 206 (18).

5 TYPICAL DRILLED WELL IN ROCK

NOT TO SCALE

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33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION
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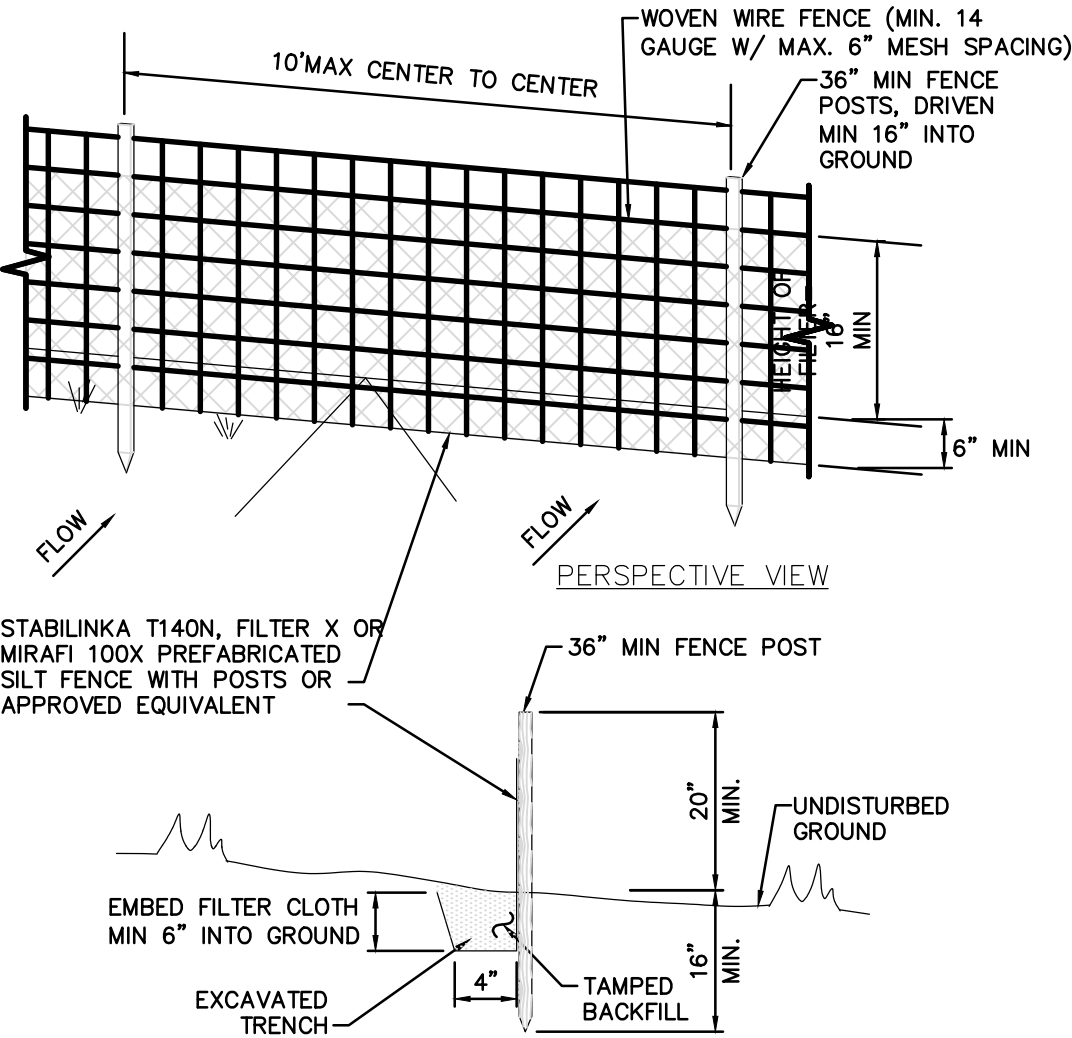
SSDS DETAILS (DOH APPROVAL)

DATE: 2/7/2023

PROJECT NO: 2022-20

SCALE: 1" = 20'

DRAWING NO: S-5.1

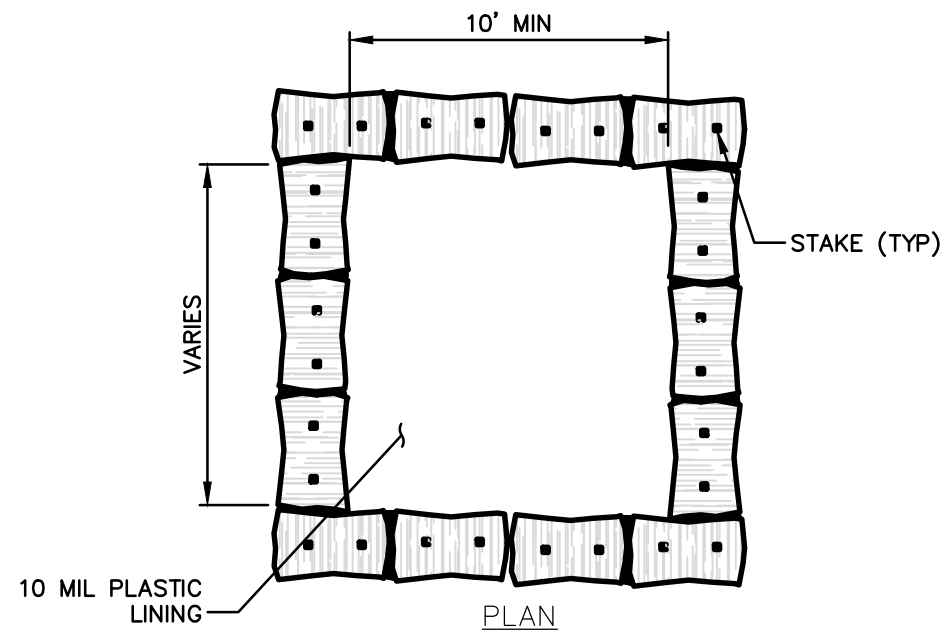
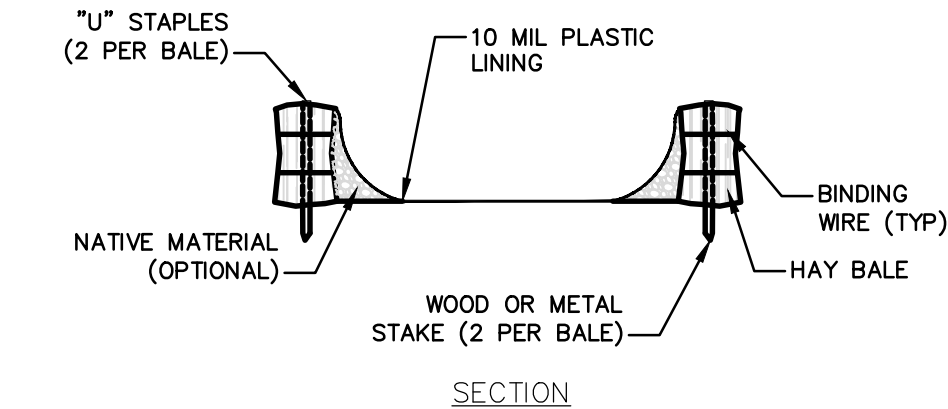


NOTES:

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE.
- SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
- SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
- MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE:

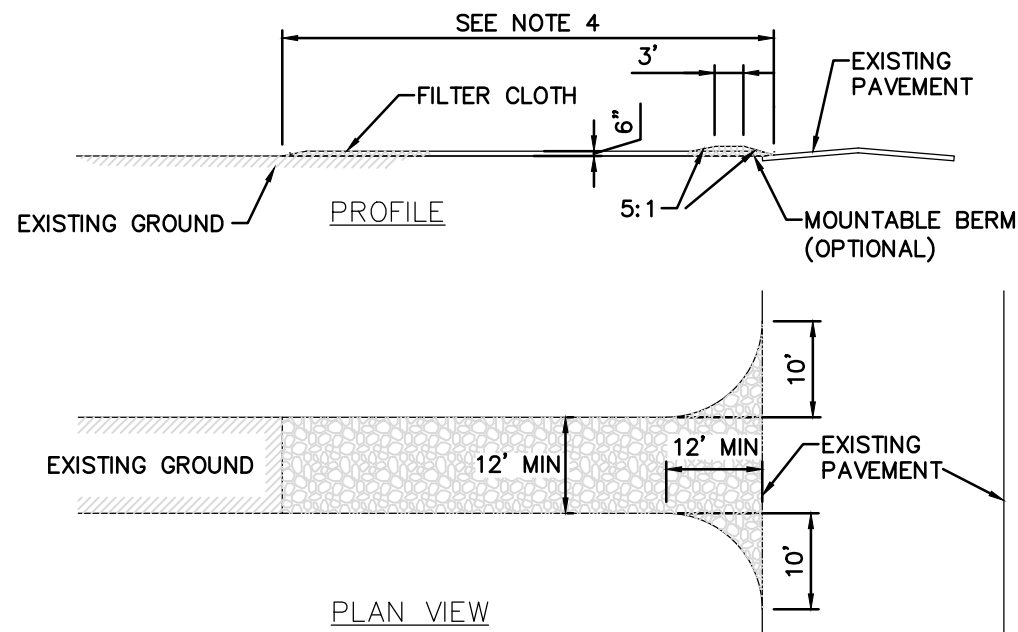
SLOPE STEEPNESS	MAXIMUM SLOPE LENGTH(FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

1 SILT FENCE INSTALLATION
NOT TO SCALE



- NOTES:
- CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
 - CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
 - LINERS, HAYBALES, ETC SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

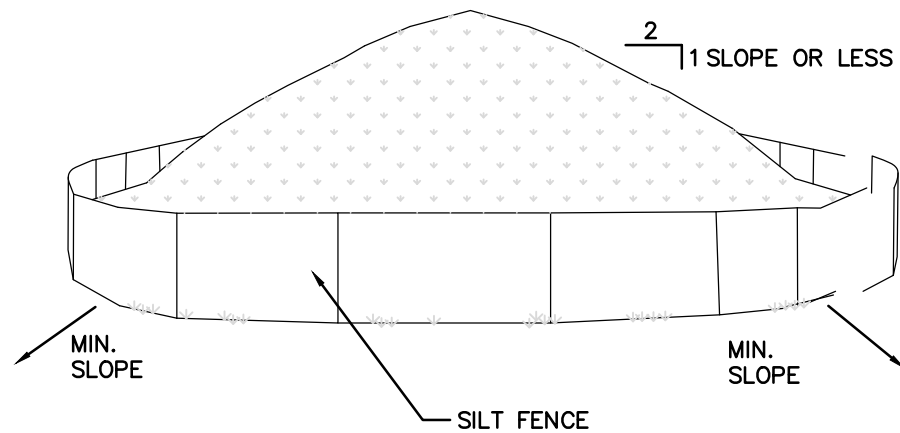
4 ABOVE GROUND TEMPORARY CONCRETE WASHOUT FACILITY
NOT TO SCALE



CONSTRUCTION ENTRANCE SPECIFICATIONS:

- STONE SIZE — USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS — NOT LESS THAN SIX (6) INCHES.
- WIDTH — TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET (24) FOOT IF SINGLE ENTRANCE TO SITE.
- LENGTH — NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- FILTER CLOTH — WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER — ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING — WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
- HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

3 TEMPORARY SOIL STOCKPILE
NOT TO SCALE

E&S CONTROL NOTES:

- THE OPERATOR (SITE CONTRACTOR) SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- CONSTRUCTION VEHICLES AND EQUIPMENT ENTERING AND EXITING THE SITE MUST ENTER AND EXIT AT THE STABILIZED CONSTRUCTION ENTRANCE ONLY. MEASURES MUST BE TAKEN TO PREVENT SOIL AND SEDIMENT FROM A VEHICLE'S TIRES FROM BEING DEPOSITED ONTO PUBLIC ROADS.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTION OF ALL BEST PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE TOWN OF HYDE PARK COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING, AND RE-STABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE TOWN OF WAPPINGER.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND APPROVED BY THE TOWN OF WAPPINGER, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- EROSION AND SEDIMENT BMPS (BEST MANAGEMENT PRACTICES) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

BMPS — AFTER DISTURBANCE

- WITHIN FOURTEEN (14) DAYS OF DISTURBANCE, WHEN FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPS MUST BE STABILIZED IMMEDIATELY.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

PERMANENT STABILIZATION SEED MIXTURE		
PERMANENT SEED MIXTURE	SPECIES	
	TALL FESCUE OR	44
	KENTUCKY BLUEGRASS	130
	PERENNIAL RYEGRASS	44

PERMANENT SEEDING SCHEDULE:

- TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SEHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SF

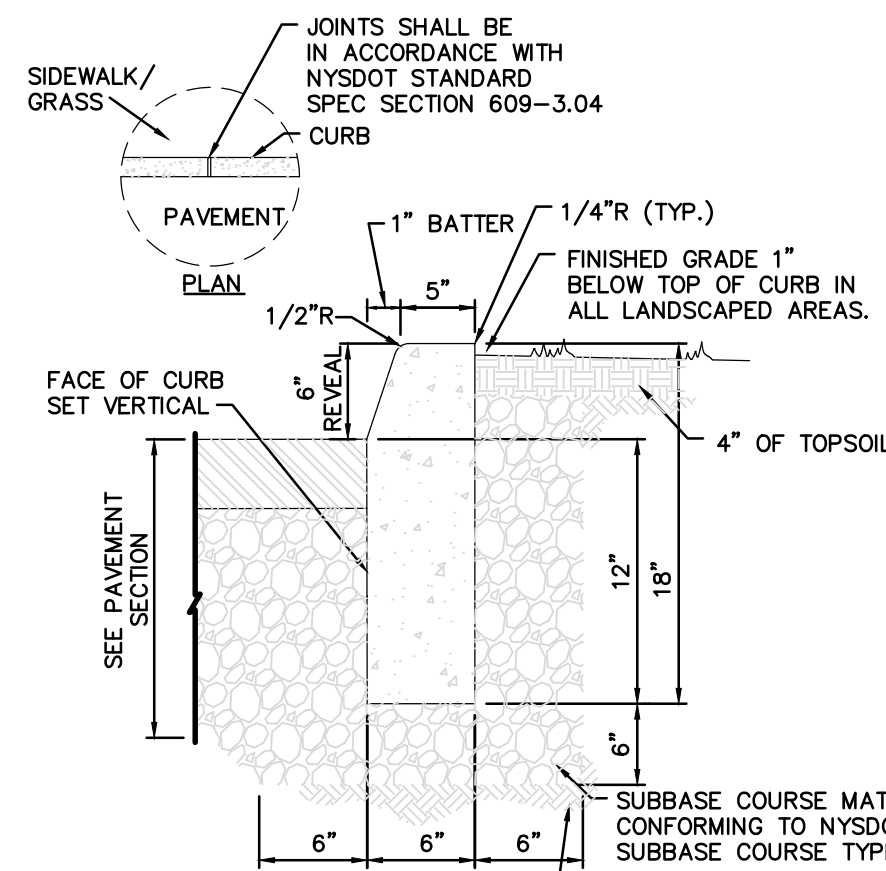
CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

REVISIONS

NO.	DATE	DESCRIPTION
1.	2.07.22	PER CONSULTANT COMMENTS

EROSION CONTROL DETAILS

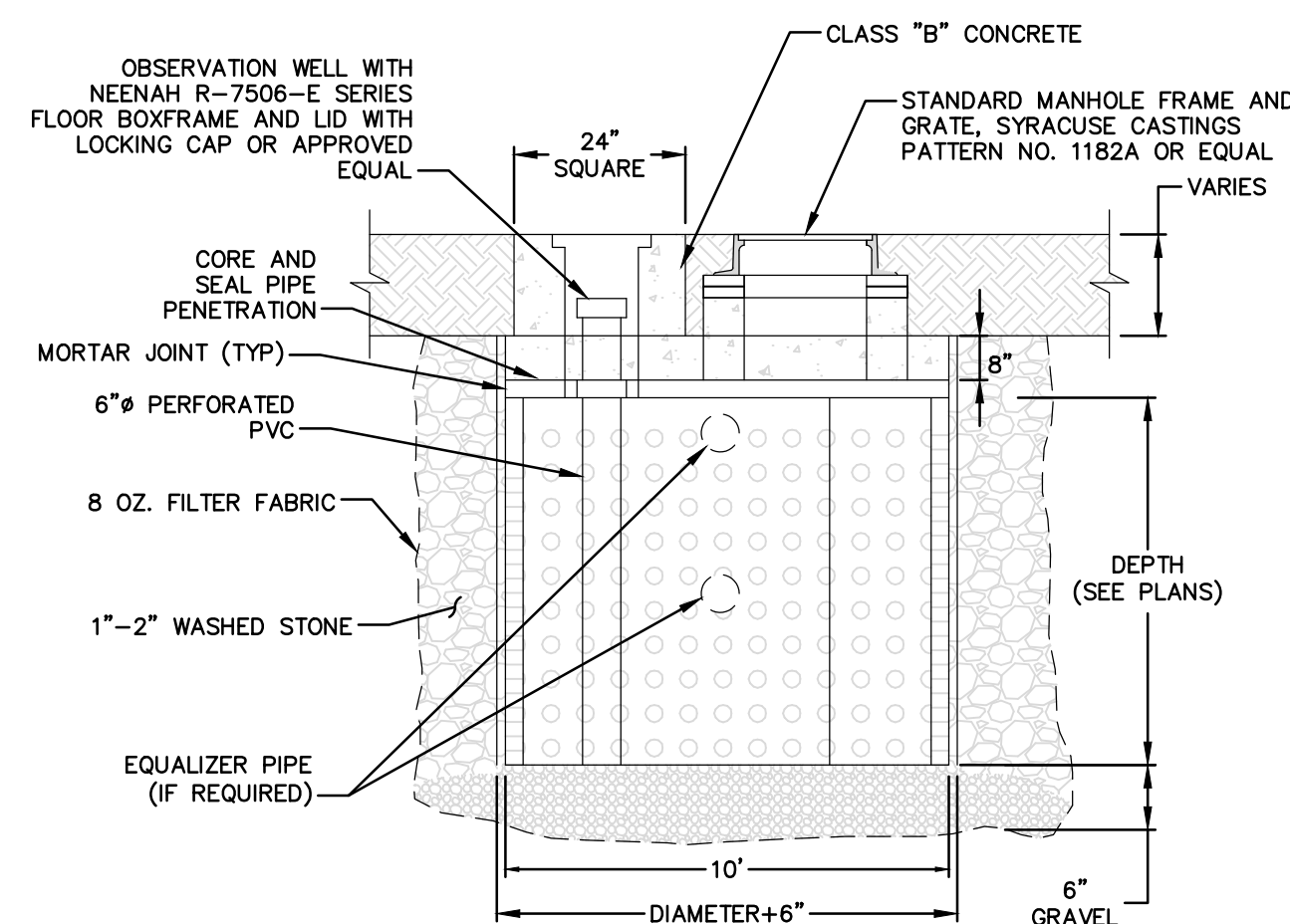
DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-6.1



- NOTES:
1. CONCRETE CURB SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
 2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

1 SITE CAST IN PLACE CONCRETE CURB

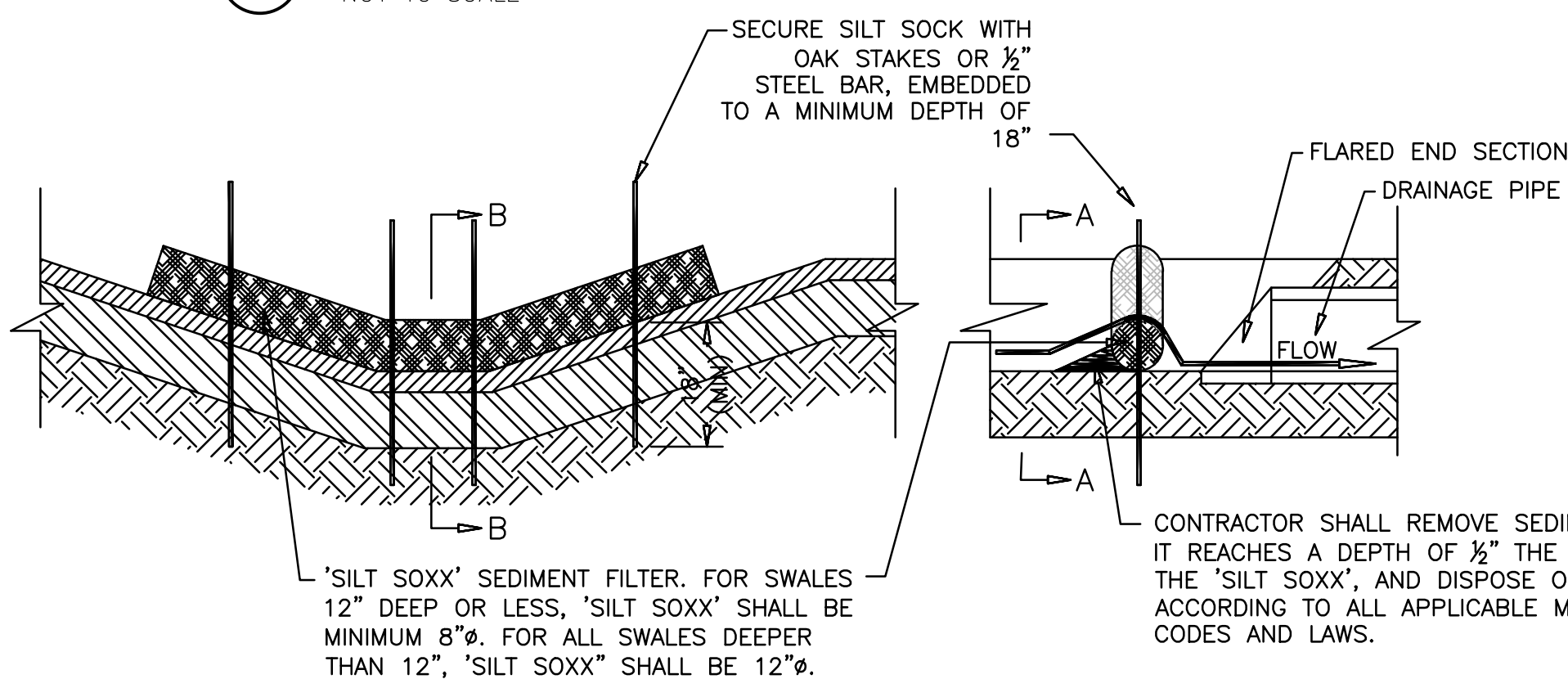
NOT TO SCALE



- NOTES:
1. DRY WELLS SHALL BE PROVIDED WITH STEPS (SEE STEP DETAIL). STEPS SHALL BE SPACED AT 12" O.C.
 2. DRY WELLS SHALL BE MAINTAINED AS NECESSARY.
 3. EQUALIZATION PIPES (IF REQUIRED FOR MULTIPLE DRY WELL UNITS) SHALL BE SET AT MID AND TOP OF STRUCTURE AND PITCH TO ADJACENT DRY WELL(S).
 4. OBSERVATION WELL SHALL BE 6" SDR 35 AND SHALL BE PERFORATED WITHIN DRY WELL INTERIOR.
 5. YARD DRAINS FOR ROOF LEADERS CONNECTION SHALL HAVE SOLID LIDS.
 6. ROOF LEADER DRAIN PIPES AND UNDERDRAIN PIPES SHALL BE PITCHED AWAY FROM BUILDINGS AT A MINIMUM 1.0% SLOPE.

4 PRECAST CONCRETE DRY WELL

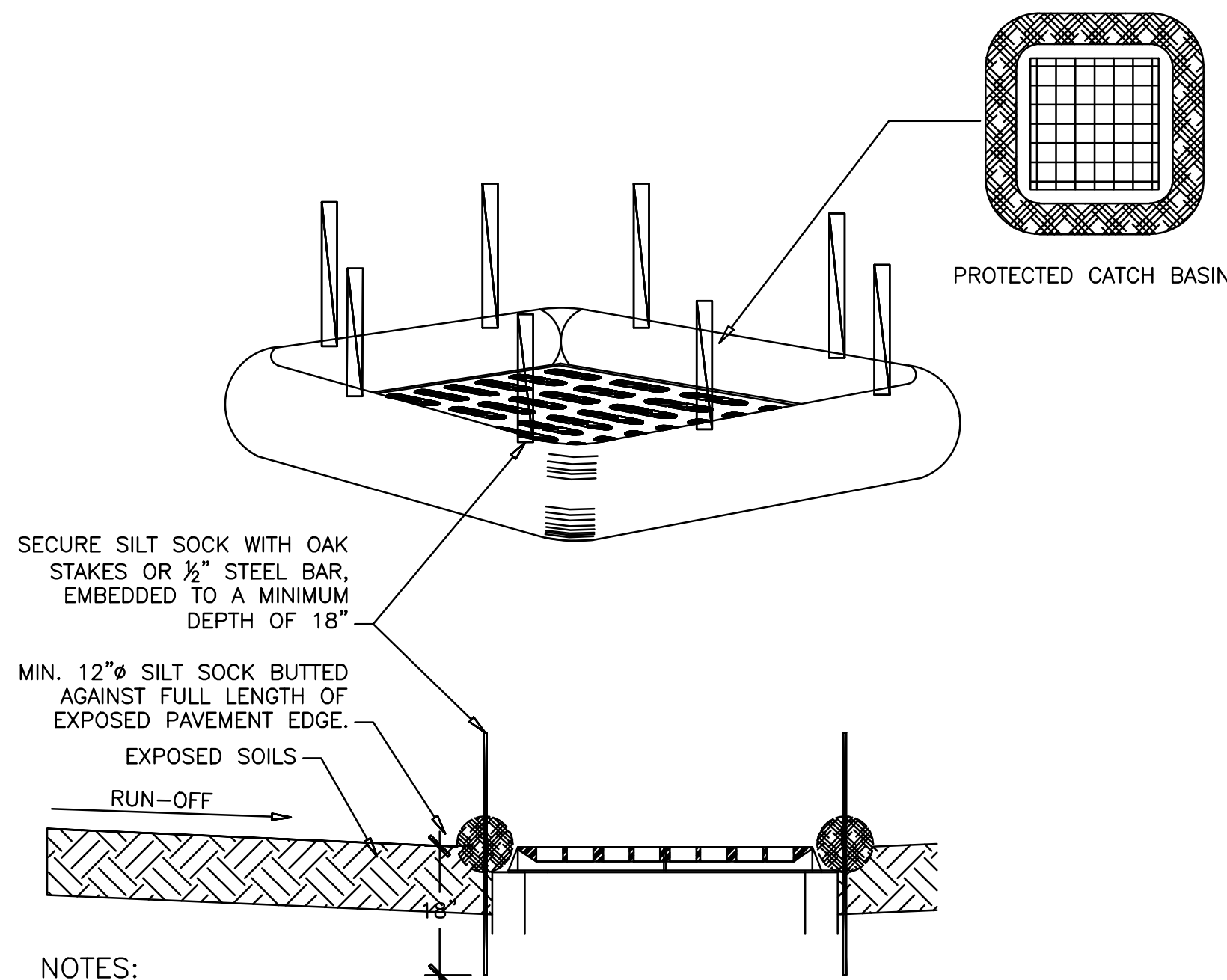
NOT TO SCALE



- NOTES:
1. SILT SOCK SHALL BE "SILTSOXX" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.

5 SWALE AND PIPE ENTRANCE SEDIMENT PROTECTION DETAIL

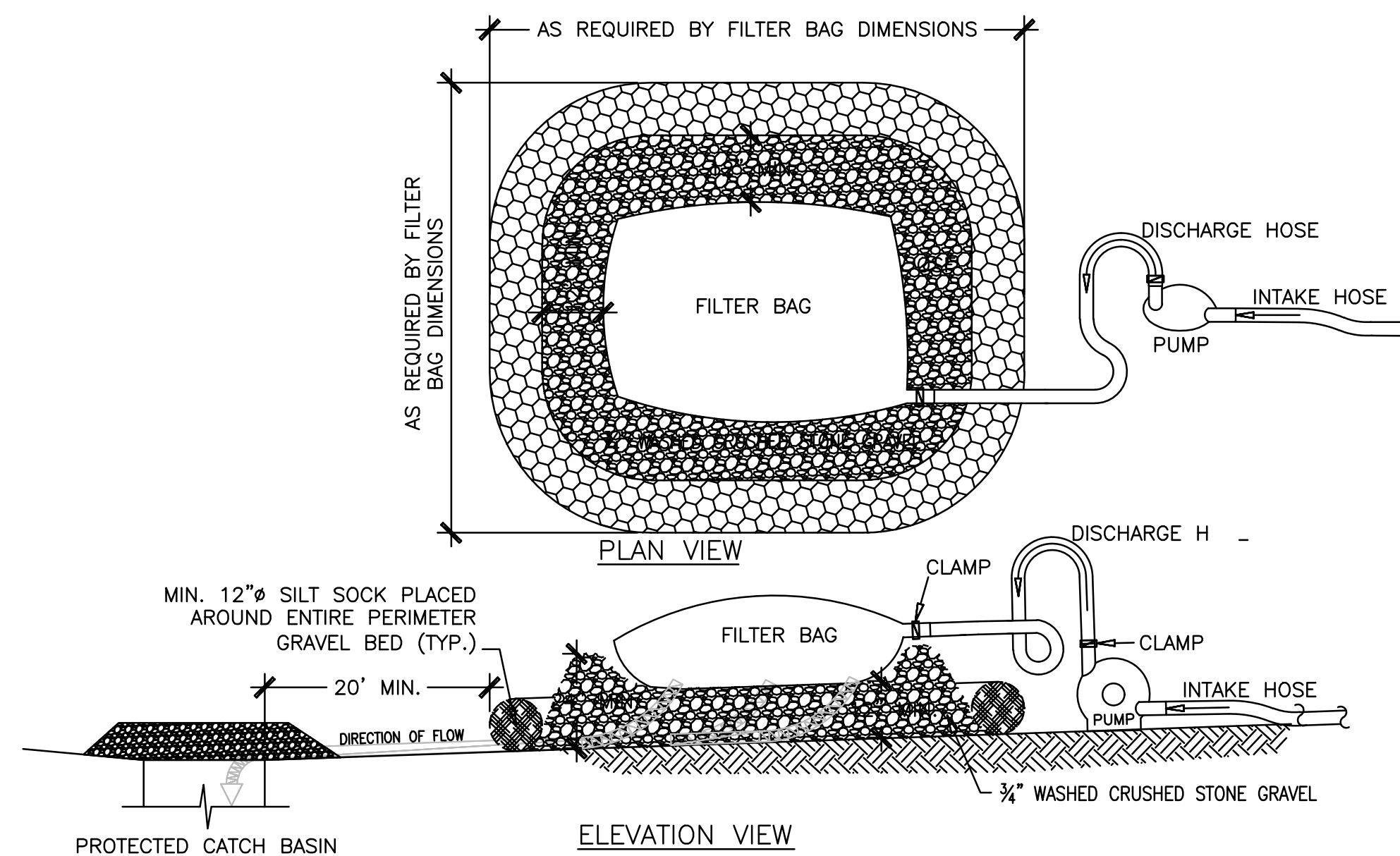
NOT TO SCALE



- NOTES:
1. SILT SOCK SHALL BE "SILTSOXX" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.

2 CATCH BASIN PROTECTION DETAIL

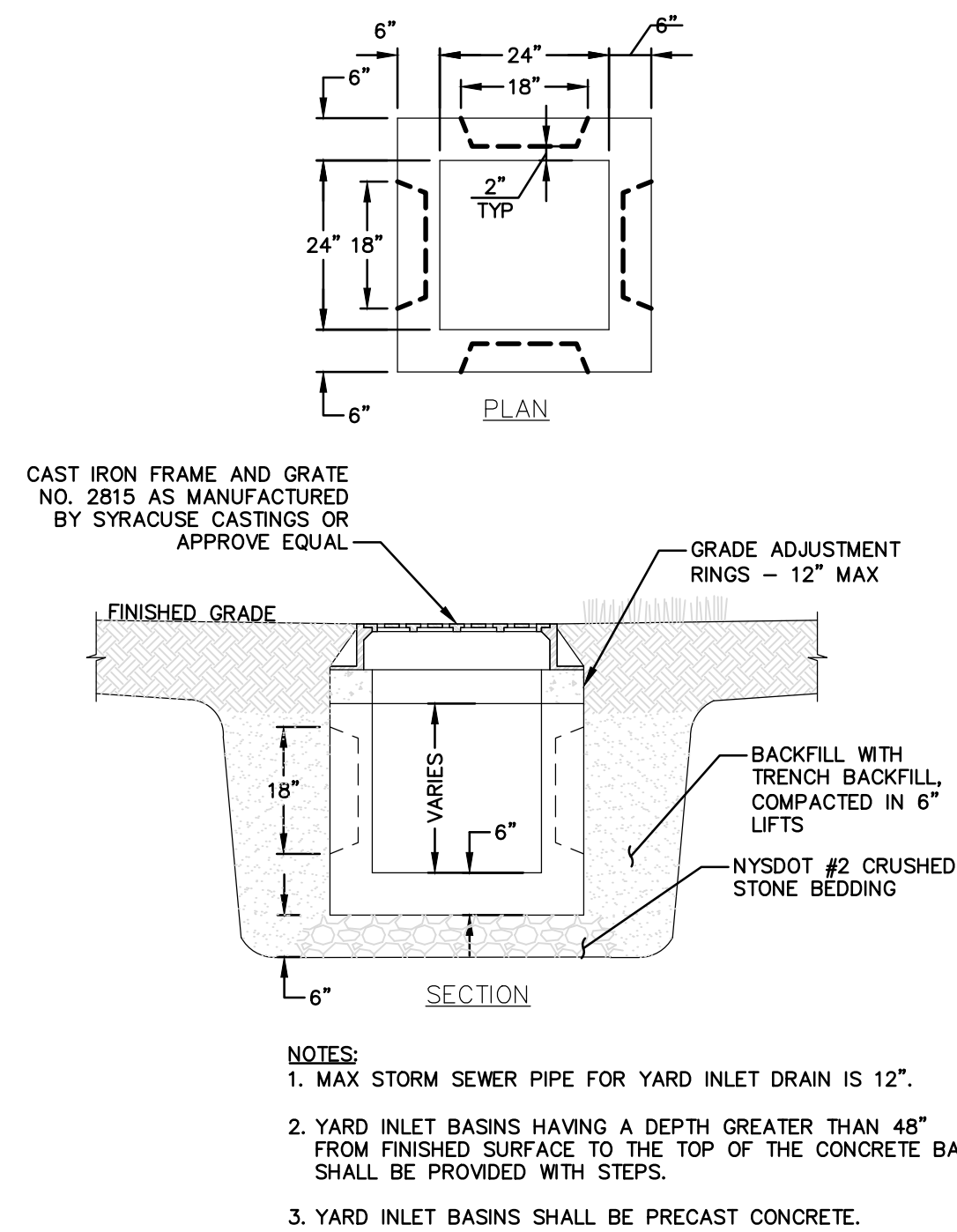
NOT TO SCALE



- NOTES:
1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEO-TEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
 2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
 3. BAGS SHALL BE LOCATED ON GRAVEL BEDS CONSTRUCTED OF A MINIMUM THICKNESS OF 12" OF 3/4" WASHED CRUSHED STONE GRAVEL, LOCATED A MINIMUM OF 20' FROM ANY DRAINAGE STRUCTURE RELIEVING THE WATER FROM THE DEWATERING PROCESS, SUCH DRAINAGE STRUCTURE ALSO BEING PROTECTED AS REQUIRED AND SHOWN IN DETAILS ELSEWHERE IN THESE PLANS. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
 4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
 5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.
 6. SILT SOCKS SHALL BE "SILTSOXX" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.
 7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

6 DEWATERING - FILTER BAG DETAIL

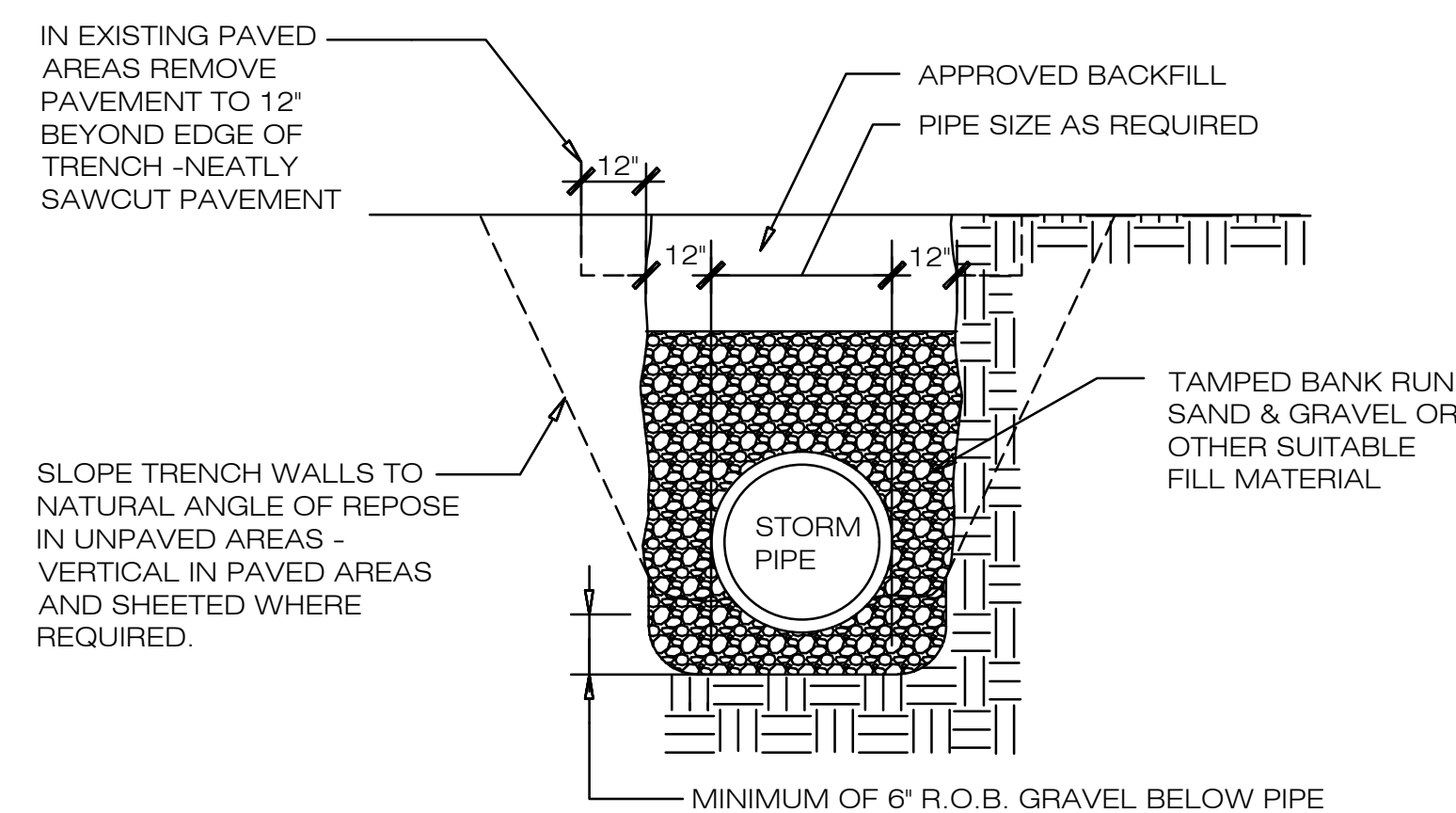
NOT TO SCALE



- NOTES:
1. MAX STORM SEWER PIPE FOR YARD INLET DRAIN IS 12".
 2. YARD INLET BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE TOP OF THE CONCRETE BASE, SHALL BE PROVIDED WITH STEPS.
 3. YARD INLET BASINS SHALL BE PRECAST CONCRETE.

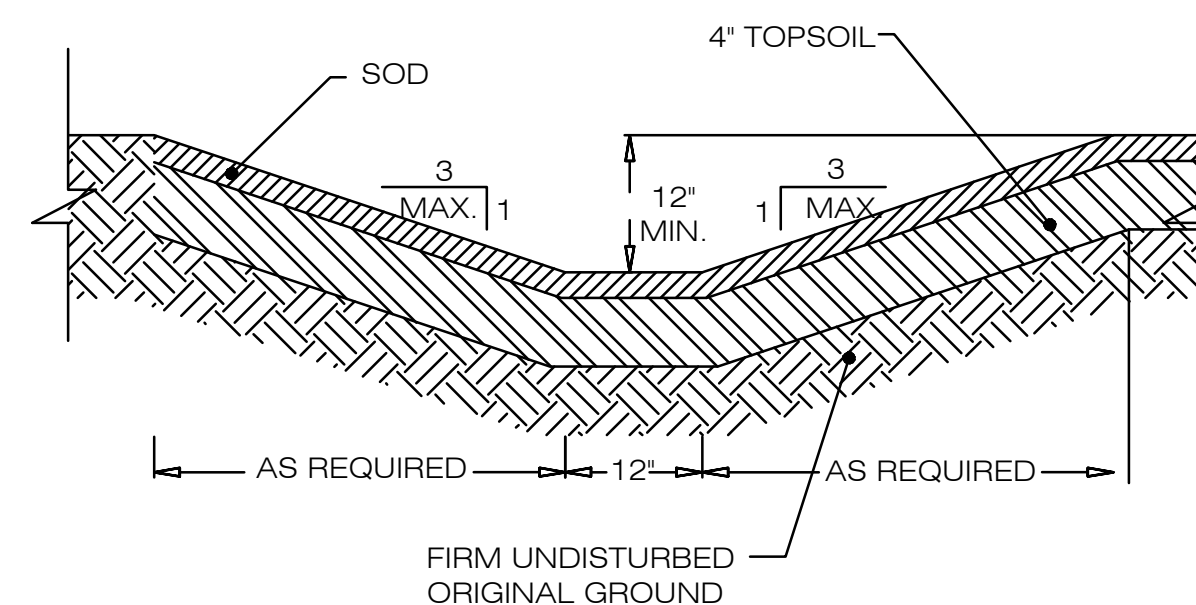
3 YARD INLET BASIN

NOT TO SCALE (SURFACE TREATMENT AND GRATE STYLE DETAIL)



7 TYPICAL TRENCH - STORM DRAINAGE

NOT TO SCALE



8 TYPICAL SWALE CROSS SECTION

NOT TO SCALE

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EROSION CONTROL
DETAILS 2

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