

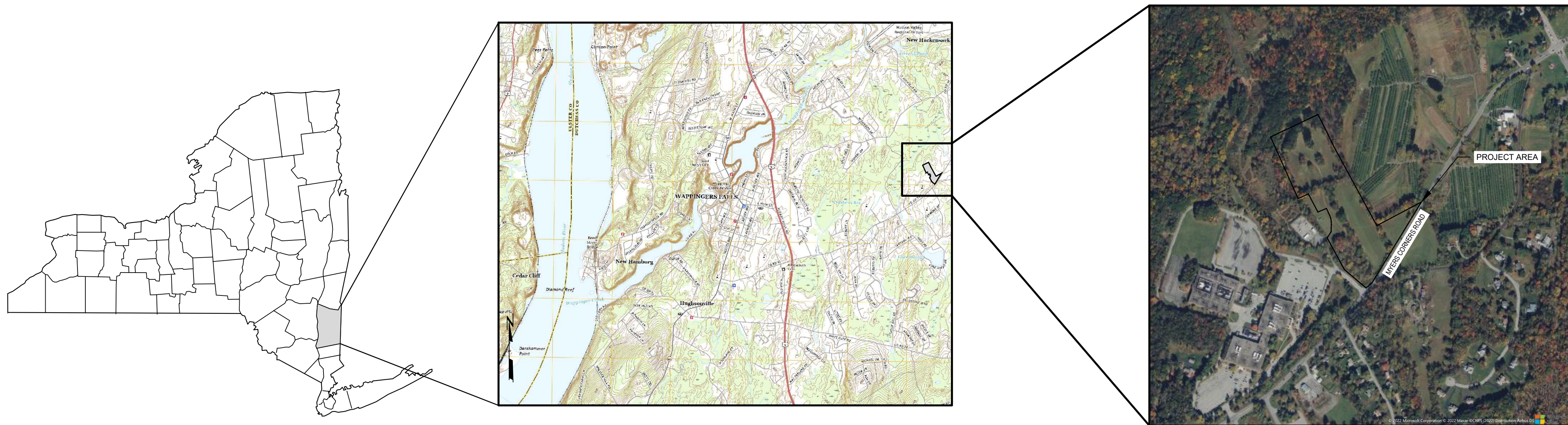
ISSUED FOR PERMITTING - CIVIL & STORMWATER DESIGN PLANS

# OLD MYERS SOLAR PROJECT

MYERS CORNERS ROAD, WAPPINGER, DUTCHESS COUNTY, NEW YORK  
DUTCHESS COUNTY TAX PARCEL 135689-6258-03-376432-0000

PREPARED FOR: NY SOLAR 1001 LLC  
LIGHTSTAR RENEWABLES, LLC  
501 BOYLSTON STREET  
BOSTON, MA 02116

PREPARED BY: TRC  
AUGUSTA, ME  
DATE: APRIL 2023



NEW YORK

WAPPINGER

SITE LOCATOR

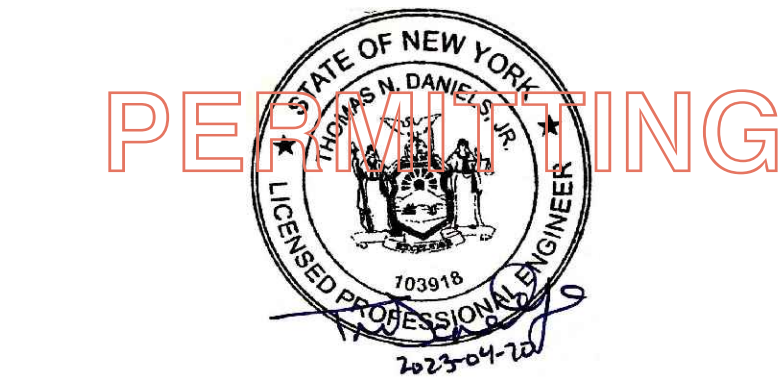
SHEET INDEX TABLE		
SHEET NUMBER	SHEET TITLE	SHEET NUMBER
G-01	CIVIL COVER SHEET	G-01
G-02	GENERAL NOTES & LEGEND	G-02
G-03	EROSION CONTROL NOTES & DETAILS	G-03
G-04	EARTH DISTURBANCE PHASING PLAN	G-04
C-100	EXISTING CONDITIONS & SITE PREPARATION PLAN	C-100
C-200	OVERALL SITE LAYOUT PLAN	C-200
C-201	SITE GRADING & DRAINAGE PLAN - SOUTH	C-201
C-202	SITE GRADING & DRAINAGE PLAN - NORTH	C-202
C-400	CIVIL CONSTRUCTION DETAILS	C-400
C-401	CIVIL CONSTRUCTION DETAILS	C-401
L-100	OVERALL LANDSCAPE PLAN	L-100
L-101	LANDSCAPE PLAN - ENLARGED	L-101
L-102	LANDSCAPE NOTES & DETAILS	L-102
L-103	LANDSCAPE PLANTING TEMPLATE & SCHEDULES	L-103
SW-100	PRE-DEVELOPMENT SUBCATCHMENT PLAN	SW-100
SW-200	POST-DEVELOPMENT SUBCATCHMENT PLAN	SW-200

NOTE: THESE PLANS ARE ACCOMPANIED BY PERMIT APPLICATIONS OF THE SAME TITLE. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR PERMITTING PURPOSES ONLY.

NOT FOR CONSTRUCTION



UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.



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Augusta, ME 04330  
Phone: 207.621.7000  
www.trccompanies.com



2438 -- USER: Tdaniel -- ATTACHED IMAGES: D:\344\NY - Wappinger, NY - August 10, 2023 - 11:59AM -- LAYOUT: G-02 GENERAL NOTES & LEGEND  
DRAWING NAME: \\augusta-fp1\environmental\TMD\env\_rmd\_projects\lightstar\_renewables\lc488729 - old\_myers\_solar - wappinger\_ny\10-DWG\488729 - G SHEETS.dwg -- PLOT DATE: April 20, 2023 - 11:59AM --

## GENERAL NOTES

### SURVEY NOTES:

- PROPERTY BOUNDARY AND TOPOGRAPHIC INFORMATION, AND EXISTING CONDITIONS SHOWN ON THESE PLANS ARE BASED UPON ON-THE-GROUND SURVEY COMPLETED BY CORNER POST LAND SURVEYING, PLLC AS PROVIDED IN A PLAN ENTITLED "ALTANSPI LAND TITLE SURVEY, PREPARED FOR LIGHTSTAR RENEWABLES LLC, SITUATE IN THE TOWN OF WAPPINGER, DUTCHESS COUNTY, NEW YORK" DATED AUGUST 12, 2022. PROVIDED BY AND USED WITH PERMISSION FROM LIGHTSTAR RENEWABLES, LLC. HORIZONTAL DATUM IS NAD83 NEW YORK STATE PLAN, EAST ZONE, FEET.
- WETLAND DELINEATION WAS PERFORMED BY TRC IN JUNE OF 2022, LOCATED USING MAPPING GRADE GPS UNITS, AND ARE DESCRIBED IN A REPORT ENTITLED "WETLAND DELINEATION REPORT, OLD MEYERS SOLAR PROJECT" DATED AUGUST 2022.
- ZONING BOUNDARY INFORMATION OBTAINED IS BASED ON THE ZONING MAP OF THE TOWN OF WAPPINGER, DUTCHESS COUNTY, NY, DATE OF LAST AMENDMENT OCTOBER 26, 2021.
- SOILS INFORMATION FROM USDA-NRCS WEB SOIL SURVEY DUTCHESS COUNTY, NY.
- FLOOD ZONE CLASSIFICATION: SITE LIES OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X); AS SHOWN ON MAP NUMBERED 36027C0457E, WITH A EFFECTIVE DATE OF MAY 2, 2012.

### SWPPP NOTE:

THE EROSION AND SEDIMENTATION CONTROL MEASURES FOR THIS PROJECT SHALL BE IN SUBSTANTIAL COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION STATE DISCHARGE POLLUTANT ELIMINATION SYSTEM GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-0-20-001).

### REMOVAL NOTES:

- TREES, STUMPS, ROOT BALLS, AND OTHER VEGETATION MAY BE PROCESSED BY THE USE OF CHIPPING MACHINES OR STUMP GRINDER AND USED AS REQUIRED FOR EROSION CONTROL. MAX. ALL OTHER CHIPS AND WOOD WASTE RESULTING FROM REMOVAL OPERATIONS SHALL BE DISPOSED OF OFF-SITE AT A FACILITY AND IN A MANNER APPROVED BY THE OWNER.
- ALL DEMOLITION WASTE, DEBRIS AND RUBBISH SHALL BE PROPERLY REMOVED FROM THE SITE AS IT OCCURS. ALL MATERIALS SHALL BE PROPERLY DISPOSED OF OFF-SITE IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THE PROPER REMOVAL AND DISPOSAL OF HAZARDOUS SUBSTANCES.
- TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING IMPROVEMENTS AND FACILITIES TO REMAIN IN PLACE. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND REPLACEMENT OF DAMAGED ITEMS AS A RESULT OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

### SAFETY NOTE:

WORK WILL BE CARRIED OUT NEAR AND UNDER ENERGIZED EQUIPMENT. EXTREME CAUTION IS REQUIRED AT ALL TIMES. THE CONTRACTOR SHALL STRICTLY FOLLOW OWNER'S SAFETY REQUIREMENTS. FAILURE TO DO SO WILL RESULT IN TERMINATION.

### EARTHWORK:

UNLESS INDICATED OTHERWISE REFER TO THE LATEST EDITION OF THE STATE OF NEW YORK, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION (INSDOT SPEC) FOR GENERAL REQUIREMENTS, PRODUCTS AND EXECUTION RELATED TO CONSTRUCTION OF BUT NOT LIMITED TO: CLEARING, GRUBBING, ROADS, UTILITY TRENCH EXCAVATION, BORROW, SUBGRADE, SUBBASE, GRANULAR FILL, AND AGGREGATE BASE.

## PROJECT CONSTRUCTION SEQUENCING NOTES

THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SEQUENCING OR CONSTRUCTION PHASING PLAN FOR OWNER APPROVAL THAT COMPLIES WITH THE PERMITTING REQUIREMENTS, THE PROJECT SWPPP, AND OTHER REQUIREMENTS AS IDENTIFIED BY LOCAL AND STATE AUTHORITIES. THE PLAN SHALL SHOW THAT ACTIVE LAND DISTURBANCE WILL BE LIMITED TO LESS THAN FIVE (5) CONTIGUOUS ACRES AND SHALL ADEQUATELY DISCUSS, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS FOR TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES AS OUTLINED IN THE PROJECT SWPPP OR AS DIRECTED BY THE OWNER.
- PRIOR TO COMMENCING ONSITE EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL ESTABLISH THE CONSTRUCTION WORKSPACE LIMITS AND IDENTIFY AND MARK SENSITIVE RESOURCES.
- THE CONTRACTOR SHALL INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO PROTECT DOWN GRADIENT AREAS. WHERE APPROPRIATE, DIVERSION BMPs SHALL BE IMPLEMENTED TO DIRECT RUNOFF FROM UPGRADIENT AREAS AROUND THE PROJECT SITE.
- AFTER PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE CURRENT PHASE OF WORK ARE INSTALLED AND FUNCTIONING, THE CONTRACTOR SHALL OBTAIN OWNER APPROVAL BEFORE BEGINNING EARTHWORK IN THE SUBSEQUENT PHASE.

## DECOMPACTION PRACTICE AND SOIL RESTORATION NOTES

THE CONTRACTOR SHALL REFER TO NEW YORK STATE DEPARTMENT OF AGRICULTURE AND MARKETS "GUIDELINES FOR SOLAR ENERGY PROJECTS - CONSTRUCTION MITIGATION FOR AGRICULTURAL LANDS," REVISED OCTOBER 18, 2019 FOR DECOMPACTION PRACTICE AND SOIL RESTORATION. THE PRACTICE SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

- BEFORE ANY TOPSOIL IS STRIPPED, REPRESENTATIVE SOIL SAMPLES SHOULD BE OBTAINED FROM THE AREAS TO BE DISTURBED AND SAMPLING SHOULD BE CONSISTENT WITH CORNELL UNIVERSITY'S SOIL TESTING GUIDELINES. THE RESULTS ARE TO ESTABLISH A BENCHMARK WITH THE SOIL'S NUTRIENT CHARACTERISTICS TO BE MEASURED AGAINST UPON RESTORATION.
- STRIPPED TOPSOIL SHOULD BE STOCKPILED FROM WORK AREAS AND KEPT SEPARATE FROM OTHER EXCAVATED MATERIAL.
- POSTPONE ANY RESTORATION PRACTICES UNTIL FAVORABLE (WORKABLE, RELATIVELY DRY) TOPSOIL/SUBSOIL CONDITIONS EXIST. RESTORATION MUST NOT BE CONDUCTED WHILE SOILS ARE IN A WET OR PLASTIC STATE OF CONSISTENCY. STOCKPILED TOPSOIL MUST NOT BE REGRADED, AND SUBSOIL MUST NOT BE DECOMPACTED UNTIL PLASTICITY, AS DETERMINED BY THE ATTERBERG FIELD TEST, IS ADEQUATELY REDUCED. NO PERMANENT PROJECT RESTORATION ACTIVITIES SHALL OCCUR IN AGRICULTURAL AREAS BETWEEN THE MONTHS OF OCTOBER THROUGH MAY UNLESS FAVORABLE SOIL MOISTURE CONDITIONS EXIST.
- COMPACTION TESTS WILL BE MADE AT REGULAR INTERVALS OF DISTANCE THROUGHOUT THE ACCESS OR WORK AREAS, INCLUDING EACH SOIL TYPE IDENTIFIED ON THE AFFECTED AGRICULTURAL AREAS. WHERE REPRESENTATIVE SOIL DENSITY OF THE AFFECTED AREA EXCEEDS THE REPRESENTATIVE SOIL DENSITY OF THE UNAFFECTED AREAS, ADDITIONAL DECOMPACTION MAY BE REQUIRED.
- NO PROJECT RESTORATION ACTIVITIES SHALL OCCUR IN AGRICULTURAL AREAS BETWEEN THE MONTHS OF OCTOBER THROUGH MAY UNLESS FAVORABLE SOIL MOISTURE CONDITIONS EXIST. IF AREAS ARE TO BE RESTORED AFTER OCTOBER 1ST, NECESSARY PROVISIONS MUST BE MADE TO PREVENT POTENTIAL SPRINGTIME EROSION, AS WELL AS RESTORE ANY ERODED AREAS IN THE SPRINGTIME, TO ESTABLISH PROPER GROWTH.

## NRCS SOILS TABLE

ID	NAME	SLOPE RANGE	HYDROLOGIC SOIL GROUP
Ca	CANANDAIGUA SILT LOAM, NEUTRAL SUBSTRATUM	0 - 3%	C/D
DwB	DUTCHESS-CARDIGAN COMPLEX, UNDULATING, ROCKY	1 - 6%	C
DwC	DUTCHESS-CARDIGAN COMPLEX, ROLLING, ROCKY	5 - 16%	C
HsB	HOOSIC GRAVELLY LOAM, UNDULATING	1 - 6%	A
Wy	WAYLAND SILT LOAM	0 - 3%	C/D

## LEGEND

	PROJECT PROPERTY BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING UNPAVED ROAD
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING SPOT ELEVATION
	EXISTING TREES AND/OR BRUSH
	EXISTING CULVERT
	EXISTING OVERHEAD ELECTRIC
	EXISTING UTILITY POLE
	DELINEATED WETLAND- NYSDEC JURISDICTION
	NYSDEC 100-FOOT WETLAND BUFFER
	DELINEATED WETLAND- USACE JURISDICTION ONLY
	LOCAL 100-FOOT WETLAND BUFFER
	DELINEATED STREAM
	LIMITS OF DISTURBANCE
	PROPOSED PERVIOUS HAUL ROAD
	PROPOSED PAVED DRIVEWAY APRON
	PROPOSED VEGETATED MAINTENANCE PATH
	PROPOSED TREE LINE
	PROPOSED CHAIN LINK FENCE
	PROPOSED OVERHEAD ELECTRIC LINE AND POLE
	PROPOSED UNDERGROUND COLLECTION LINE
	PROPOSED SINGLE-AXIS TRACKER SOLAR ARRAY
	PROPOSED EQUIPMENT PAD
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED SILT FENCE

## ZONING REQUIREMENTS

TOWN OF WAPPINGER ZONING INFO	
SITE ZONING CLASSIFICATION:	R-80 RESIDENTIAL - ONE-FAMILY RESIDENCE DISTRICT
OVERLAY & FLOATING DISTRICTS:	NONE

DIMENSIONAL STANDARDS			
REQUIREMENT ORIGIN	DIMENSION	REQUIRED	PROVIDED
DIMENSIONAL REGULATIONS - RESIDENTIAL DISTRICTS TOWN OF WAPPINGER ZONING ATTACHMENT 240-3	FRONT LOT LINE SETBACK (FEET)	75	78
	SIDE LOT LINE SETBACK (FEET)	40	40
	REAR LOT LINE SETBACK (FEET)	50	2,203
	MAXIMUM IMPERVIOUS AREA OCCUPYING SITE (%)	15	<1
GROUND-MOUNTED SOLAR ENERGY SYSTEMS CODE § 240-57	PANEL COVERAGE AREA (SQUARE FEET)	161,537 (10% OF LOT AREA)	152,072 (9.41% OF LOT AREA)
	ARRAY POST/PILE COVERAGE AREA (SQUARE FEET)	-	710 (0.5% OF LOT AREA)

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SEAL:		UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.		
2	GMT	04/20/2023	REVISED LANDSCAPING	TND
1	JRP	03/22/2023	REVISED PER TOWN COMMENTS	TND
0	JRP	02/02/2023	ISSUED FOR PERMITTING	TND
NO.	BY	DATE	REVISION	APPD.
PROJECT: NY SOLAR 1001 LLC OLD MEYERS SOLAR PROJECT MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY				
TITLE: GENERAL NOTES & LEGEND				
DRAWN BY: JRP		PROJ. NO.: 488729		
CHECKED BY: TND		G-02		
APPROVED BY: TND				
DATE: APRIL 2023				
		249 Western Ave Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com		
FILE NO.:		488729 - G SHEETS.dwg		







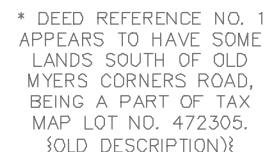


















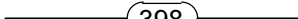

Diagram illustrating the proposed project area, showing various features and dimensions:

- PROJECT PROPERTY BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UNPAVED ROAD
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING SPOT ELEVATION
- EXISTING TREES AND/OR BRUSH
- EXISTING CULVERT
- EXISTING OVERHEAD ELECTRIC
- EXISTING UTILITY POLE

Dimensions and labels:

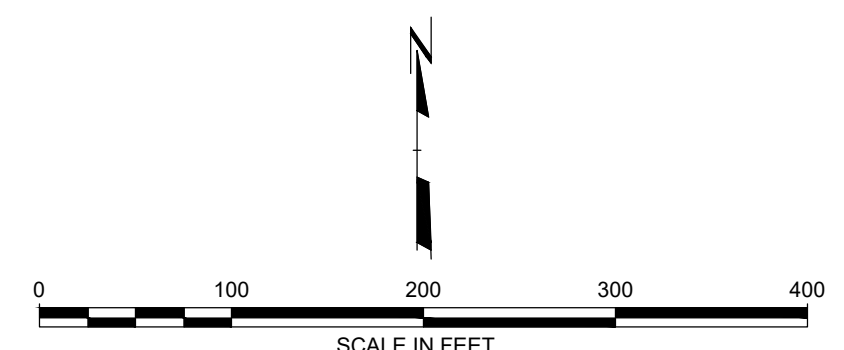
- 390
- x
- x415.7
- 12" C&P
- OE
- OE

- 
-  DELINEATED WETLAND: NYSDEC JURISDICTION  
 NYSDEC 100-FOOT WETLAND BUFFER  
 DELINEATED WETLAND: USACE JURISDICTION ONLY  
 LOCAL 100-FOOT WETLAND BUFFER  
 DELINEATED STREAM  
 LIMITS OF DISTURBANCE  
 PROPOSED PAVED DRIVEWAY APRON  
 PROPOSED PAVED DRIVEWAY APRON

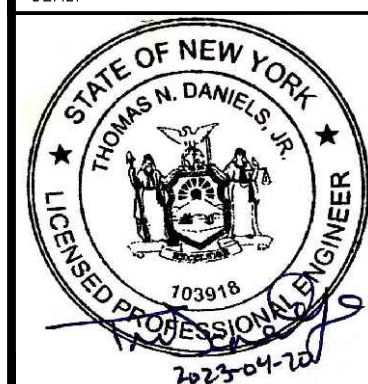
- |   |  |
|---|--|
|  | PROPOSED VEGETATED MAINTENANCE PATH      |
|  | PROPOSED TREE LINE                       |
|  | PROPOSED CHAIN LINK FENCE                |
|  | PROPOSED OVERHEAD ELECTRIC LINE AND POLE |
|  | PROPOSED UNDERGROUND COLLECTION LINE     |
|  | PROPOSED SINGLE-AXIS TRACKER SOLAR ARRAY |
|  | PROPOSED EQUIPMENT PAD                   |
|  | PROPOSED MINOR CONTOUR                   |
|  | PROPOSED MAJOR CONTOUR                   |
|  | PROPOSED SILT FENCE                      |

-  PHASE 1: 3.55-ACRES - CLEARING AND GRUBBING
-  PHASE 2: 3.35-ACRES - ROAD CONSTRUCTION AND ARRAY GRADING

1. NONE OF THE PHASES SHALL EXCEED 5 ACRES OF DISTURBANCE AT ONE TIME.
2. A NYS LICENSED LAND SURVEYOR MUST IDENTIFY THE LOD PRIOR TO THE START OF CONSTRUCTION WITHIN THE CONSTRUCTION SEQUENCING NOTES.
3. REFER TO "PROJECT CONSTRUCTION SEQUENCING NOTES" ON SHEET G-02.



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NO	BY	DATE	REVISION		APPROVED

PROJECT: NY SOLAR 1001 LLC  
OLD MYERS SOLAR PROJECT  
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

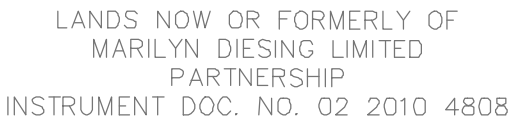
TITLE: **EARTH DISTURBANCE PHASING PLAN**

DRAWN BY:	JRP	PROJ. NO.:	488729
CHECKED BY:	TND	<b>G-04</b>	
APPROVED BY:	TND		
DATE:	APRIL 2023		



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Phone: 207.621.7000  
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**- PROPOSED TREE REMOVAL AND GRUBBING  
APPROXIMATELY 3.55-ACRES IN TOTAL**

LANDS NOW OR FORMERLY OF  
DIESING FAMILY LIMITED PARTNERSHIP  
INSTRUMENT DOC. NO. 02 2010 4806

LANDS NOW OR FORMERLY OF  
SEAN THOMPSON  
INSTRUMENT DOC. NO. 02 2019 4461  
(T.M. NO. 135689-6258-03-376432)

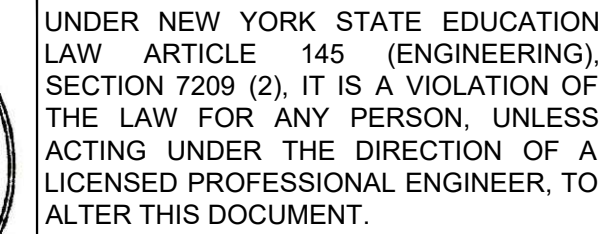
EXISTING DIRT FIELD ROAD TO BE DEMOLISHED WITHIN  
LIMITS OF PROPOSED ARRAY AREA. SCARIFY SURFACE  
AND STABILIZE WITH LOAM, SEED, AND MULCH



1. ALL TREE CLEARING MUST OCCUR BETWEEN NOVEMBER 1 AND MARCH 31.

## GENERAL NOTES

1. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION TO THE MAXIMUM EXTENT PRACTICAL.
2. EXISTING CONDITIONS AS SHOWN HEREIN ARE BASED UPON BOUNDARY AND TOPOGRAPHIC SURVEYS PREPARED BY OTHERS REFER TO PLAN REFERENCE NOTES ON SHEET G-02.

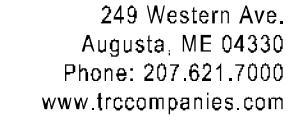


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PROJECT: NY SOLAR 1001 LLC  
OLD MYERS SOLAR PROJECT  
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

TITLE: **EXISTING CONDITIONS & SITE PREPARATION PLAN**

DRAWN BY:	JRP	PROJ. NO.:	488729
CHECKED BY:	TND	C-100	
APPROVED BY:	TND		
DATE:	APRIL 2023		





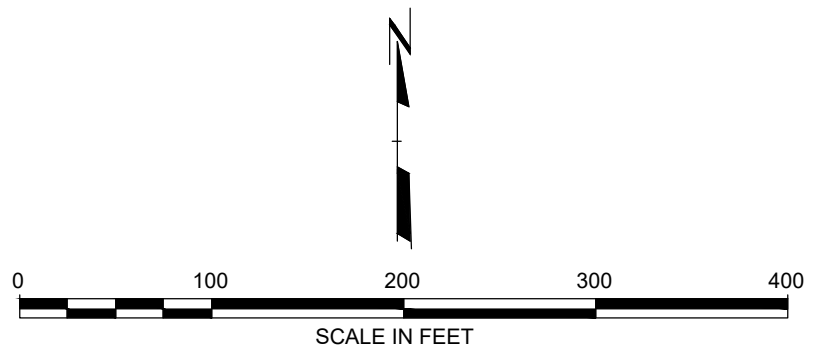
24x36 USER: Thibault -- ATTACHED: 06/23/2023 Ver. Survey Final, 3rd NaturalResources Bureau -- ATTACHED: 06/23/2023  
DRAWING NAME: \\augusta-bp1\environmental\RD\env\_rmd\projects\lightstar\_renewables\lca488729 - old myers solar - wappinger.ny10-DWG\488729 - PROPOSED.dwg -- PLOT DATE: April 20, 2023 - 12:01PM --- LAYOUT: C-200 OVERALL SITE LAYOUT PLAN  
Version: 2017-10-21



### LEGEND

- PROJECT PROPERTY BOUNDARY
- 390 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UNPAVED ROAD
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING SPOT ELEVATION
- EXISTING TREES AND/OR BRUSH
- EXISTING CULVERT
- EXISTING OVERHEAD ELECTRIC
- EXISTING UTILITY POLE
- BUILDING SETBACK
- DELINEATED WETLAND: NYSDEC JURISDICTION
- NYSDEC 100-FOOT WETLAND BUFFER
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- PROPOSED TREE LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED OVERHEAD ELECTRIC LINE AND POLE
- PROPOSED UNDERGROUND COLLECTION LINE
- PROPOSED SINGLE-AXIS TRACKER SOLAR ARRAY
- PROPOSED EQUIPMENT PAD

SYSTEM INFORMATION	
RACKING TYPE	2P SINGLE-AXIS TRACKER
MODULE TYPE	MAVertex TSM-DEG20C.20
MODULE WATTAGE	600 W
STRING LENGTH	32 MODS
SINGLE STRING TRACKERS	16
DOUBLE STRING TRACKERS	70
TOTAL NUMBER OF MODULES	4,992
TOTAL OUTPUT	2,995 MW DC



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PROJECT: NY SOLAR 1001 LLC  
OLD MYERS SOLAR PROJECT  
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

TITLE: OVERALL SITE LAYOUT PLAN

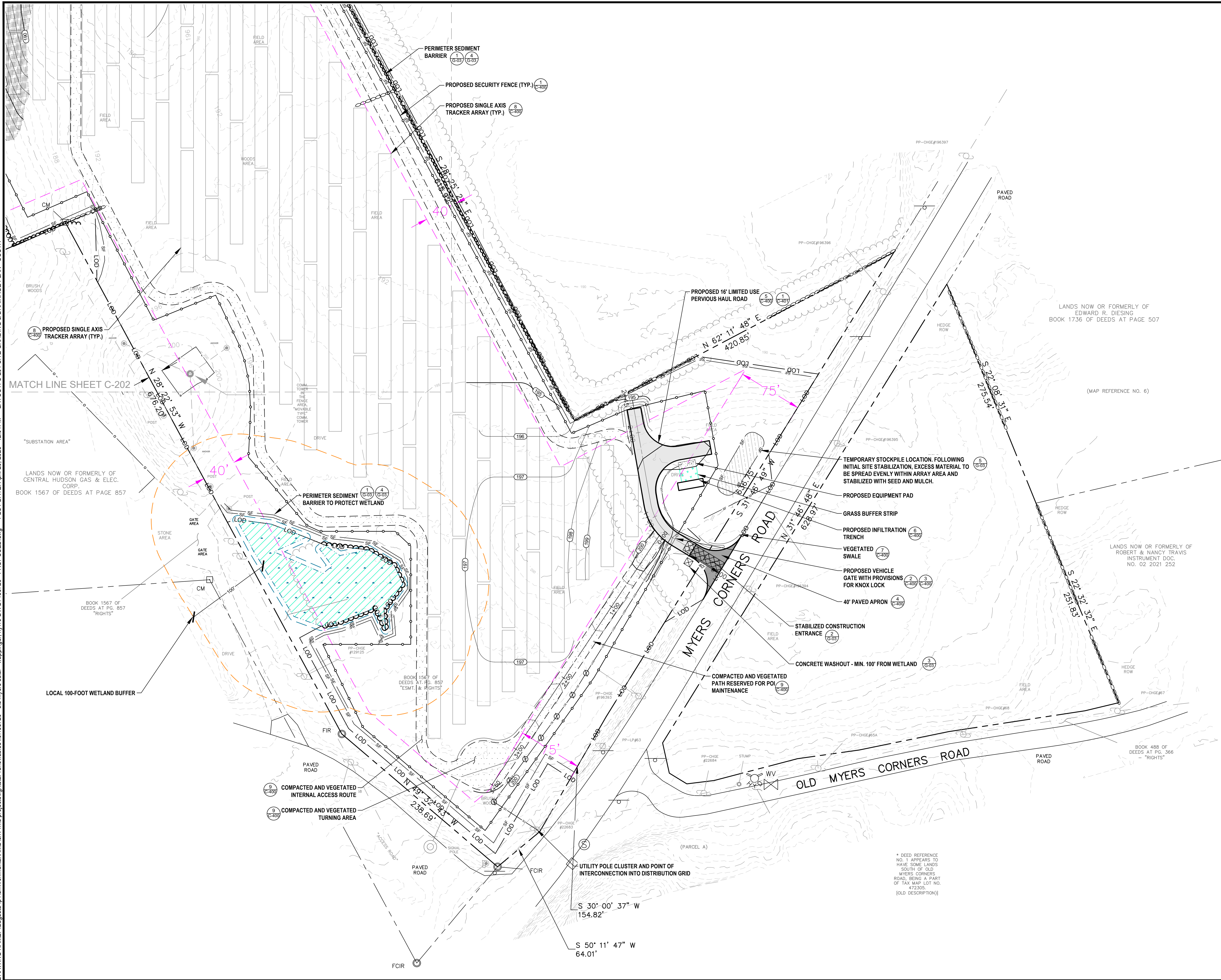
DRAWN BY:	JRP	PROJ. NO.:	488729
CHECKED BY:	TND		
APPROVED BY:	TND		C-200
DATE:	APRIL 2023		

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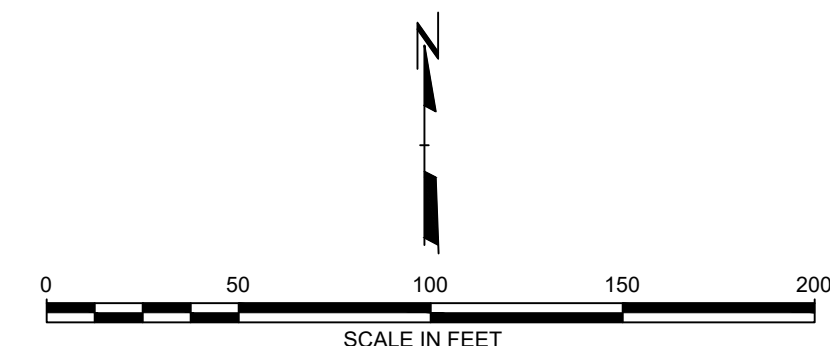
FILE NO.: 488729 - PROPOSED.dwg



2426 --USER: Thomas -- ATTACHED SHEETS: Vol. Survey File: Vol. NaturalResources; Based on: ATTACHED IMAGES: 10/10/2023/20230320  
DRAWING NAME: \\augusta-fp1\environmental\RMID\env.mxd project\ignitar renewables lcl\488729 - old myers solar - wappinger.nv\10-DWG\488729 - PROPOSED.dwg -- PLOT DATE: April 20, 2023 - 12:01PM -- LAYOUT: C-201 SITE GRADING & DRAINAGE PLAN - SOUTH  
Version: 2017.10.21



- LEGEND**
- PROJECT PROPERTY BOUNDARY
  - 390 EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
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  - EXISTING BUILDING
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  - EXISTING TREES AND/OR BRUSH
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  - PROPOSED OVERHEAD ELECTRIC LINE AND POLE
  - PROPOSED UNDERGROUND COLLECTION LINE
  - PROPOSED SINGLE-AXIS TRACKER SOLAR ARRAY
  - PROPOSED EQUIPMENT PAD
  - PROPOSED MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED SILT FENCE



ISSUED FOR PERMIT  
NOT FOR CONSTRUCTION

SEAL:		UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.		
2	GMT	04/20/2023	REVISED LANDSCAPING	TND
1	JRP	03/22/2023	REVISED PER TOWN COMMENTS	TND
0	JRP	02/02/2023	ISSUED FOR PERMITTING	TND
NO.	BY	DATE	REVISION	APPD.
PROJECT: NY SOLAR 1001 LLC OLD MYERS SOLAR PROJECT MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY				
TITLE: SITE GRADING & DRAINAGE PLAN - SOUTH				
DRAWN BY: JRP		PROJ. NO.: 488729		
CHECKED BY: TND				
APPROVED BY: TND				C-201
DATE: APRIL 2023				
		249 Western Ave. Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com		
FILE NO:		488729 - PROPOSED.dwg		



2426 - USER: Thomas - ATTACHED SHEETS: Vot Survey File: Vot\_NaturalResources\_Based - ATTACHED IMAGES: 10/10/2023/2426  
DRAWING NAME: \\augusta-p1\environmental\RM\env\_rmd\projects\ignistar renewables\ic488729 - old myers solar - wappinger, ny\10-DWG\488729 - PROPOSED.dwg -- PLOT DATE: April 20, 2023 - 12:01PM -- LAYOUT: C-202 SITE GRADING & DRAINAGE PLAN - NORTH  
Version: 2017.10.21

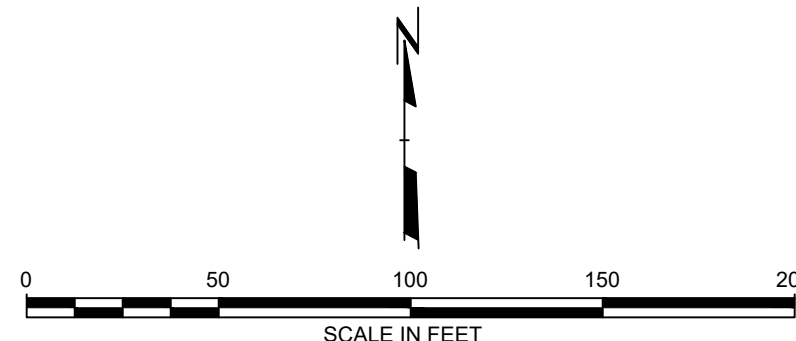
LANDS NOW OR FORMERLY OF  
WAPPINGERS RE, LLC  
INSTRUMENT DOC. NO. 02 2009 7082

LANDS NOW OR FORMERLY OF  
WAPPINGERS RE, LLC  
INSTRUMENT DOC. NO. 02 2009 7082

LANDS NOW OR FORMERLY OF  
165 MYERS CORNERS  
PROPERTY OWNER, LLC  
INSTRUMENT DOC. NO. 02 2022  
51655

## LEGEND

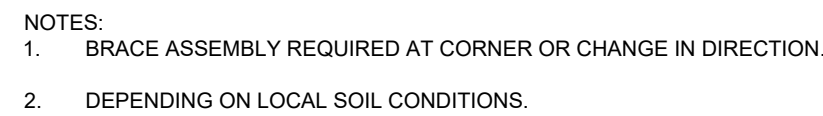
- PROJECT PROPERTY BOUNDARY
- 390 EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UNPAVED ROAD
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING SPOT ELEVATION
- EXISTING TREES AND/OR BRUSH
- EXISTING CULVERT
- EXISTING OVERHEAD ELECTRIC
- EXISTING UTILITY POLE
- BUILDING SETBACK
- DELINEATED WETLAND: NYSDEC JURISDICTION
- NYSDEC 100-FOOT WETLAND BUFFER
- DELINEATED WETLAND: USACE JURISDICTION ONLY
- LOCAL 100-FOOT WETLAND BUFFER
- DELINEATED STREAM
- LOD LIMITS OF DISTURBANCE
- PROPOSED PERVIOUS HAUL ROAD
- PROPOSED PAVED DRIVEWAY APRON
- PROPOSED VEGETATED MAINTENANCE PATH
- PROPOSED TREE LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED OVERHEAD ELECTRIC LINE AND POLE
- PROPOSED UNDERGROUND COLLECTION LINE
- PROPOSED SINGLE-AXIS TRACKER SOLAR ARRAY
- PROPOSED EQUIPMENT PAD
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED SILT FENCE



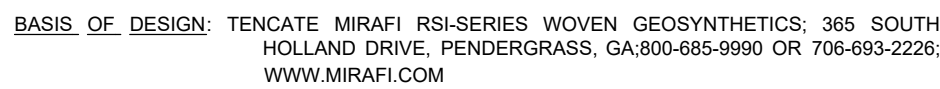
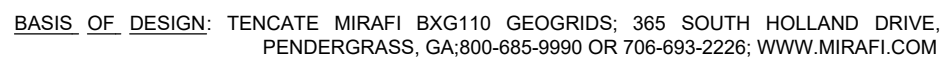
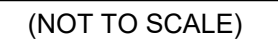
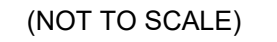
ISSUED FOR PERMIT  
NOT FOR CONSTRUCTION

SEAL:		UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.		
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0	JRP	02/02/2023	ISSUED FOR PERMITTING	TND
NO.	BY	DATE	REVISION	APPD.
PROJECT: NY SOLAR 1001 LLC OLD MYERS SOLAR PROJECT MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY				
TITLE: SITE GRADING & DRAINAGE PLAN - NORTH				
DRAWN BY: JRP		PROJ. NO.: 488729		
CHECKED BY: TND				
APPROVED BY: TND				C-202
DATE: APRIL 2023				
		249 Western Ave. Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com		
FILE NO.: 488729 - PROPOSED.dwg				

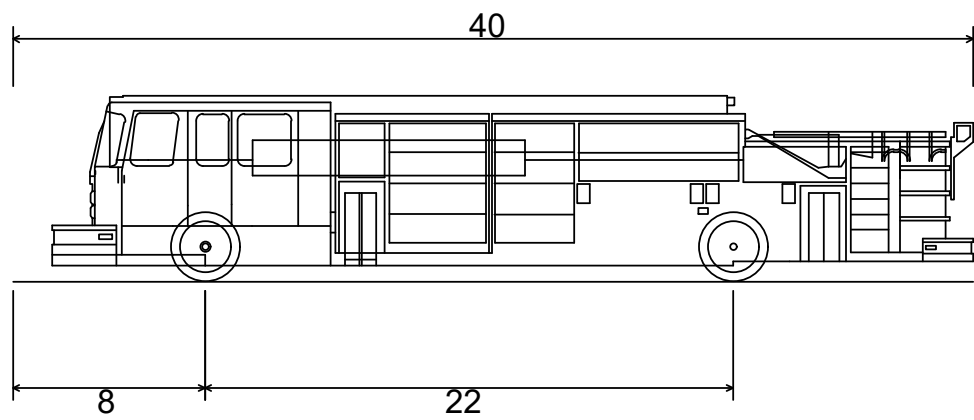
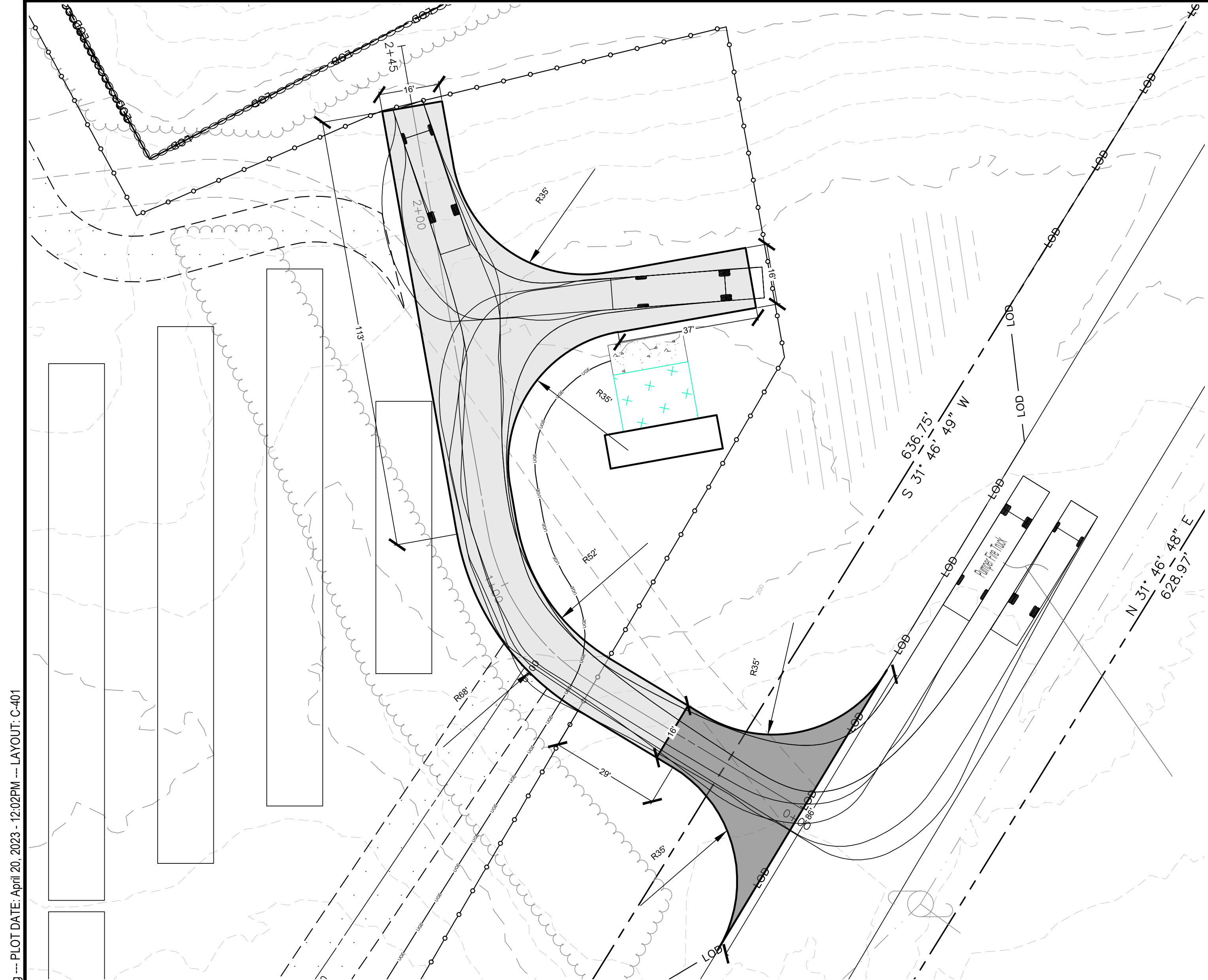




(NOT TO SCALE)







Pumper Fire Truck  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Wheel Angle

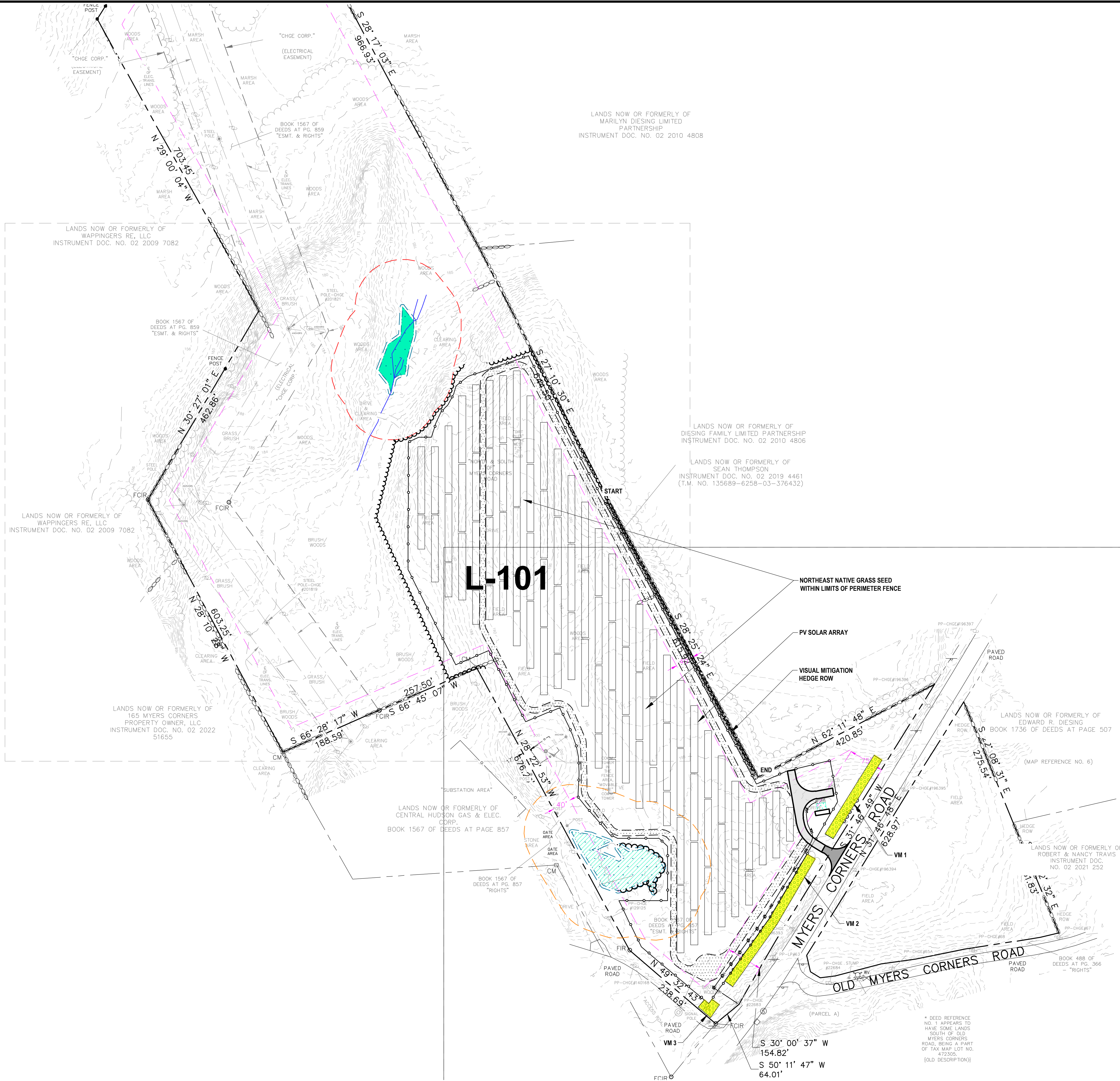
40.000ft  
8.167ft  
7.745ft  
0.656ft  
8.167ft  
5.00s  
45.00°

ISSUED FOR PERMIT  
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		UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.		
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0	JRP	02/02/2023	ISSUED FOR PERMITTING	TND
NO.	BY	DATE	REVISION	APPD.
PROJECT: NY SOLAR 1001 LLC OLD MYERS SOLAR PROJECT MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY				
TITLE: CIVIL CONSTRUCTION DETAILS				
DRAWN BY: JRP		PROJ. NO.: 488729		
CHECKED BY: TND				
APPROVED BY: TND		C-401		
DATE: APRIL 2023				
		249 Western Ave Augusta, ME 04330 Phone: 207.621.7000 www.trccompanies.com		
FILE NO:		488729 - DT.dwg		



24x36 USER: Thomas --- ATTACHED: 488729 - PROPOSED: Xref Survey, Final, Xref Landscaping, Xref Planning Template --- ATTACHED IMAGES: 10/10/2023 10:40:00, 10/10/2023 10:40:00  
DRAWING NAME: \\augusta-bp1\environmental\RD\env\_rmd\projects\lightstar\_renewables\lca488729 - old myers solar - wappinger, ny\10-DWG\488729 - LANDSCAPE.dwg --- PLOT DATE: April 20, 2023 - 12:04PM --- LAYOUT: L-100  
Version: 2017-10-21



### LEGEND

	PROJECT PROPERTY BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING UNPAVED ROAD
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING SPOT ELEVATION
	EXISTING TREES AND/OR BRUSH
	EXISTING CULVERT
	EXISTING OVERHEAD ELECTRIC
	EXISTING UTILITY POLE
	BUILDING SETBACK
	DELINEATED WETLAND: NYSDEC JURISDICTION
	NYSDEC 100-FOOT WETLAND BUFFER
	DELINEATED WETLAND: USACE JURISDICTION ONLY
	LOCAL 100-FOOT WETLAND BUFFER
	DELINEATED STREAM
	L-OD
	LIMITS OF DISTURBANCE
	VISUAL MITIGATION PLANTING

**REVIEWED BY:**  
**MALCOLM SIMPSON**  
PLANNER

DATE  
1501 BROADWAY, NEW YORK, NY 10036  
EMAIL: [MSIMPSON@HARDESTYHANOVER.COM](mailto:MSIMPSON@HARDESTYHANOVER.COM)  
OFFICE: 646.428.8641

- ### NOTES
- IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION TO THE MAXIMUM EXTENT PRACTICAL.
  - EXISTING CONDITIONS AS SHOWN HEREIN ARE BASED UPON BOUNDARY AND TOPOGRAPHIC SURVEYS PREPARED BY OTHERS. REFER TO PLAN REFERENCE NOTES ON SHEET C-100.
  - SEE SHEETS L-102 & L-103 FOR GENERAL NOTES, DETAILS, SEED MIXTURES, PLANTING SCHEDULES, AND COORDINATE TABLES.

SCALE IN FEET  
0 100 200 300 400

**ISSUED FOR PERMIT**  
NOT FOR CONSTRUCTION

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NO.	BY	DATE	REVISION	APPD.

PROJECT: **NY SOLAR 1001 LLC  
OLD MYERS SOLAR PROJECT  
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY**

TITLE: **OVERALL LANDSCAPE PLAN**

DRAWN BY: JRP PROJ. NO.: 488729

CHECKED BY: TND

APPROVED BY: TND

DATE: APRIL 2023

**L-100**

249 Western Ave.  
Augusta, ME 04330  
Phone: 207.621.7000  
[www.trccompanies.com](http://www.trccompanies.com)

FILE NO.: 488729 - LANDSCAPE.dwg





**- VISUAL MITIGATION HEDGE ROW  
(SEE SHEET L-100 FOR EXTENTS)**

LANDS NOW OR FORMERLY OF  
EDWARD R. DIESING  
BOOK 1736 OF DEEDS AT PAGE 507

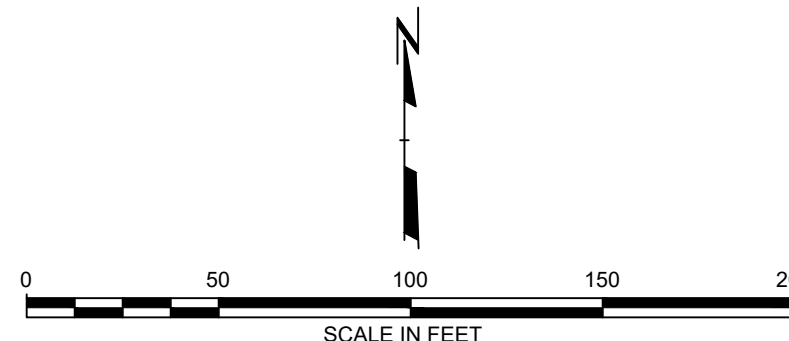
(MAP REFERENCE NO. 6)

	PROJECT PROPERTY BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING UNPAVED ROAD
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING SPOT ELEVATION
	EXISTING TREES AND/OR BRUSH
	EXISTING CULVERT
	EXISTING OVERHEAD ELECTRIC
	EXISTING UTILITY POLE
	BUILDING SETBACK
	DELINEATED WETLAND: NYSDEC JURISDICTION
	NYSDEC 100-FOOT WETLAND BUFFER
	DELINEATED WETLAND: USACE JURISDICTION ONLY
	LOCAL 100-FOOT WETLAND BUFFER
	DELINEATED STREAM
	LIMITS OF DISTURBANCE
	PROPOSED ACCESS ROAD
	PROPOSED VEGETATED MAINTENANCE PATH
	PROPOSED TREE LINE
	PROPOSED CHAIN LINK FENCE
	PROPOSED OVERHEAD ELECTRIC LINE AND POLE
	PROPOSED UNDERGROUND COLLECTION LINE
	PROPOSED SINGLE-AXIS TRACKER SOLAR ARRAY
	PROPOSED EQUIPMENT PAD
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED SILT FENCE
	VISUAL MITIGATION PLANTING

**REVIEWED BY:**  
**MALCOLM SIMPSON**  
*PLANNER*

1501 BROADWAY, NEW YORK, NY 10036  
EMAIL: [MSIMPSON@HARDESTYHANOVER.COM](mailto:MSIMPSON@HARDESTYHANOVER.COM)  
OFFICE: 646.428.8641

1. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION TO THE MAXIMUM EXTENT PRACTICAL.
2. EXISTING CONDITIONS AS SHOWN HEREIN ARE BASED UPON BOUNDARY AND TOPOGRAPHIC SURVEYS PREPARED BY OTHERS REFER TO PLAN REFERENCE NOTES ON SHEET C-100.
3. SEE SHEETS L-102 & L-103 FOR GENERAL NOTES, DETAILS, SEED MIXTURES, PLANTING SCHEDULES, AND COORDINATE TABLES.



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UNDER NEW YORK STATE EDUCATION  
LAW ARTICLE 145 (ENGINEERING)  
SECTION 7209 (2), IT IS A VIOLATION OF  
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1	JRP	03/22/2023	REVISED PER TOWN COMMENTS		TND
0	JRP	02/02/2023	ISSUED FOR PERMITTING		TND
NO.	BY	DATE	REVISION		APP'D.

PROJECT: NY SOLAR 1001 LLC  
OLD MYERS SOLAR PROJECT  
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

TITLE: **LANDSCAPE PLAN - ENLARGED**

DRAWN BY:	JRP	PROJ. NO.:	488729
CHECKED BY:	TND	L-101	
APPROVED BY:	TND		
DATE:	APRIL 2023		



249 Western Ave.  
Augusta, ME 04330  
Phone: 207.621.7000  
[www.trccompanies.com](http://www.trccompanies.com)

FILE NO.: 488729 - LANDSCAPE.d

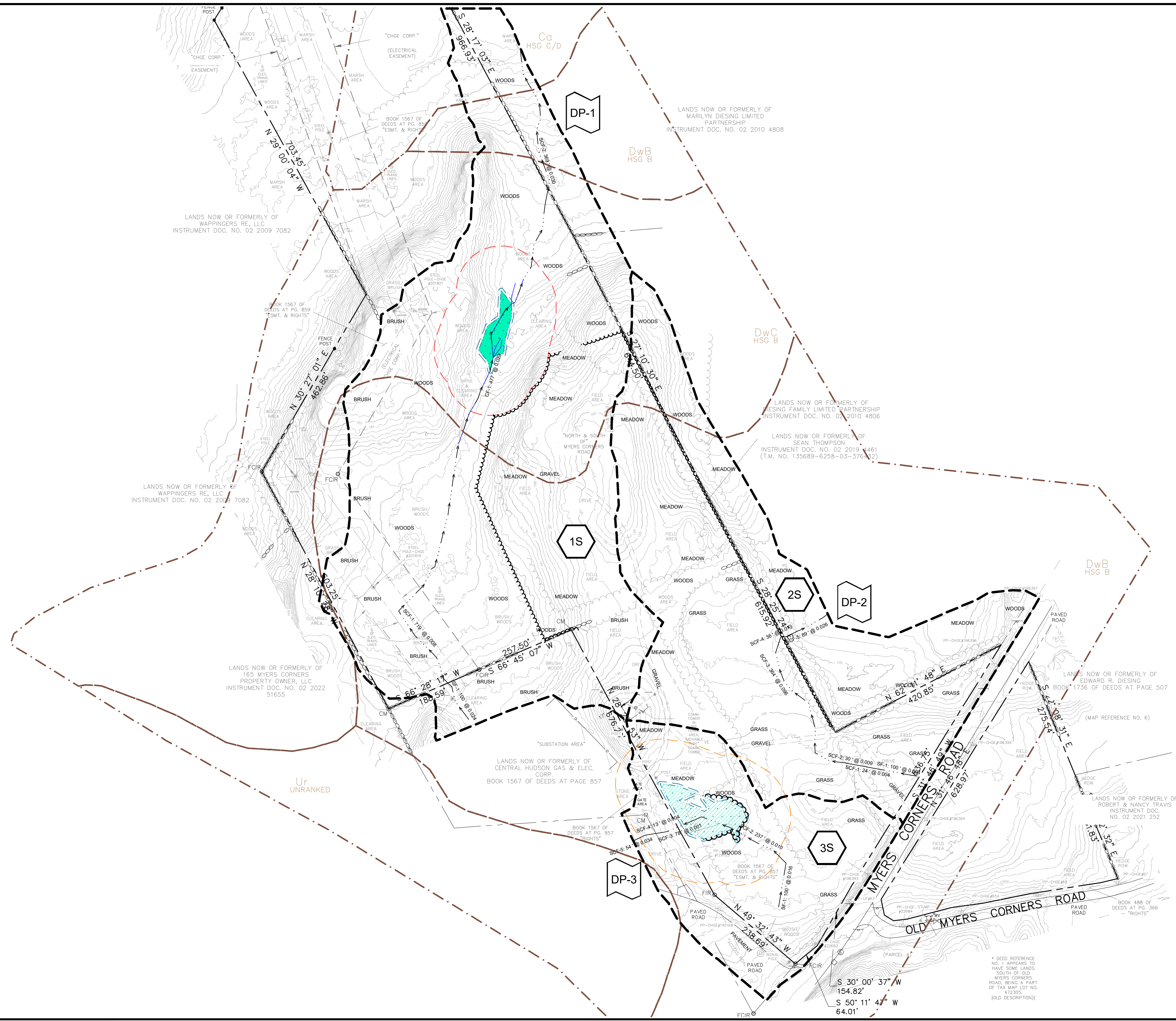












<b>LEGEND</b>				
	PROPERTY BOUNDARY			
	SUBCATCHMENT BOUNDARY			
	NRCS SOIL MAP UNITS & ID			
	TIME OF CONCENTRATION FLOW PATH			
	SUBCATCHMENT NODE ID			
	ANALYSIS POINT NODE ID			

SCALE IN FEET

**ISSUED FOR PERMIT**  
 NOT FOR CONSTRUCTION

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NO.	BY	DATE	REVISION	APPROVAL
2	GMT	04/20/2023	REVISED LANDSCAPING	TND
1	JRP	03/22/2023	REVISED PER TOWN COMMENTS	TND
0	JRP	02/02/2023	ISSUED FOR PERMITTING	TND

PROJECT:	<b>NY SOLAR 1001 LLC</b> <b>OLD MYERS SOLAR PROJECT</b> <b>MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY</b>
TITLE:	<b>PRE-DEVELOPMENT SUBCATCHMENT PLAN</b>

DRAWN BY: JRP	PROJ. NO.: 488729	SW-100
CHECKED BY: TND		
APPROVED BY: TND		
DATE: APRIL 2023		

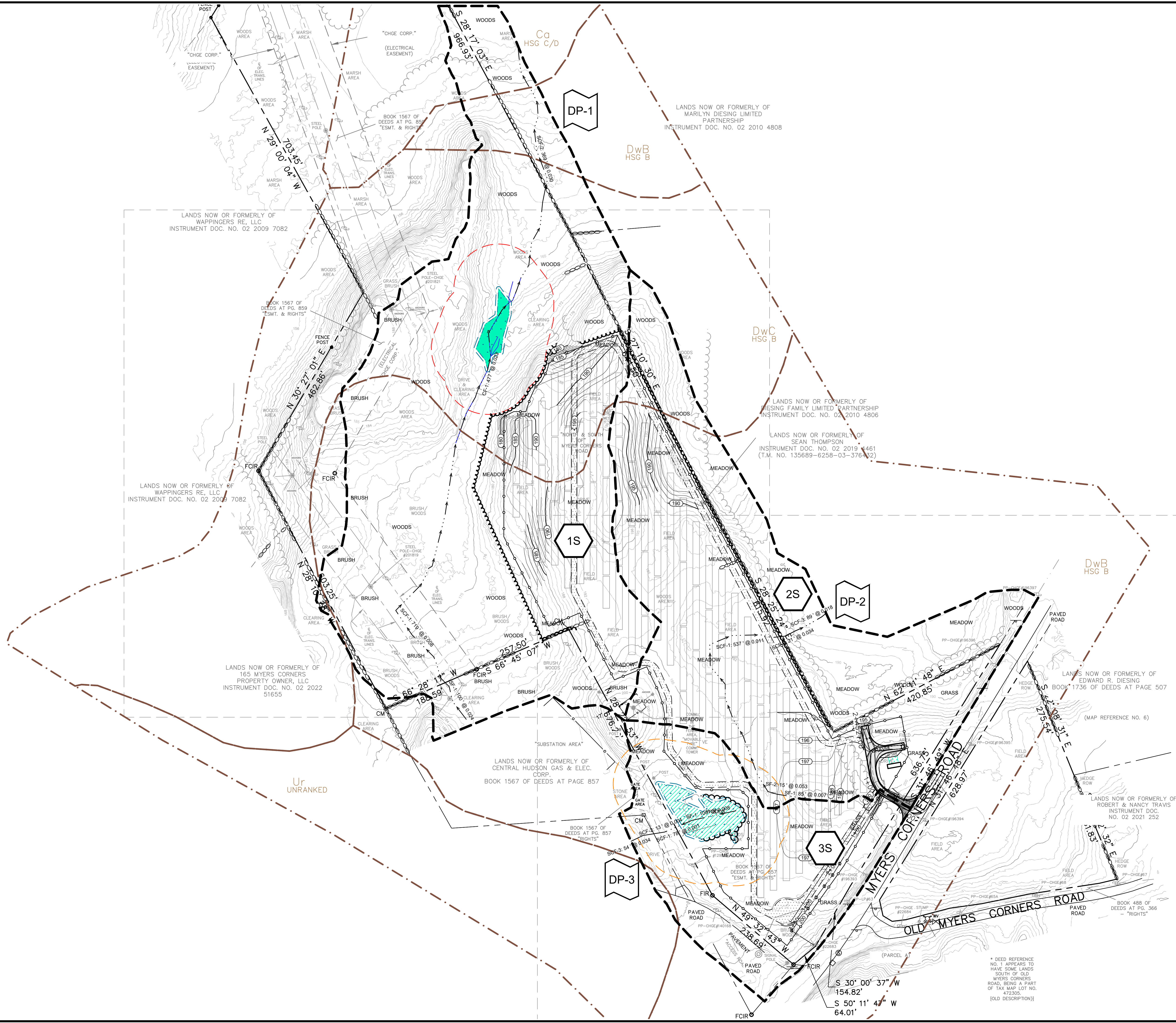
  

249 Western Ave.  
 Augusta, ME 04330  
 Phone: 207.621.7000  
[www.trccompanies.com](http://www.trccompanies.com)

FILE NO.:
488729 - STORM HYDROLOGY

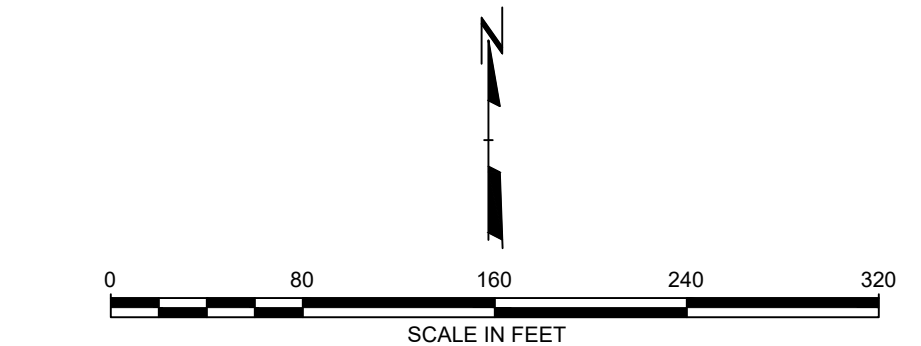


2406 -- USER: Thomas -- ATTACHED SHEETS: Vol. Survey File: Xrd\_NaturalResources -- Project: Vb\_Augusta -- 488729 -- PROPOSED: 488729 -- NRCS SOILS: 488729 -- PROPOSED: 488729 -- ATTACHED IMAGES: mdy20230324.mxd -- PLOT DATE: April 20, 2023 -- 12:07PM -- LAYOUT: SW-200 POST-DEVELOPMENT SUBCATCHMENT PLAN  
DRAWING NAME: \\augustia-fp1\environmental\RD\env\_rmd\projects\lightstar\_renewables\lca488729 - old myers solar - wappinger.ny10\DWG\488729 - STORM HYDRO.dwg



**LEGEND**

- PROPERTY BOUNDARY
- SUBCATCHMENT BOUNDARY
- NRCS SOIL MAP UNITS & ID
- TIME OF CONCENTRATION FLOW PATH
- SUBCATCHMENT NODE ID
- ANALYSIS POINT NODE ID



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SEAL:

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1	JRP	03/22/2023	REVISED PER TOWN COMMENTS	TND
0	JRP	02/02/2023	ISSUED FOR PERMITTING	TND

PROJECT: NY SOLAR 1001 LLC  
OLD MYERS SOLAR PROJECT  
MYERS CORNER RD, WAPPINGER, DUTCHESS CO., NY

TITLE: POST-DEVELOPMENT SUBCATCHMENT PLAN

DRAWN BY: JRP PROJECT NO.: 488729

CHECKED BY: TND

APPROVED BY: TND

DATE: APRIL 2023

SW-200

TRC

249 Western Ave.  
Augusta, ME 04330  
Phone: 207.621.7000  
www.trccompanies.com

FILE NO.: 488729 - STORM HYDRO.dwg