ISSUED FOR PERMITTING - CIVIL & STORMWATER DESIGN PLANS

OLD MYERS SOLAR PROJECT

MYERS CORNERS ROAD, WAPPINGER, DUTCHESS COUNTY, NEW YORK DUTCHESS COUNTY TAX PARCEL 135689-6258-03-376432-0000

PREPARED FOR: NY SOLAR 1001 LLC

LIGHTSTAR RENEWABLES, LLC

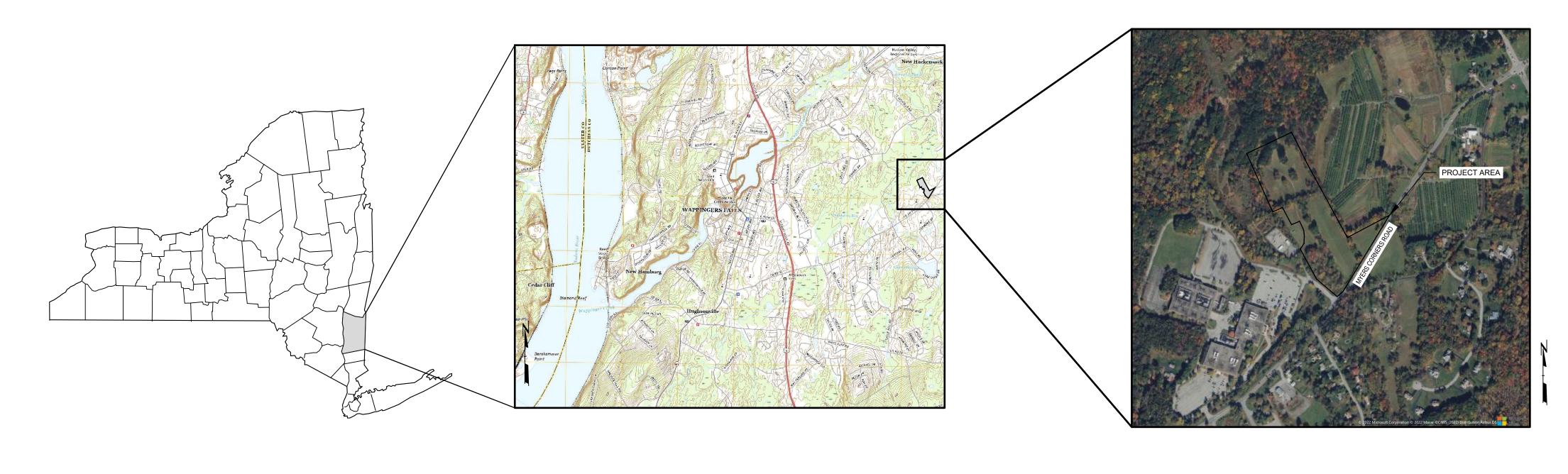
501 BOYLSTON STREET

BOSTON, MA 02116

PREPARED BY: TRC

AUGUSTA, ME

DATE: APRIL 2023



	SHEET INDEX TABLE						
SHEET NUMBER	SHEET TITLE	SHEET NUMBER					
G-01	CIVIL COVER SHEET	G-01					
G-02	GENERAL NOTES & LEGEND	G-02					
G-03	EROSION CONTROL NOTES & DETAILS	G-03					
G-04	EARTH DISTURBANCE PHASING PLAN	G-04					
C-100	EXISTING CONDITIONS & SITE PREPARATION PLAN	C-100					
C-200	OVERALL SITE LAYOUT PLAN	C-200					
C-201	SITE GRADING & DRAINAGE PLAN - SOUTH	C-201					
C-202	SITE GRADING & DRAINAGE PLAN - NORTH	C-202					
C-400	CIVIL CONSTRUCTION DETAILS	C-400					
C-401	CIVIL CONSTRUCTION DETAILS	C-401					
L-100	OVERALL LANDSCAPE PLAN	L-100					
L-101	LANDSCAPE PLAN - ENLARGED	L-101					
L-102	LANDSCAPE NOTES & DETAILS	L-102					
L-103	LANDSCAPE PLANTING TEMPLATE & SCHEDULES	L-103					
SW-100	PRE-DEVELOPMENT SUBCATCHMENT PLAN	SW-100					
SW-200	POST-DEVELOPMENT SUBCATCHMENT PLAN	SW-200					

NEW YORK WAPPINGER SITE LOCATOR

NOTE: THESE PLANS ARE ACCOMPANIED BY PERMIT APPLICATIONS OF THE SAME TITLE THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR PERMITTING PURPOSES ONLY.

NOT FOR CONSTRUCTION



UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.



GENERAL NOTES

- 1. PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION, AND EXISTING CONDITIONS SHOWN ON THESE PLANS ARE BASED UPON ON-THE-GROUND SURVEY COMPLETED BY CORNER POST LAND SURVEYING, PLLC AS PROVIDED IN A PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, PREPARED FOR LIGHTSTAR RENEWABLES LLC, SITUATE IN THE TOWN OF WAPPINGER, DUTCHESS COUNTY, NEW YORK" DATED AUGUST 12, 2022. PROVIDED BY AND USED WITH PERMISSION FROM LIGHTSTAR RENEWABLES, LLC. HORIZTONAL DATUM IS NAD83 NEW YORK STATE PLAN, EAST ZONE, FEET.
- 2. WETLAND DELINEATION WAS PERFORMED BY TRC IN JUNE OF 2022, LOCATED USING MAPPING GRADE GPS UNITS, AND ARE DESCRIBED IN A REPORT ENTITLED "WETLAND DELINEATION REPORT, OLD MEYERS SOLAR PROJECT" DATED AUGUST 2022.
- 3. ZONING BOUNDARY INFORMATION OBTAINED IS BASED ON THE ZONING MAP OF THE TOWN OF WAPPINGER, DUTCHESS COUNTY, NY, DATE OF LAST AMENDMENT OCTOBER 26, 2021.
- 4. SOILS INFORMATION FROM USDA-NRCS WEB SOIL SURVEY DUTCHESS COUNTY, NY.
- 6 FLOOD ZONE CLASSIFICATION: SITE LIES OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X); AS SHOWN ON MAP NUMBERED 36027C0457E, WITH A EFFECTIVE DATE OF MAY 2, 2012.

THE EROSION AND SEDIMENTATION CONTROL MEASURES FOR THIS PROJECT SHALL BE IN SUBSTANTIAL COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION STATE DISCHARGE POLLUTANT ELIMINATION SYSTEM GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-0-20-001).

REMOVAL NOTES:

- 1. TREES, STUMPS, ROOT BALLS, AND OTHER VEGETATION MAY BE PROCESSED BY THE USE OF CHIPPING MACHINES OR STUMP GRINDER AND USED AS REQUIRED FOR EROSION CONTROL MIX. ALL OTHER CHIPS AND WOOD WASTE RESULTING FROM REMOVAL OPERATIONS SHALL BE DISPOSED OF OFF-SITE AT A FACILITY AND IN A MANNER APPROVED BY THE OWNER.
- 2. ALL DEMOLITION WASTE, DEBRIS AND RUBBISH SHALL BE PROPERLY REMOVED FROM THE SITE AS IT OCCURS. ALL MATERIALS SHALL BE PROPERLY DISPOSED OF OFF-SITE IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THE PROPER REMOVAL AND DISPOSAL OF HAZARDOUS SUBSTANCES.
- 3. TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING IMPROVEMENTS AND FACILITIES TO REMAIN IN PLACE. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND REPLACEMENT OF DAMAGED ITEMS AS A RESULT OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

WORK WILL BE CARRIED OUT NEAR AND UNDER ENERGIZED EQUIPMENT. EXTREME CAUTION IS REQUIRED AT ALL TIMES. THE CONTRACTOR SHALL STRICTLY FOLLOW OWNER'S SAFETY REQUIREMENTS. FAILURE TO DO SO WILL RESULT IN TERMINATION.

UNLESS INDICATED OTHERWISE REFER TO THE LATEST EDITION OF THE STATE OF NEW YORK, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION (NYSDOT SPEC) FOR GENERAL REQUIREMENTS, PRODUCTS AND EXECUTION RELATED TO CONSTRUCTION OF BUT NOT LIMITED TO; CLEARING, GRUBBING, ROADS, UTILITY TRENCH EXCAVATION, BORROW, SUBGRADE, SUBBASE, GRANULAR FILL, AND AGGREGATE BASE.

PROJECT CONSTRUCTION SEQUENCING NOTES

THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SEQUENCING OR CONSTRUCTION PHASING PLAN FOR OWNER APPROVAL THAT COMPLIES WITH THE PERMITTING REQUIREMENTS, THE PROJECT SWPPP, AND OTHER REQUIREMENTS AS IDENTIFIED BY LOCAL AND STATE AUTHORITIES. THE PLAN SHALL SHOW THAT ACTIVE LAND DISTURBANCE WILL BE LIMITED TO LESS THAN FIVE (5) CONTIGUOUS ACRES AND SHALL ADEQUATELY DISCUSS, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

- 1. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS FOR TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES AS OUTLINED IN THE PROJECT SWPPP OR AS DIRECTED BY THE OWNER.
- 2. PRIOR TO COMMENCING ONSITE EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL ESTABLISH THE CONSTRUCTION WORKSPACE LIMITS AND IDENTIFY AND
- 3. THE CONTRACTOR SHALL INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO PROTECT DOWN GRADIENT AREAS. WHERE APPROPRIATE, DIVERSION BMPs SHALL BE IMPLEMENTED TO DIRECT RUNOFF FROM UPGRADIENT AREAS AROUND THE
- 4. AFTER PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE CURRENT PHASE OF WORK ARE INSTALLED AND FUNCTIONING, THE CONTRACTOR SHALL OBTAIN OWNER APPROVAL BEFORE BEGINNING EARTHWORK IN THE SUBSEQUENT PHASE.

DECOMPACTION PRACTICE AND SOIL RESTORATION

THE CONTRACTOR SHALL REFER TO NEW YORK STATE DEPARTMENT OF AGRICULTURE AND MARKETS "GUIDELINES FOR SOLAR ENERGY PROJECTS - CONSTRUCTION MITIGATION FOR AGRICULTURAL LANDS," REVISED OCTOBER 18, 2019 FOR DECOMPACTION PRACTICE AND SOIL RESTORATION. THE PRACTICE SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

- 1. BEFORE ANY TOPSOIL IS STRIPPED, REPRESENTATIVE SOIL SAMPLES SHOULD BE OBTAINED FROM THE AREAS TO BE DISTURBED AND SAMPLING SHOULD BE CONSISTENT WITH CORNELL UNIVERSITY'S SOIL TESTING GUIDELINES. THE RESULTS ARE TO ESTABLISH A BENCHMARK WITH THE SOIL'S NUTRIENT
- CHARACTERISTICS TO BE MEASURED AGAINST UPON RESTORATION.
- STRIPPED TOPSOIL SHOULD BE STOCKPILED FROM WORK AREAS AND KEPT SEPARATE FROM OTHER EXCAVATED MATERIAL. POSTPONE ANY RESTORATION PRACTICES UNTIL FAVORABLE (WORKABLE, RELATIVELY DRY) TOPSOIL/SUBSOIL CONDITIONS EXIST. RESTORATION MUST NOT BE CONDUCTED WHILE SOILS ARE IN A WET OR PLASTIC STATE OF CONSISTENCY. STOCKPILED TOPSOIL MUST NOT BE REGRADED, AND SUBSOIL MUST NOT BE DECOMPACTED UNTIL PLASTICITY, AS DETERMINED BY THE ATTERBERG FIELD TEST, IS ADEQUATELY REDUCED. NO PERMANENT PROJECT RESTORATION ACTIVITIES SHALL OCCUR IN AGRICULTURAL AREAS BETWEEN THE MONTHS OF OCTOBER THROUGH MAY UNLESS FAVORABLE SOIL MOISTURE CONDITIONS
- 4. COMPACTION TESTS WILL BE MADE AT REGULAR INTERVALS OF DISTANCE THROUGHOUT THE ACCESS OR WORK AREAS, INCLUDING EACH SOIL TYPE IDENTIFIED ON THE AFFECTED AGRICULTURAL AREAS. WHERE REPRESENTATIVE SOIL DENSITY OF THE AFFECTED AREA EXCEEDS THE REPRESENTATIVE SOIL DENSITY OF
- THE UNAFFECTED AREAS. ADDITIONAL DECOMPACTION MAY BE REQUIRED. 5. NO PROJECT RESTORATION ACTIVITIES SHALL OCCUR IN AGRICULTURAL AREAS BETWEEN THE MONTHS OF OCTOBER THROUGH MAY UNLESS FAVORABLE SOIL
- MOISTURE CONDITIONS EXIST. IF AREAS ARE TO BE RESTORED AFTER OCTOBER 1ST, NECESSARY PROVISIONS MUST BE MADE TO PREVENT POTENTIAL SPRINGTIME EROSION, AS WELL AS RESTORE ANY ERODED AREAS IN THE SPRINGTIME, TO ESTABLISH PROPER GROWTH.

NRCS SOILS TABLE

ID	NAME	SLOPE RANGE	HYDROLOGIC SOIL GROUP
Ca	CANANDAIGUA SILT LOAM, NEUTRAL SUBSTRATUM	0 - 3%	C/D
DwB	DUTCHESS-CARDIGAN COMPLEX, UNDULATING, ROCKY	1 - 6%	С
DwC	DUTCHESS-CARDIGAN COMPLEX, ROLLING, ROCKY	5 - 16%	С
HsB	HOOSIC GRAVELLY LOAM, UNDULATING	1 - 6%	А
Wy	WAYLAND SILT LOAM	0 - 3%	C/D

LEGEND

PROPOSED PERVIOUS HAUL ROAD

PROPOSED TREE LINE

PROPOSED CHAIN LINK FENCE

PROPOSED MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED PAVED DRIVEWAY APRON

PROPOSED VEGETATED MAINTENANCE PATH

PROPOSED OVERHEAD ELECTRIC LINE AND POLE

PROPOSED EQUIPMENT PAD

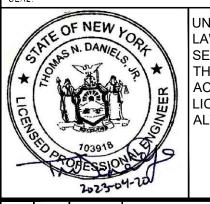
PROPOSED SINGLE-AXIS TRACKER SOLAR ARRAY

— — PROJECT PROPERTY BOUNDARY ____ 390 ___ _ EXISTING MAJOR CONTOUR — — — — — EXISTING MINOR CONTOUR _____ EXISTING UNPAVED ROAD EXISTING FENCE EXISTING BUILDING EXISTING SPOT ELEVATION x415.7 . . . EXISTING TREES AND/OR BRUSH EXISTING CULVERT EXISTING OVERHEAD ELECTRIC b EXISTING UTILITY POLE DELINEATED WETLAND: NYSDEC JURISDICTION — — NYSDEC 100-FOOT WETLAND BUFFER DELINEATED WETLAND: USACE JURISDICTION ONLY __ __ LOCAL 100-FOOT WETLAND BUFFER —— · · — DELINEATED STREAM ——— LOD ——— LIMITS OF DISTURBANCE

DIMENSIONAL STANDARDS REQUIREMENT ORIGIN **DIMENSION** REQUIRED **PROVIDED** FRONT LOT LINE SETBACK (FEET) 75 78 SIDE LOT LINE SETBACK (FEET) 40 40 **DIMENSIONAL REGULATIONS -**RESIDENTIAL DISTRICTS TOWN REAR LOT LINE SETBACK (FEET) 2,203 OF WAPPINGER ZONING ATTACHMENT 240-3 MAXIMUM IMPERVIOUS AREA OCCUPYING SITE (%) 15 <1 GROUND-MOUNTED SOLAR 161,537 152,072 (9.41% OF **ENERGY SYSTEMS** PANEL COVERAGE AREA (SQUARE FEET) (10% OF LOT AREA) CODE § 240-57 LOT AREA) 710 (0.5% OF LOT ARRAY POST/PILE COVERAGE AREA (SQUARE FEET) AREA)

ISSUED FOR PERMIT

NOT FOR CONSTRUCTION



UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

	GMT	04/20/2023	REVISED LANDSCAPING	TND
	JRP	03/22/2023	REVISED PER TOWN COMMENTS	TND
	JRP	02/02/2023	ISSUED FOR PERMITTING	TND
١.	BY	DATE	REVISION	APP'D.
),JF	ECT:			

NY SOLAR 1001 LLC **OLD MYERS SOLAR PROJECT** MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

GENERAL NOTES & LEGEND

JRP PROJ. NO.:

DRAWN BY:

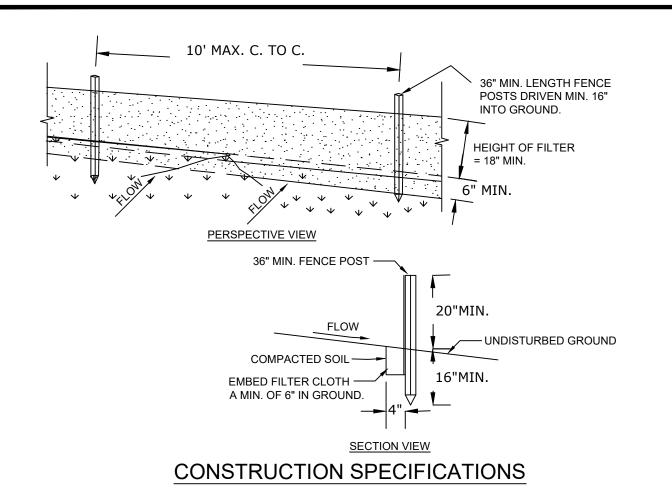
249 Western Ave Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com

G-02

488729 - G SHEETS.dwg

ZONING REQUIREMENTS

TOWN OF WAPPINGER ZONING INFO R-80 RESIDENTIAL -SITE ZONING **ONE-FAMILY RESIDENCE CLASSIFICATION:** DISTRICT OVERLAY & FLOATING NONE DISTRICTS:



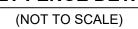
- 1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIZ INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA T140N, OR
- 2. PRE-FABRICATED SILT FENCE SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED ALTERNATE. 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

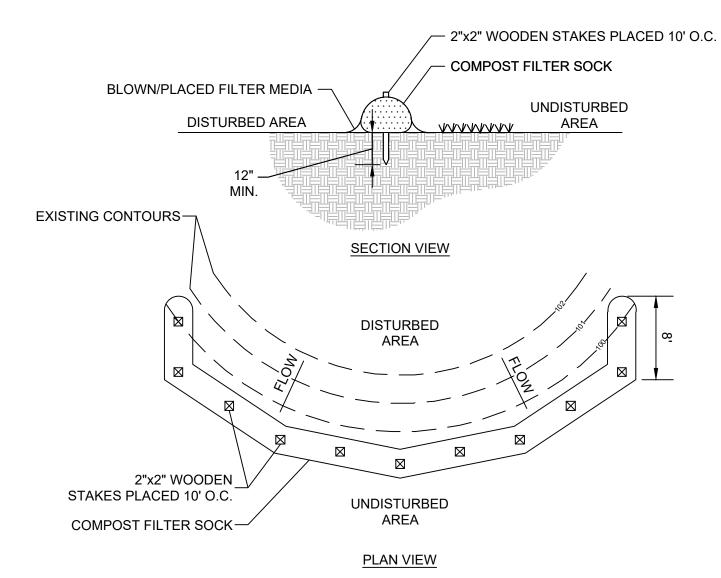
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE



APPROVED ALTERNATE.

SILT FENCE DETAIL



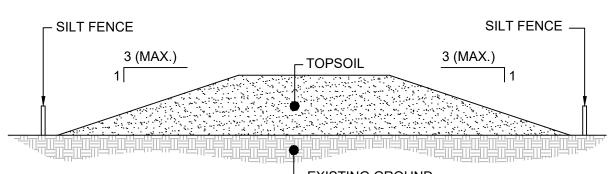


		MAXIMUM SLOPE LENGTH					
DIA.				SLOPE			
(in.)	2 %	5 %	10 %	20 %	25 %	33 %	50 %
8	225*	200	100	50	20		
12	250	225	125	65	50	40	25
18	275	250	150	70	55	45	30
24	350	275	200	130	100	60	35
32	450	325	275	150	120	75	50
* SLOP	E LENG	TH (ft)					



COMPOST FILTER SOCK DETAIL

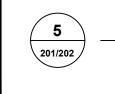
(NOT TO SCALE)



- EXISTING GROUND
- MANUFACTURER'S SPECIFICATIONS. 2. STOCKPILE SHALL RECEIVE TEMPORARY VEGETATIVE STABILIZATION IN ACCORDANCE

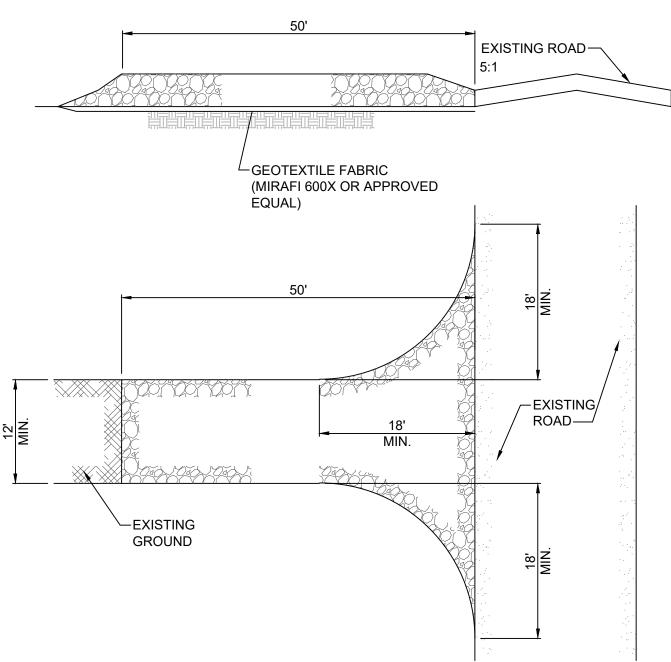
1. STOCKPILE SHALL BE SURROUNDED BY COMPOST FILTER SOCK OR SILT FENCE PER

WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL IMMEDIATELY AFTER COMPLETION OF STOCKPILE.



TOPSOIL STOCKPILE DETAIL

(NOT TO SCALE)



- 1. STONE SIZE USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. LENGTH - NOT LESS THAN 50 FEET. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT
- MINIMUM WOULD APPLY. 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE FABRIC WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE
- BERM WITH 5:1 SLOPES WILL BE PERMITTED. 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- 2" DIA. CRUSHED STONE

C-201

CUTOFF TRENCH

NON-WOVEN GEOTEXTILE

EQUAL)

(MIRAFI 140N OR APPROVED

FILTER -

FABRIC

6

18" WIDE X 6" DEEP

STABILIZED CONSTRUCTION ENTRANCE

PROFILE

SECTION A-A

SECTION B-B

STONE CHECK DAM DETAIL

(NOT TO SCALE)

CUTOFF TRENCH

SLOPE

(FT/FT)

0.030

0.040

0.100

0.120

0.150

OF EQUAL ELEVATION

INSTALL WHERE INDICATED ON SITE GRADING PLAN AND

"L" = THE DISTANCE SUCH THAT POINTS "A" AND "B" ARE

AS NEEDED BY SPACING REQUIREMENTS.

LENGTH

(FT)

(NOT TO SCALE)

PERMANENT CONSTRUCTION AREA PLANTING

FINAL STABILIZATION SHOULD BE IMPLEMENTED AT THE COMPLETION OF EACH PHASE. ONCE CONSTRUCTION IS COMPLETE, EXPOSED SOILS REQUIRE FINAL AND PERMANENT STABILIZATION. ACCORDING TO FINAL DESIGN OF THE CONSTRUCTION AREA AND ACCESS, SOILS SHOULD BE GRADED SMOOTH AND LEVEL TO ELIMINATE RUTTING AND CONCENTRATED FLOWS, PUDDLING AND UNEVEN SURFACES FOR FUTURE MAINTENANCE ACTIVITIES. UNIMPROVED AREAS SHOULD BE RESTORED TO ORIGINAL GRADE UNLESS PERMITTED AND PLANNED FOR REQUIRED FUTURE MAINTENANCE. CONSERVED STOCKPILED TOPSOIL SHOULD BE UTILIZED FOR TOPDRESSING GRADED SUB-SOILS AT EXCAVATION LOCATIONS. ANY SEVERELY COMPACTED SECTIONS WILL REQUIRE CHISELING OR DISKING TO PROVIDE AN ADEQUATE ROOTING ZONE, TO A MINIMUM DEPTH OF 12". THE SEEDBED MUST BE PREPARED TO ALLOW GOOD SOIL TO SEED CONTACT, WITH THE SOIL NOT TOO SOFT AND NOT TOO COMPACT. ADEQUATE SOIL MOISTURE MUST BE PRESENT TO ACCOMPLISH THIS. IF SURFACE IS POWDER DRY OR STICKY WET, POSTPONE OPERATIONS UNTIL MOISTURE CHANGES TO A FAVORABLE CONDITION. REMOVE ALL STONES AND OTHER DEBRIS FROM THE SURFACE THAT ARE GREATER THAN 3 INCHES. OR THAT WILL INTERFERE WITH FUTURE MOWING OR MAINTENANCE

SOIL AMENDMENTS SHOULD BE INCORPORATED INTO THE UPPER 2 INCHES OF SOIL WHEN FEASIBLE. THE SOIL SHOULD BE TESTED TO DETERMINE THE AMOUNTS OF AMENDMENTS NEEDED. APPLY GROUND AGRICULTURAL LIMESTONE TO ATTAIN A PH OF 6.0 IN THE UPPER 2 INCHES OF SOIL. IF SOIL MUST BE FERTILIZED BEFORE RESULTS OF A SOIL TEST CAN BE OBTAINED TO DETERMINE FERTILIZER NEEDS, APPLY COMMERCIAL FERTILIZER AT 600 LBS. PER ACRE

IF SOILS ARE SOFT, MECHANICAL MULCHING MAY NOT BE AVAILABLE DUE TO THE INEVITABLE RUTTING WITH MULCHING EQUIPMENT.

ANY UPLAND AREAS THAT ARE DISTURBED SHALL BE STABILIZED USING PERMANENT SEED MIX AS SPECIFIED IN THE SSESC, UNLESS DIRECTED OTHERWISE IN ASSOCIATED PERMITTING

ACCEPTARI E DEDMANENT SEED MIXTURES (ADADTED EDOM SSESC

4C	CEPTABLE PERMANENT SEED MIXT	URES (ADAPTED FROM SSESC)		
	SEED MIXTURE	VARIETY	RATE IN LBS.	RATE IN LBS
			PER ACRE	PER 1000 SQ. FT.
	MIX #1			
	CREEPING RED FESCUE	ENSYLVA, PENNLAWN, BOREAL	10	0.25
	PERENNIAL RYEGRASS	PENNFINE, LINN	10	0.25
	*THIS MIX IS USED EXTENSIVELY F	OR SHADED AREAS.		
	MIX #2			

TRAILBLAZER, OR BLACKWELL 20

*THIS RATE IS IN PURE LIVE SEED, THIS WOULD BE AN EXCELLENT CHOICE ALONG THE UPLAND EDGE OF A WETLAND TO FILTER RUNOFF AND PROVIDE WILDLIFE BENEFITS. IN AREAS WHERE EROSION MAY BE A PROBLEM, A COMPANION SEEDING OF SAND LOVEGRASS SHOULD BE ADDED TO PROVIDE QUICK COVER AT A RATE OF 2 LBS. PER ACRE (0.05 LBS. PER 1000 SQ. FT.).

IVIIA #3			
SWITCHGRASS	SHELTER, PATHFINDER,		
	TRAILBLAZER, OR BLACKWELL	4	0.
BIG BLUESTEM	NIAGARA	4	0.
LITTLE BLUESTEM	ALDOUS OR CAMPER	2	0.
INDIANGRASS	RUMSEY	4	0.
COASTAL PANICGRASS	ATLANTIC	2	0.
SIDEOATS GRAMA	EL RENO OR TRAILWAY	2	0
WILDELOWER MIX		0.5	0

SHELTER, PATHFINDER.

*THIS MIX HAS BEEN SUCCESSFUL ON SAND AND GRAVEL PLANTINGS. IT IS VERY DIFFICULT TO SEED WITHOUT A WARM SEASON GRASS SEEDER SUCH AS A TRUAX SEED DRILL. BROADCASTING THIS SEED IS VERY DIFFICULT DUE TO THE FLUFFY NATURE OF SOME OF THE SEED, SUCH AS BLUESTEMS AND

INDIANGRASS

SWITCHGRASS

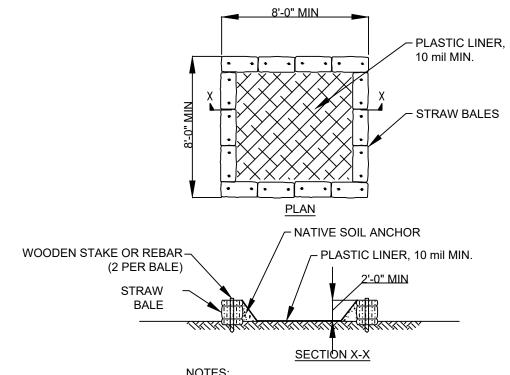
W117X 77				
SWITCHGRA	SS	SHELTER, PATHFINDER		
		TRAILBLAZER, OR BLACKWELL	10	0.25
COASTAL PA	ANICGRASS	ATLANTIC	10	0.25
*THIS MIX IS	SALT TOLERANT, A GO	OOD CHOICE ALONG THE UPLAND E	DGE OF TIDAL AREAS AND F	ROADSIDES.
MIX #6				
CREEPING R	RED FESCUE	ENSYLVA, PENNLAWN, BOREAL	20	0.45
CHEWINGS F	FESCUE	COMMON	20	0.45
PERENNIAL	RYEGRASS	PENNFINE, LINN	5	0.10
RED CLOVER	₹	COMMON	10	0.45
*GENERAL P	PURPOSE EROSION CO	NTROL MIX. NOT TO BE USED FOR A	A TURF PLANTING OR PLAY	GROUNDS.

TEMPORARY STABILIZATION FOR FROZEN CONDITIONS

- 1. ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ACCORDING TO THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. THE WINTER STABILIZATION STANDARD APPLIES TO ALL CONSTRUCTION ACTIVITIES INVOLVED WITH ONGOING LAND DISTURBANCE AND EXPOSURE BETWEEN NOVEMBER 15TH TO THE FOLLOWING APRIL 1ST. THE ADDITIONAL ITEMS FOR FROZEN CONDITIONS TO CONSIDER ARE:
- 2. SITE STABILIZATION MULCHING SHOULD BE TRACKED INTO THE SOIL PRIOR TO FROZEN CONDITIONS, OR ANCHORED WITH NATURAL FIBER NETTING. APPLICATION OF MULCHING SHOULD BE PERFORMED PRIOR TO SIGNIFICANT SNOW FALL. IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE. MAKING THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES SHOULD BE APPLIED AT DOUBLE THE MANUFACTURER'S RECOMMENDED RATE IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED. THE APPLICATION OF SOIL STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN THREE (3) DAYS. ACCUMULATED SNOW AND FROZEN

CONDITIONS ALONE ARE NOT CONSIDERED STABILIZATION.

- 3. SLOPES ALL SLOPES AND GRADES MUST BE PROPERLY STABILIZED WITH APPROVED METHODS. ROLLED EROSION CONTROL PRODUCTS MUST BE USED ON ALL SLOPES GREATER THAN 3:1, OR WHERE CONDITIONS FOR EROSION DICTATE SUCH MEASURES.
- 4. A MINIMUM 25 FOOT BUFFER SHALL BE MAINTAINED FROM ALL PERIMETER CONTROLS SUCH AS SILT FENCE. MARK SILT FENCE WITH TALL STAKES THAT ARE VISIBLE ABOVE THE SNOW PACK, EDGES OF DISTURBED AREAS THAT DRAIN TO A WATERBODY WITHIN 100 FEET WILL HAVE 2 ROWS OF SILT FENCE, 5 FEET APART, INSTALLED ON THE
- 5. SOIL STOCKPILES STOCKPILED SOILS MUST BE PROTECTED BY THE USE OF ESTABLISHED VEGETATION, ANCHORED-DOWN MULCH, ROLLED EROSION CONTROL PRODUCTS, OR OTHER DURABLE COVERING. SEDIMENT CONTROLS MUST BE INSTALLED DOWNSLOPE OF THE PILE TO CONTROL SEDIMENTATION TO UNDISTURBED
- 6. CONSTRUCTION ENTRANCE ALL ENTRANCE AND EXIT LOCATIONS TO THE SITE MUST BE PROPERLY STABILIZED AND MUST BE MAINTAINED TO ACCOMMODATE SNOW MANAGEMENT AS SET FORTH IN THE SSESC.
- 7. SNOW MANAGEMENT SNOW MANAGEMENT MUST NOT DESTROY OR DEGRADE EROSION AND SEDIMENT CONTROL PRACTICES. PLOWING PERFORMED SHOULD NOT MIGRATE PLACED CRUSHED STONE OR ACCUMULATED MATTING DEBRIS WITHIN WATERBODIES, CONVEYANCES OR PROTECTED AREAS, PREPARE A SNOW MANAGEMENT PLAN WITH ADEQUATE STORAGE FOR SNOW AND CONTROL OF MELT WATER, REQUIRING CLEARED SNOW TO BE STORED IN A MANNER NOT AFFECTING ONGOING CONSTRUCTION ACTIVITIES. ENLARGE AND STABILIZE ACCESS POINTS TO PROVIDE FOR SNOW MANAGEMENT AND STOCKPILING, SNOW MANAGEMENT ACTIVITIES MUST NOT DESTROY OR DEGRADE INSTALLED EROSION AND SEDIMENT CONTROL PRACTICES. DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS. ALL DEBRIS, ICE DAMS, OR DEBRIS FROM PLOWING OPERATIONS, THAT RESTRICT THE FLOW OF RUNOFF AND MELTWATER, SHALL BE REMOVED
- 8. HEAVING FROST, FROZEN GROUND WINTER CONDITIONS, AND EQUIPMENT CAN AFFECT EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL DEVICES MUST BE CHECKED FOR DAMAGE REQUIRED TRAINED CONTRACTOR AND QUALIFIED INSPECTOR'S INSPECTIONS, AND REPAIRS MADE AS NECESSARY. THIS IS ESPECIALLY IMPORTANT DURING THAWS AND PRIOR TO SPRING RAIN EVENTS.
- 9. SHOULD WINTER SHUTDOWN OR A TEMPORARY CEASE IN SOIL DISTURBING ACTIVITIES BE REQUIRE TEMPORARY STABILIZATION METHODS SHALL BE APPLIED TO ALL DISTURBED AREAS, AND SWPPP INSPECTIONS CAN BE REDUCED TO A MINIMUM (EVERY 30 DAYS). CONTRACTOR AND/OR RESPONSIBLE PARTY SHOULD REFER TO SOIL STABILIZATION MEASURES IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NOVEMBER 2016) AND SPDES GENERAL PERMIT GP-0-15-002.

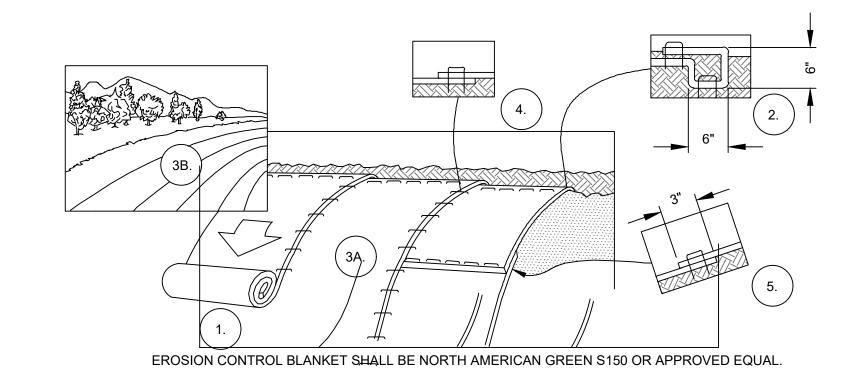


1. SUMP(S) SHALL BE LOCATED NEAR WORK SITES BUT SHALL BE PLACED AS FAR AWAY FROM WETLANDS,

- BUFFERS AND DRAINAGE SWALES AS PRACTICAL. 2. SUMP(S) SHALL BE CLEANED AND WASTE CONCRETE REMOVED AND PROPERLY DISPOSED OF
- PERIODICALLY AND UPON COMPLETION OF WORK. 3. A SIGN SHALL BE INSTALLED INDICATING "CONCRETE WASHOUT".



CONCRETE WASHOUT AREA



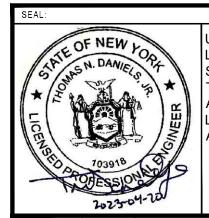
- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS BY SMOOTHING THE SURFACE, REMOVING DEBRIS AND LARGE STONES, AND APPLICATION OF ANY NECESSARY LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED
- 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS
- *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.



EROSION CONTROL BLANKET INSTALLATION

(NOT TO SCALE)

ISSUED FOR PERMIT NOT FOR CONSTRUCTION



UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING) SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

P. GMT 04/20/2023 REVISED LANDSCAPING JRP 03/22/2023 REVISED PER TOWN COMMENTS 0 JRP 02/02/2023 ISSUED FOR PERMITTING NO. BY DATE APP'D.

NY SOLAR 1001 LLC **OLD MYERS SOLAR PROJECT** MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

EROSION CONTROL NOTES & DETAILS

JRP PROJ. NO.: 488729 G-03 249 Western Ave Augusta, ME 04330

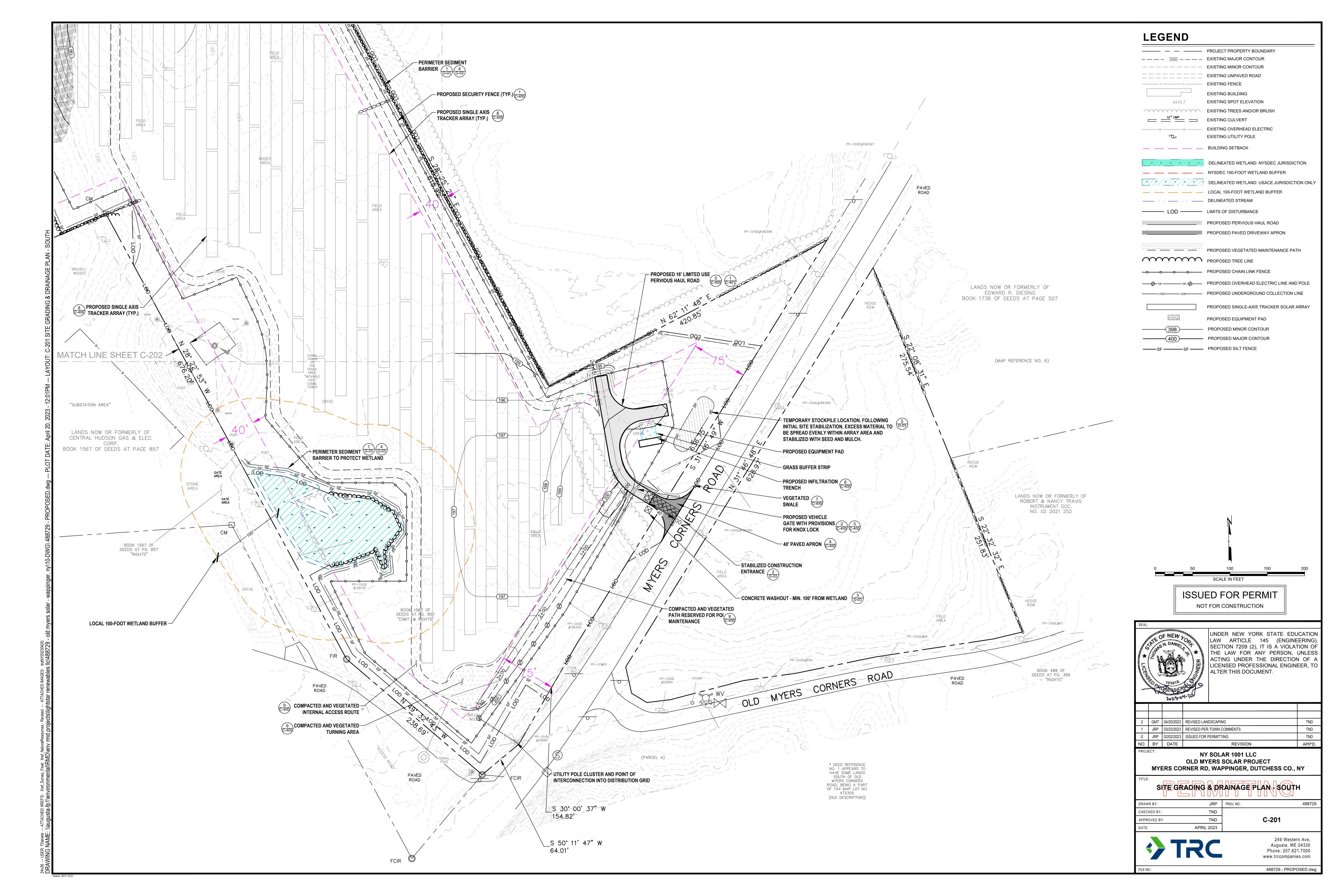
Phone: 207.621.7000 www.trccompanies.com

488729 - G SHEETS.dwg

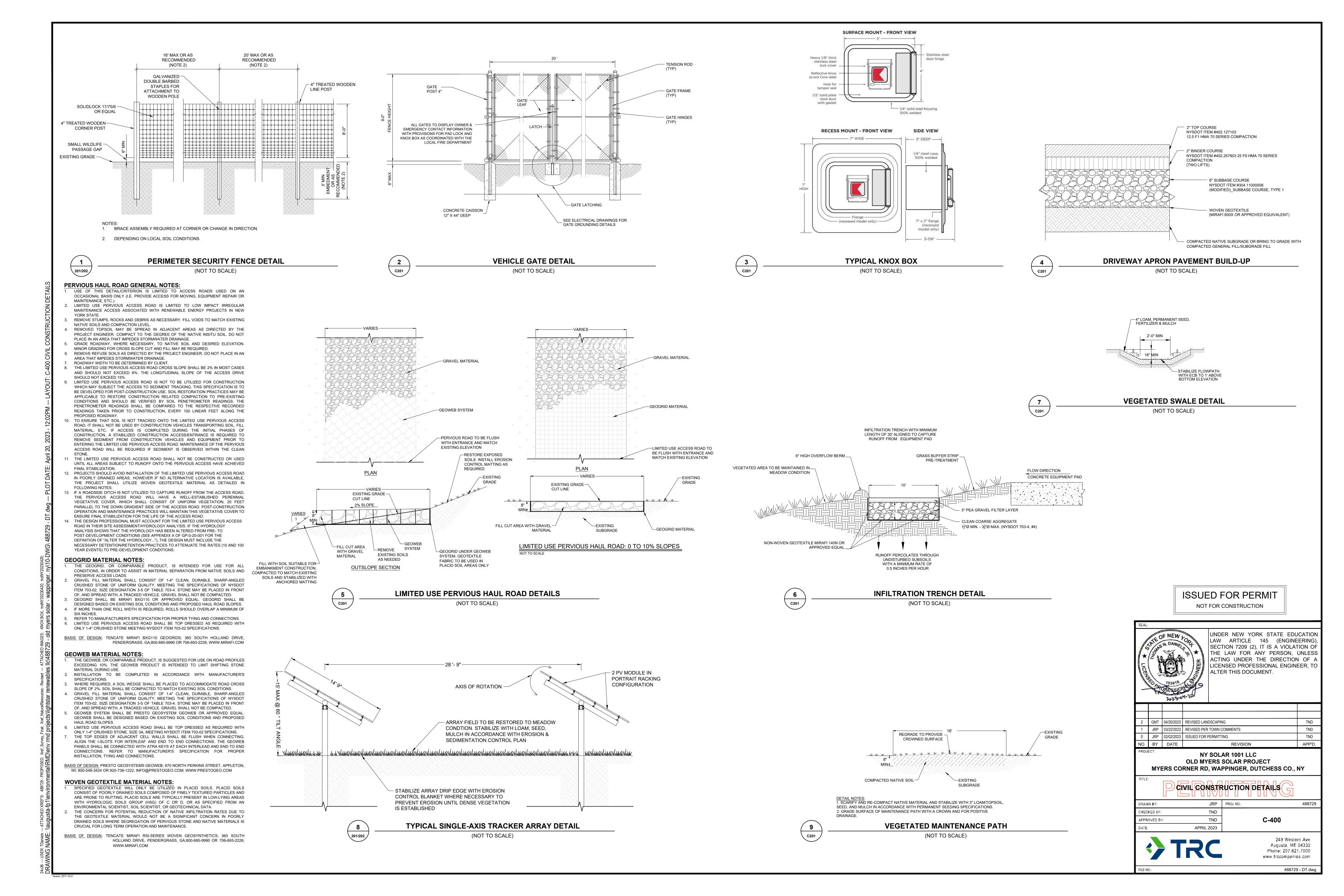


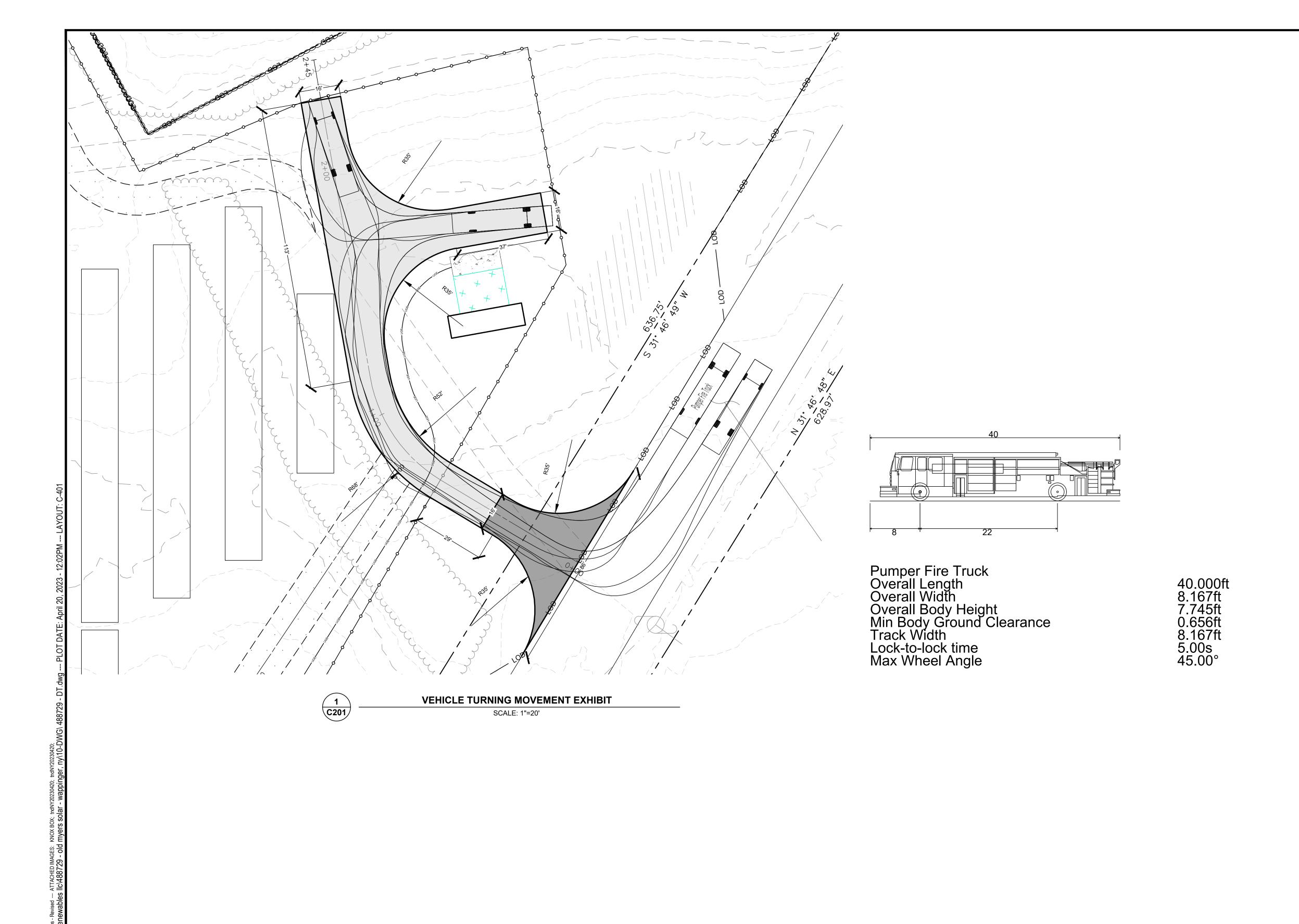






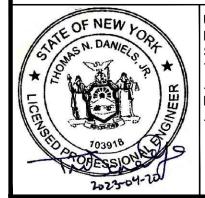






ISSUED FOR PERMIT

NOT FOR CONSTRUCTION



UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

2	GMT	04/20/2023	REVISED LANDSCAPING	TND
1	JRP	03/22/2023	REVISED PER TOWN COMMENTS	TND
0	JRP	02/02/2023	ISSUED FOR PERMITTING	TND
NO.	BY	DATE	REVISION	APP'D.
DDOU	-от.			

NY SOLAR 1001 LLC
OLD MYERS SOLAR PROJECT
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

CIVIL CONSTRUCTION DETAILS

 DRAWN BY:
 JRP
 PROJ. NO.:
 488729

 CHECKED BY:
 TND

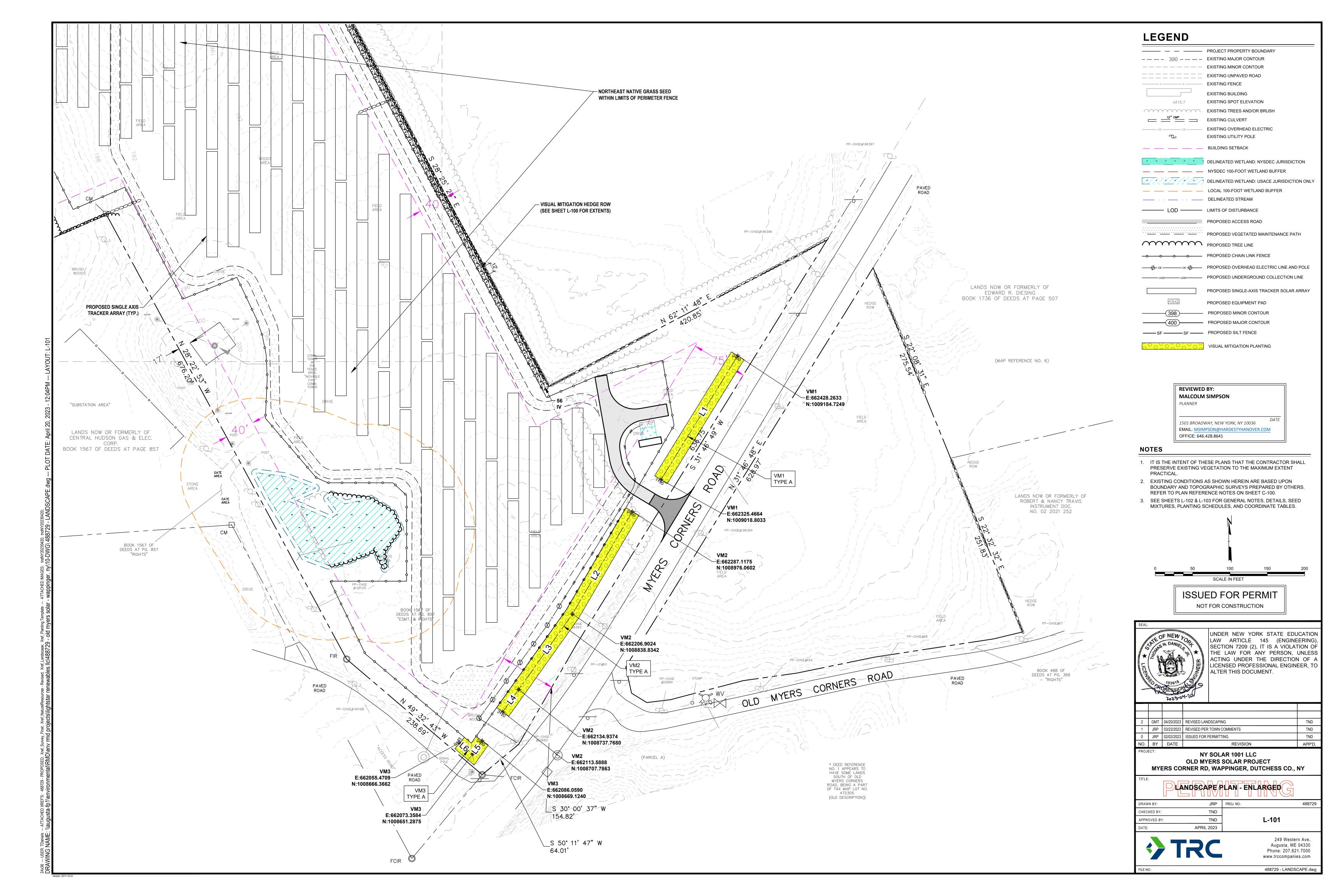
 APPROVED BY:
 TND
 C-401

♦ TRC

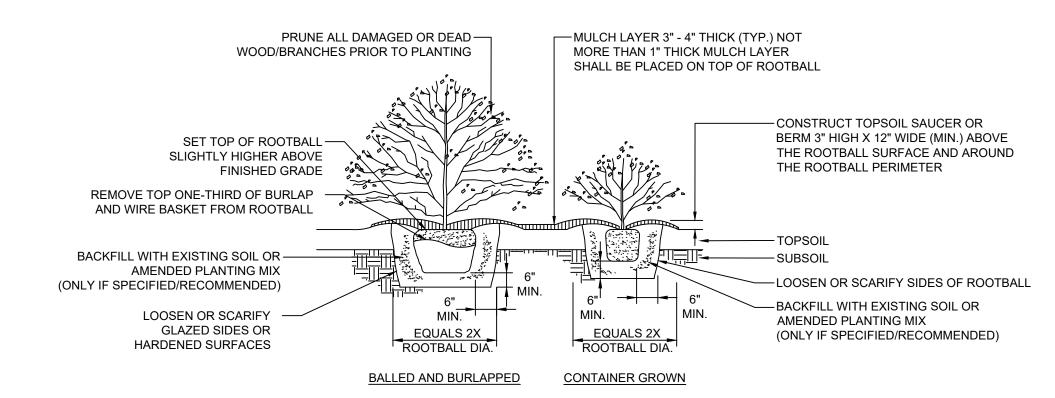
249 Western Ave Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com

488729 - DT.dwg





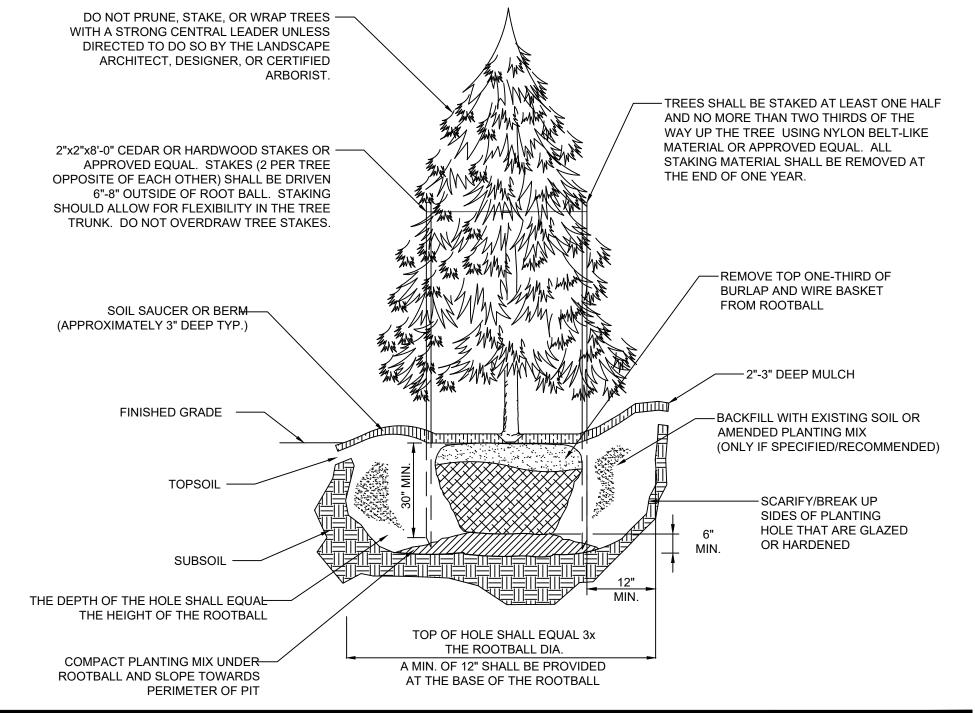
- 3. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, APPROVED SEEDING MIX, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWING(S) AND LISTED IN THE PLANT SCHEDULE(S) AND/OR SEEDING TABLE(S). IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND/OR SEEDING TABLE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF (2) TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT.
- 4. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, AND SITE FACTORS SUCH AS THE LOCATION OF ROCK OUTCROPS. PRIOR TO PLANTING THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS. THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT SHALL APPROVE THE FIELD LOCATIONS OR ADJUSTMENTS OF THE PLANT MATERIAL.
- 5. ALL SHRUB MASSING AREAS SHALL BE MULCHED TO A DEPTH OF 2" WITH SHREDDED HARDWOOD BARK MULCH.
- 6. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE CONTRACTOR. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT. STAKING OF THE INSTALLED TREE MUST BE COMPLETED THE SAME DAY AS IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED AS PER THE DETAIL. SEE LANDSCAPING PLAN(S) FOR PLANTING DETAILS.
- 7. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING AND/OR UTILITY PLANS FOR STORM, SANITARY, GAS, ELECTRIC, TELEPHONE AND WATER LINES. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- 8. LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED UNLESS RECOMMENDED OTHERWISE BY SOIL ANALYSIS.
 - PLANTING SOIL MIXTURE:
 - 2 PARTS PEAT MOSS 5 PARTS TOPSOIL
 - MYCORRHIZA INOCULANT "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR APPROVED EQUAL. USE PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS. FERTILIZER/LIME APPLY AS RECOMMENDED BY SOIL ANALYSIS
- TREES, AND SHRUBS: TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO
 THOSE IN THE LOCATION OF THE PROJECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND,
 HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE. THEY
 SHALL HAVE HEALTHY AND WELL-DEVELOPED ROOT SYSTEMS. ALL TREES SHALL HAVE STRAIGHT SINGLE TRUNKS WITH THEIR MAIN LEADER INTACT. THE
 OWNER, CERTIFIED LANDSCAPE INSPECTOR, LANDSCAPE ARCHITECT SHALL ONLY PERMIT SUBSTITUTIONS UPON WRITTEN APPROVAL. THEIR SIZES SHALL
 CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED ON THE DRAWINGS MAY BE USED IF APPROVED. THE USE
 OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL TREES AND SHRUBS SHALL BE MULCHED IN ACCORDANCE WITH THE RESPECTIVE
 PLANTING DETAIL(S) PROVIDED IN THE LANDSCAPING PLAN.
- ALL PRUNING SHALL CONFORM TO THE TREE CARE INDUSTRY ASSOCIATION (TCIA) ANSI A300 (PART 1) 2017 PRUNING STANDARDS. PRUNING STANDARDS SHALL RECOGNIZE BUT, ARE NOT LIMITED TO, THE FOLLOWING PRUNING OBJECTIVES: MANAGE RISK, MANAGE HEALTH, DEVELOP STRUCTURE, PROVIDE CLEARANCE, MANAGE SIZE OR SHAPE, IMPROVE AESTHETICS, MANAGE PRODUCTION OF FRUIT, FLOWERS, OR OTHER PRODUCTS, AND/OR MANAGE WILDLIFE HABITAT. DEVELOPING STRUCTURE SHALL IMPROVE BRANCH AND TRUNK ARCHITECTURE, PROMOTE OR SUBORDINATE CERTAIN LEADERS, STEMS, OR BRANCHES; PROMOTE DESIRABLE BRANCH SPACING; PROMOTE OR DISCOURAGE GROWTH IN A PARTICULAR DIRECTION (DIRECTIONAL PRUNING); MINIMIZE FUTURE INTERFERENCE WITH TRAFFIC, LINES OF SIGHT, INFRASTRUCTURE, OR OTHER PLANTS; RESTORE PLANTS FOLLOWING DAMAGE; AND/OR REJUVENATE SHRUBS. PROVIDING CLEARANCE SHALL ENSURE SAFE AND RELIABLE UTILITY SERVICES; MINIMIZE CURRENT INTERFERENCE WITH TRAFFIC, LINES OF SITE, INFRASTRUCTURE, OR OTHER PLANTS; RAISE CROWN(S) FOR MOVEMENT OF TRAFFIC OR LIGHT PENETRATION; ENSURE LINES OF SIGHT OR DESIRED VIEWS; PROVIDE ACCESS TO SITES, BUILDINGS, OR OTHER STRUCTURES; AND/OR COMPLY WITH REGULATIONS.
- TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4 INCHES. CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE PH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL EXTENSION OFFICE OF USDA TO THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FROM THE TOPSOIL TEST.
- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS/GRASSES AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL APPLICABLE STANDARDS, REQUIREMENTS, AND/OR REGULATIONS.
- ALL SLOPES GREATER THAN 3:1 RECEIVING A WILDFLOWER, WETLAND, AND/OR GRASS SEEDING MIXTURE SHALL BE COVERED BY EROSION CONTROL BLANKET
- ALL WILDFLOWERS AND GRASSES SOWED SHALL BE ALLOWED TO GROW TO THEIR NATURALLY OCCURRING HEIGHTS WHENEVER POSSIBLE. NATIVE WILDFLOWERS AND/OR GRASSES CAN BE MOWED/MAINTAINED (WITHIN ACCEPTABLE AREAS IDENTIFIED AND/OR APPROVED BY APPROPRIATE REGULATORY AGENCIES) AS OFTEN AS NEEDED TO KEEP THE VEGETATION AT A DESIRED AND/OR MANAGEABLE/MANICURED HEIGHT.
- 9. NON-NATIVE PLANT SPECIES SHALL NOT TOTAL MORE THAN 50% OF ALL PLANTINGS. INVASIVE SPECIES SHALL NOT BE PERMITTED.
- 10. PLANT MATERIALS SHALL NOT INCLUDE MORE THAN 25% OF ANY SINGLE SPECIES. THE PLANTINGS SHALL INCLUDE A MIX OF EVERGREEN AND DECIDUOUS TREES, UNDERSTORY TREES, SHRUBS, AND FLOWERING HERBACEOUS LAYER.
- 11. ALL PLANT MATERIAL SHALL CONFORM TO THE PLAN SIZE SPECIFICATIONS AS ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK LATEST EDITION.
- 12. ALL PLANT MATERIAL SHALL BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE LIFETIME OF THE PROJECT. THE OWNER SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS ACCORDINGLY.



SHRUB PLANTING DETAIL

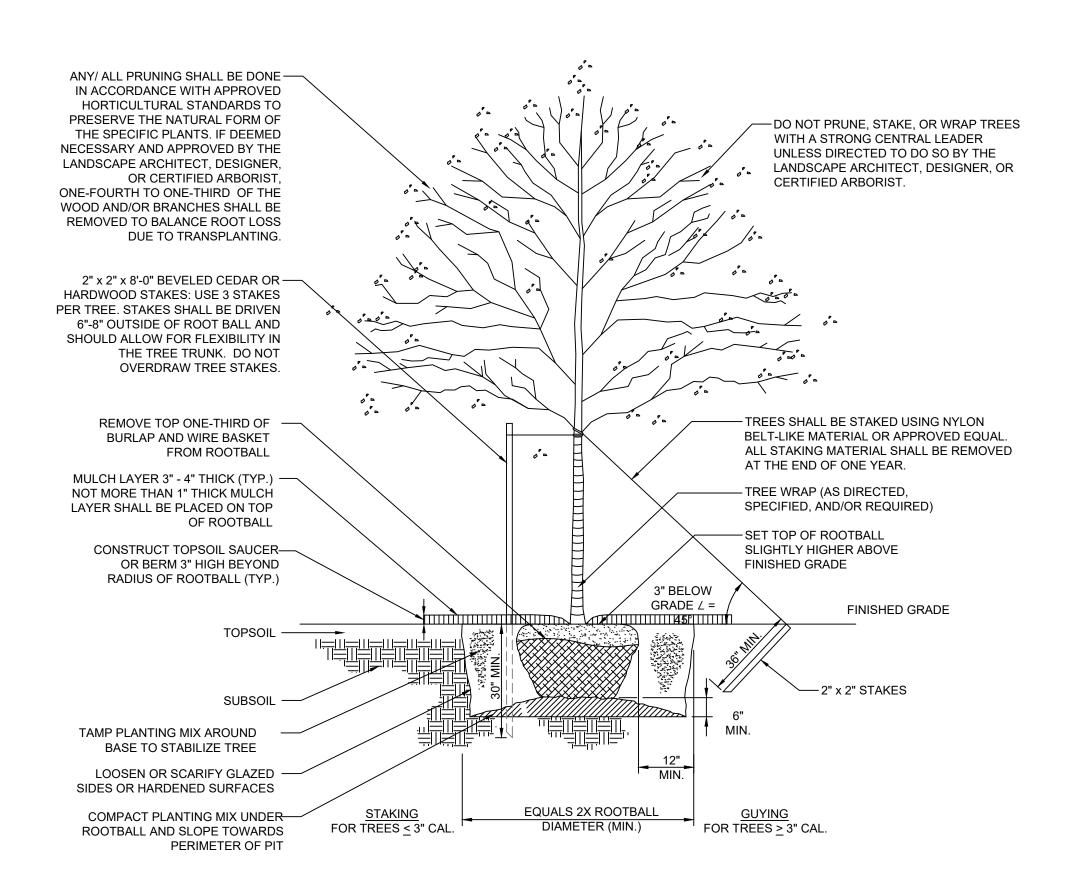
NOTE:

- IN AREAS WITH MASS PLANTINGS, CONTINUOUS EXCAVATION AND MULCHING PRACTICES SHALL BE IMPLEMENTED WHENEVER POSSIBLE
- IT IS NOT RECOMMENDED TO AMEND THE EXISTING SOIL BEFORE BACKFILLING THE HOLE UNLESS SOIL CONDITIONS ARE POOR FOR PLANTING.
- WATER THOROUGHLY TO HELP ENSURE THE REMOVAL OF AIR POCKETS.



EVERGREEN TREE PLANTING DETAIL

- TREE PLANTING SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT WAS PRE-DUG IN THE NURSERY.
- NEVER CUT THE PRIMARY LEADER.
- IT IS NOT RECOMMENDED TO AMEND THE EXISTING SOIL BEFORE BACKFILLING THE HOLE UNLESS SOIL CONDITIONS ARE POOR FOR PLANTING.
- WATER THOROUGHLY TO HELP ENSURE THE REMOVAL OF AIR POCKETS AND PROPERLY SET THE TREE.



NATIVE/DECIDUOUS TREE PLANTING DETAIL

- TREE PLANTING SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT WAS PRE-DUG IN THE NURSERY.
- NEVER CUT THE PRIMARY LEADER.
- IT IS NOT RECOMMENDED TO AMEND THE EXISTING SOIL BEFORE BACKFILLING THE HOLE UNLESS SOIL CONDITIONS ARE POOR FOR PLANTING.
- WATER THOROUGHLY TO HELP ENSURE THE REMOVAL OF AIR POCKETS AND PROPERLY SET THE TREE.

DECIDUOU	IS AND EVERGREEN TREES	3			
SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
AB	ABIES BALSAMEA BALSAM FIR	19	5'-6' HT.	B&B	40'-60' H
AC	AMELANCHIER CANADENSIS SERVICEBERRY	6	1" CAL. MIN.	B&B	15'-25' H
PG	PICEA GLAUCA WHITE SPRUCE	23	5'-6' HT.	B&B	40'-60' H
то	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	17	5'-6' HT.	B&B	40'-50' H
SHRUBS	DOTANICAL NAME/		1		l=
SHRUBS SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	
		QUANTITY 22	SIZE 24"-30" HT.	ROOT #3/5 CONT.	MATURE HEIGHT 7'-10' HT
SYMBOL	COMMON PLANT NAME ARONIA ARBUTIFOLIA				HEIGHT
SYMBOL	COMMON PLANT NAME ARONIA ARBUTIFOLIA RED CHOKEBERRY CORNUS SERICEA	22	24"-30" HT.	#3/5 CONT.	HEIGHT 7'-10' HT
SYMBOL AR CS	COMMON PLANT NAME ARONIA ARBUTIFOLIA RED CHOKEBERRY CORNUS SERICEA RED TWIG DOGWOOD HAMAMELIS VIRGINIANA	22	24"-30" HT. 24"-30" HT.	#3/5 CONT. #3/5 CONT.	7'-10' HT

NORTHEAST NATIVE GRASS SEED MIX

REVIEWED BY:

MALCOLM SIMPSON

OFFICE: 646.428.8641

1501 BROADWAY, NEW YORK, NY 10036

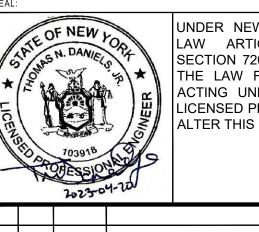
EMAIL: MSIMPSON@HARDESTYHANOVER.COM

MIX CONCENTRATION	BOTANICAL NAME	COMMON NAME	RATE (LBS/ACRE)	RATE (LBS/1000 FT ²
27.27%	SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA		
11.36%	VIRGINIA WILD RYE	ELYMUS VIRGINICUS		
3.98%	NIMBLEWILL	MUHLENBERGIA SCHREBERI		
2.27%	TALL DROPSEED	SPOROBOLUS COMPOSITUS		
2.27%	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS	14	255
2.27%	FRANK'S SEDGE	CAREX FRANKII	11	.255
2.27%	FOX SEDGE	CAREX VULPINOIDEA		
2.85%	JUNE GRASS	KOELERIA MACRANTHA		
9.10%	PURPLE TOP	TRIDENS FLAVUS		
36.36%	CREEPING RED FESCUE	FESTUCA RUBRA		
NURSE CROPS AND OT	HER INTRODUCED SPECIES			
86.500%	OATS	AVENA SATIVA		
8.100%	BROWN TOP MILLET	PANICUM RAMOSUM	37	.850
5.400%	ANNUAL RYE GRASS	LOLIUM MULTIFLORUM		

NOTE: GRASS SEED MIXES ARE COMPRISED OF GRASSES THAT ARE NATIVE AND/OR INDIGENOUS TO THE AREA AND/OR CONSIDERED FAVORABLE FOR WILDLIFE HABITAT AND SUSTAINABLE GROWTH. ADDITIONALLY THE SOLAR SEED MIX WAS DEVELOPED ESPECIALLY FOR NATIVE GRASS PLANTINGS AROUND SOLAR ARRAY FIELDS AND SHALL BE UTILIZED ACCORDINGLY. THESE GRASSES WILL MATURE OUT TO A HEIGHT OF APPROXIMATELY 2 TO 2 1/2 FEET HIGH. THERE ARE NO WILDFLOWER OR POLLINATOR SEED SPECIES CONTAINED IN THESE NATIVE GRASS SEED MIXES.

ISSUED FOR PERMIT

NOT FOR CONSTRUCTION



UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

 2
 GMT
 04/20/2023
 REVISED LANDSCAPING
 TND

 1
 JRP
 03/22/2023
 REVISED PER TOWN COMMENTS
 TND

 0
 JRP
 02/02/2023
 ISSUED FOR PERMITTING
 TND

 NO.
 BY
 DATE
 REVISION
 APP'D.

NY SOLAR 1001 LLC
OLD MYERS SOLAR PROJECT
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

DRAWN BY: JRP PROJ. NO.: 488729

* TRC

249 Western Ave. Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com

488729 - LANDSCAPE.dwg

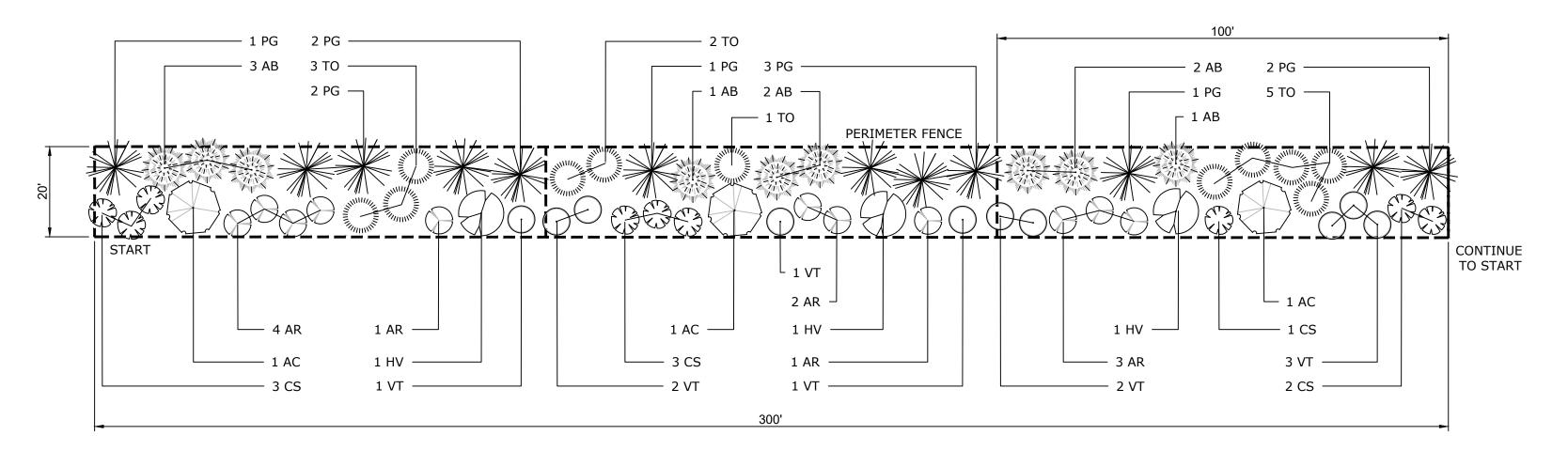
L-102

VISUAL MITIGATION PLANTING TEMPLATE - TYPE A

LEGEND VISUAL MITIGATION PLANTING TYPE "A":

BUFFER TYPE "A" NOTE:

- SEE GENERAL SEEDING AND LANDSCAPE NOTES FOR ADDITIONAL PLANTING REQUIREMENTS AND SEED MIXTURES.
- 2. THE 20-FOOT-WIDE PROPOSED BUFFER TYPE "A" WILL BE A MIX OF NATIVE EVERGREEN TREES ARRANGED TO FORM A NATURAL APPEARANCE AND CONTINUOUS SOLID SCREEN. SEE THE PLANTING TEMPLATE FOR ARRANGE OF PLANTS AND THE PLANT SCHEDULES FOR TYPE AND SIZE.
- 3. SEE SHEET L102 FOR PLANT MATERIAL TOTALS



LEGEND

VISUAL MITIGATION PLANTING TEMPLATE - TYPE A

LANDSCAPE PLANTING SCHEDULE (TYPICAL VISUAL BUFFER/SCREENING EFFORT)

DECIDUOUS AND EVERGREEN TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
AB	ABIES BALSAMEA BALSAM FIR	9	5'-6' HT.	B&B	40'-60' HT.
AC	AMELANCHIER CANADENSIS SERVICEBERRY	3	1" CAL. MIN.	B&B	15'-25' HT.
PG	PICEA GLAUCA WHITE SPRUCE	12	5'-6' HT.	B&B	40'-60' HT.
то	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	11	5'-6' HT.	B&B	40'-50' HT.

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
AR	ARONIA ARBUTIFOLIA RED CHOKEBERRY	11	24"-30" HT.	#3/5 CONT.	7'-10' HT.
CS	CORNUS SERICEA RED TWIG DOGWOOD	9	24"-30" HT.	#3/5 CONT.	7'-9' HT.
HV	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	3	3'-4' HT.	B&B	15'-25' HT.
VT	VIBURNUM TRILOBUM AMERICAN CRANBERRY	10	24"-30" HT.	#3/5 CONT.	6'-12' HT.

VISUAL MITIGATION PLANTING SCHEDULE - TYPE A

LEGEND - VM1

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A
TOTAL MITIGATION LENGTH = 195 LF

DECIDU	IOUS AND EVERGREEN TREES				
SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
АВ	ABIES BALSAMEA BALSAM FIR	6	5'-6' HT.	B&B	40'-60' HT.
AC	AMELANCHIER CANADENSIS SERVICEBERRY	2	1" CAL. MIN.	B&B	15'-25' HT.
PG	PICEA GLAUCA WHITE SPRUCE	9	5'-6' HT.	B&B	40'-60' HT.
то	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	6	5'-6' HT.	B&B	40'-50' HT.

HRUBS

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
AR	ARONIA ARBUTIFOLIA RED CHOKEBERRY	8	24"-30" HT.	#3/5 CONT.	7'-10' HT.
cs	CORNUS SERICEA RED TWIG DOGWOOD	6	24"-30" HT.	#3/5 CONT.	7'-9' HT.
HV	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	2	3'-4' HT.	B&B	15'-25' HT.
VT	VIBURNUM TRILOBUM AMERICAN CRANBERRY	5	24"-30" HT.	#3/5 CONT.	6'-12' HT.

LEGEND - VM2

DECIDUOUS AND EVERGREEN TREES

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A

TOTAL MITIGATION LENGTH = 320 LF

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
AB	ABIES BALSAMEA BALSAM FIR	10	5'-6' HT.	B&B	40'-60' HT.
AC	AMELANCHIER CANADENSIS SERVICEBERRY	3	1" CAL. MIN.	B&B	15'-25' HT.
PG	PICEA GLAUCA WHITE SPRUCE	13	5'-6' HT.	B&B	40'-60' HT.
то	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	11	5'-6' HT.	B&B	40'-50' HT.

SHRUB	<u>s</u>
SYMBOL	

ИBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
٩R	ARONIA ARBUTIFOLIA RED CHOKEBERRY	11	24"-30" HT.	#3/5 CONT.	7'-10' HT.
CS	CORNUS SERICEA RED TWIG DOGWOOD	12	24"-30" HT.	#3/5 CONT.	7'-9' HT.
ΗV	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	3	3'-4' HT.	B&B	15'-25' HT.
/ T	VIBURNUM TRILOBUM AMERICAN CRANBERRY	10	24"-30" HT.	#3/5 CONT.	6'-12' HT.

LEGEND - VM3

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A
TOTAL MITIGATION LENGTH = 45 LF

DECIDUOUS AND EVERGREEN TREES								
SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT			
AB	ABIES BALSAMEA BALSAM FIR	3	5'-6' HT.	B&B	40'-60' HT.			
AC	AMELANCHIER CANADENSIS SERVICEBERRY	1	1" CAL. MIN.	B&B	15'-25' HT.			
PG	PICEA GLAUCA WHITE SPRUCE	1	5'-6' HT.	B&B	40'-60' HT.			
то	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	0	5'-6' HT.	B&B	40'-50' HT.			

SH	łRί	JB\$	5

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
AR	ARONIA ARBUTIFOLIA RED CHOKEBERRY	3	24"-30" HT.	#3/5 CONT.	7'-10' HT
CS	CORNUS SERICEA RED TWIG DOGWOOD	3	24"-30" HT.	#3/5 CONT.	7'-9' HT.
HV	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	0	3'-4' HT.	B&B	15'-25' HT
VT	VIBURNUM TRILOBUM AMERICAN CRANBERRY	0	24"-30" HT.	#3/5 CONT.	6'-12' HT

VISUAL MITIGATION COORDINATE TABLES

VM1 - COORDINATES

VM1 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE						
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING	
L1	TYPE A	195	S31° 46' 49.16"W	E:662428.2633, N:1009184.7249	E:662325.4664, N:1009018.8033	

VM2 - COORDINATES

VM2 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE							
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING		
L2	TYPE A	159	S30° 18' 29.95"W	E:662287.1175, N:1008976.0602	E:662206.9024, N:1008838.8342		
L3	TYPE A	124	S35° 27' 10.92"W	E:662206.9024, N:1008838.8342	E:662134.9374, N:1008737.7680		
L4	TYPE A	37	S35° 27' 10.92"W	E:662134.9374, N:1008737.7680	E:662113.5888, N:1008707.7863		

VM3 - COORDINATES

VM3 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE							
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING		
L5	TYPE A	22	S35° 27' 10.92"W	E:662086.0590, N:1008669.1240	E:662073.3584, N:1008651.2875		
L6	TYPE A	23	N49° 52' 12.46"W	E:662073.3584, N:1008651.2875	E:662055.4709, N:1008666.3662		

ISSUED FOR PERMIT NOT FOR CONSTRUCTION



UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

 2
 GMT
 04/20/2023
 REVISED LANDSCAPING
 TND

 1
 JRP
 03/22/2023
 REVISED PER TOWN COMMENTS
 TND

 0
 JRP
 02/02/2023
 ISSUED FOR PERMITTING
 TND

 NO.
 BY
 DATE
 REVISION
 APP'D.

NY SOLAR 1001 LLC
OLD MYERS SOLAR PROJECT
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

LANDSCAPE PLANTING TEMPLATE & SCHEDULES

DRAWN BY: JRP PROJ. NO.: 48
CHECKED BY: TND
APPROVED BY: TND
DATE: APRIL 2023

TRC

249 Western Ave. Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com

488729 - LANDSCAPE.dwg

MALCOLM SIMPSON
PLANNER

1501 BROADWAY, NEW YORK, NY 10036

EMAIL: MSIMPSON@HARDESTYHANOVER.COM

REVIEWED BY:

OFFICE: 646.428.8641

NO.:

488729 - LAI

