

BULK REQUIREMENTS		MINIMUM PROVIDED		
DISTRICT	R-40	LOT #1	LOT #2	LOT #3
MIN. LOT AREA W/WATER OR SEWER	60,000 SQUARE FEET 0.92 ACRE	83,559 SQ.FT. 1.92 AC.	76,880 SQ.FT. 1.76 AC.	86,738 SQ.FT. 1.99 AC.
MIN. FRONTAGE	50'	398.2'	52.2'	52.2'
MIN. WIDTH	125'	378.0'	365.4'	367.4'
MIN. DEPTH	125'	230.9'	181.0'	181.0'
MIN. FRONT YARD (FROM COUNTY HIGHWAY)	75'	117.5'	441'	570'
MIN. SIDE YARD	25'	151.2'	75'	53'
MIN. REAR YARD	50'	53.2'	68'	104'
MAX. BUILDING COVERAGE (% LOT AREA)	12%	1.8%	2.3%	2.0%
MAX. FLOOR AREA RATIO	0.12	0.03	0.05	0.04
MAX. HEIGHT	35/2.5 STORIES	< 35/2.5 STORIES	< 35/2.5 STORIES	< 35/2.5 STORIES



SEAL

DATE _____

TOWN OF WAPPINGER PLANNING BOARD CHAIR



SCALE AS NOTED	DRAWN BY BJS	DRAWING No. 1 1 of 7
DATE 11-22-22	CHECKED BY BJS	

PRE-CONSTRUCTION SEQUENCE:

- CONSTRUCTION SEQUENCE:

- ### EROSION CONTROL IMPLEMENTATION SCHEDULE (ALL PHASES)

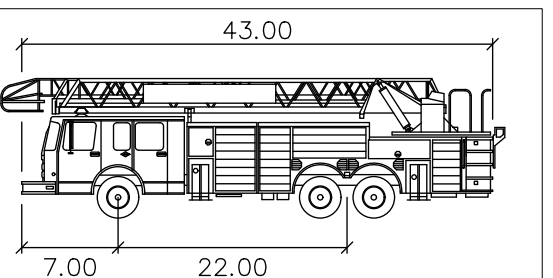
- SEDIMENT TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED OR CLEANED ON A DAILY BASIS
- REFER TO CONSTRUCTION SEQUENCE FOR ADDITIONAL INFORMATION

- CONSTRUCTION EROSION CONTROL MAINTENANCE SCHEDULE (ALL PHASES):



TRUCK TURNING TEMPLATE

SCALE: 1" = 40'



Local-Fire-Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

LEGEND

- EXISTING SEWAGE DISPOSAL SYSTEM
- PROPOSED PRIMARY SEWAGE DISPOSAL SYSTEM
- SEWAGE DISPOSAL SYSTEM PROPOSED 100% EXPANSION AREA
- SEPTIC TANK
- DISTRIBUTION BOX
- EXISTING UTILITY POLE
- PROPOSED HAY BALE BERM-SILT FENCING
- STONE WALL
- WM — EXISTING WATER MAIN
- WS — WATER SERVICE LINE
- WATER SHUT OFF VALVE
- LIMIT OF DISTURBANCE
- EXISTING STORM SEWER
- FD — FOOTING DRAIN

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

	Brian J. Stokosa, PE
APRIL 15, 2023	
FEBRUARY 9, 2023	
Revisions	
Project No.	2022-478
	License No. 083970

DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
TORREGROSSA SUBDIVISION

Town of Wappinger Dutchess County, New York

DRAWING

SUBDIVISION PLAN

SUBDIVISION PLAN		
SCALE AS NOTED	DRAWN BY BJS	DRAWING No. 2 2 of 7
DATE 11-22-22	CHECKED BY BJS	

CONCEPTUAL INDIVIDUAL DRIVEWAY ENTRANCE

SCALE: 1" = 40'

PROPOSED CONDITIONS PLAN

SCALE: 1" = 50'

OWNER CONSENT

THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

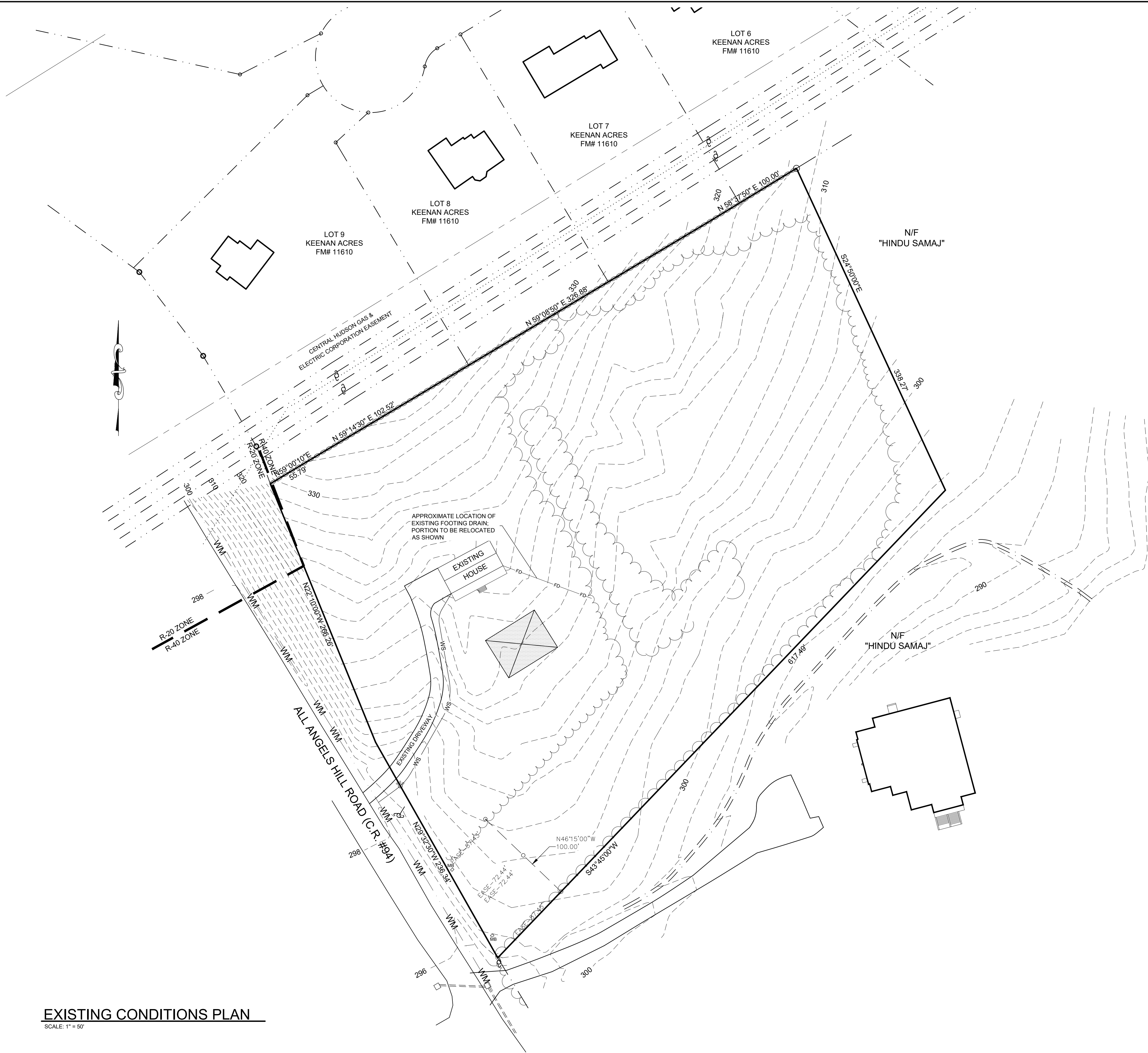
DATE _____

TOWN OF WAPPINGER PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF
WAPPINGER, NEW YORK ON THE _____ DAY OF _____
_____, 2023 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF
SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF
THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS _____ DAY OF _____, 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR



EXISTING CONDITIONS PLAN
SCALE: 1" = 50'

- LEGEND**
- EXISTING SEWAGE DISPOSAL SYSTEM
 - PROPOSED PRIMARY SEWAGE DISPOSAL SYSTEM
 - SEWAGE DISPOSAL SYSTEM PROPOSED 100% EXPANSION AREA
 - SEPTIC TANK
 - DISTRIBUTION BOX
 - EXISTING UTILITY POLE
 - PROPOSED HAY BALE BERM-SILT FENCING
 - STONE WALL
 - WM - EXISTING WATER MAIN
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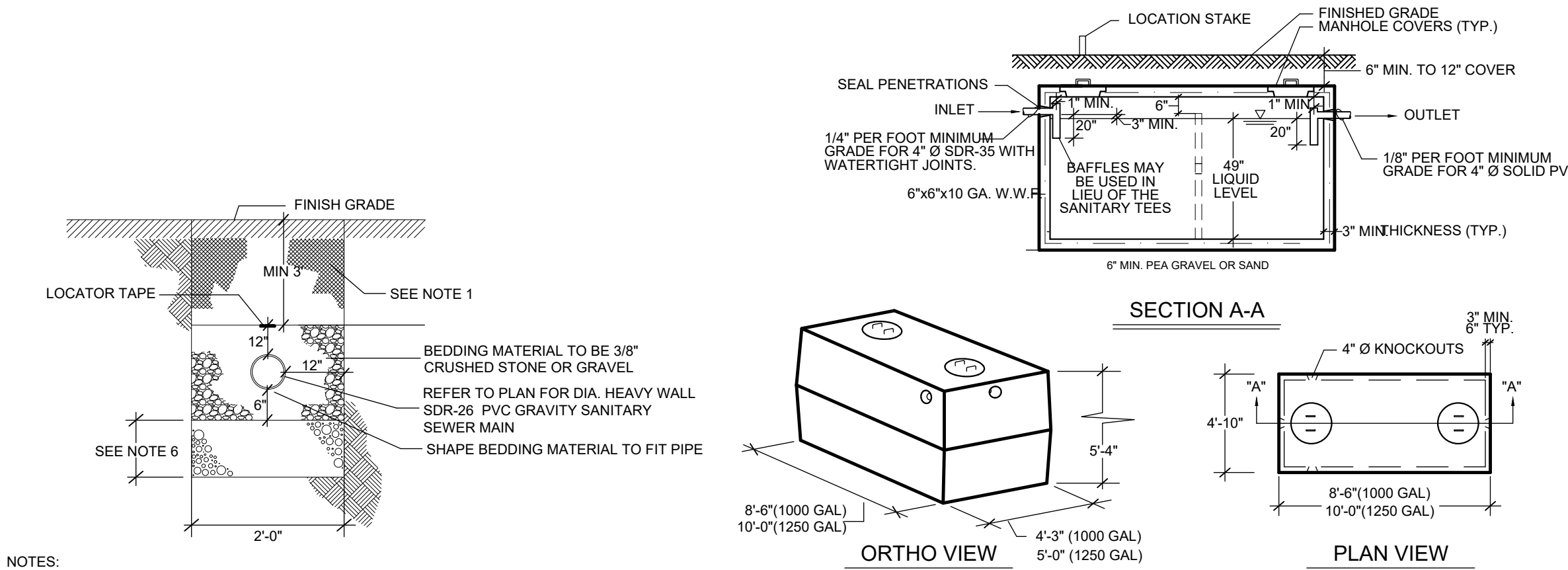
EXISTING CONDITIONS

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	3
DATE	CHECKED BY	3 of 7
11-22-22	BJS	

SURVEY CERTIFICATION	
I HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED IN JANUARY 2003. TOPOGRAPHICAL SURVEY AS PER USGS DATUM.	
ROBERT V. OSWALD, NYSLLS #50031	SEAL

OWNER CONSENT	
THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.	
OWNER	DATE

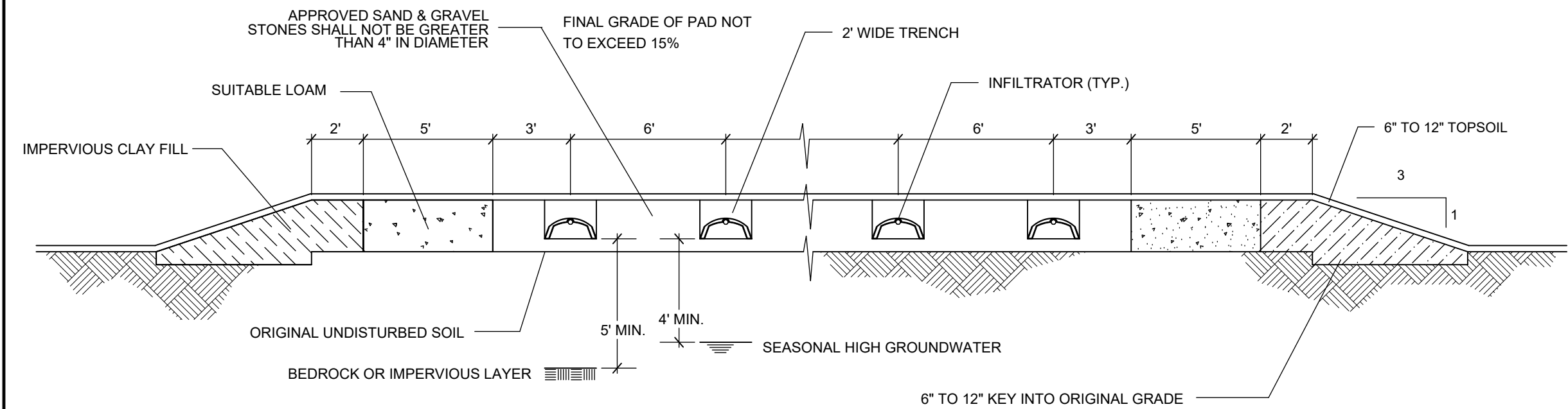
TOWN OF WAPPINGER PLANNING BOARD	
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TOWN OF WAPPINGER PLANNING BOARD	
SIGNED THIS _____ DAY OF _____, 2023	
TOWN OF WAPPINGER PLANNING BOARD CHAIR	



- NOTES:
- 1) TRENCH BACKFILL SHALL BE COMPACTED RUN-OF-BANK GRAVEL.
 - 2) FILL OR BACKFILL MATERIAL SHALL BE DEPOSITED IN 6" LIFTS. EACH LIFT SHALL BE COMPACTED PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
 - 3) BACKFILLING AROUND PIPES SHALL BE DONE UNIFORMLY ON EACH SIDE OF THE PIPE.
 - 4) THOROUGHLY CLEAN ALL SANITARY SEWER MAINS PRIOR TO ACCEPTANCE TESTING.
 - 5) IN THE EVENT THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, THE CONTRACTOR SHALL LINE THE TRENCH WITH FILTER FABRIC & BED THE PIPE IN 3/8" STONE INSIDE THE FILTER FABRIC.
 - 6) IF PIPE FOUNDATION IS FOUND TO BE UNSUITABLE, THE CONTRACTOR SHALL INSTALL AND COMPACT 6" OF RUN-OF-BANK GRAVEL.
 - 7) PIPE SHALL BE LAID ON STRAIGHT ALIGNMENT AND UNIFORM SLOPE BETWEEN MANHOLES.
 - 8) A DEFLECTION TEST (95% MANDREL) SHALL BE PERFORMED ON THE MAIN SEWER LINES.

TYPICAL SANITARY PIPE DETAIL

SCALE: NOT TO SCALE

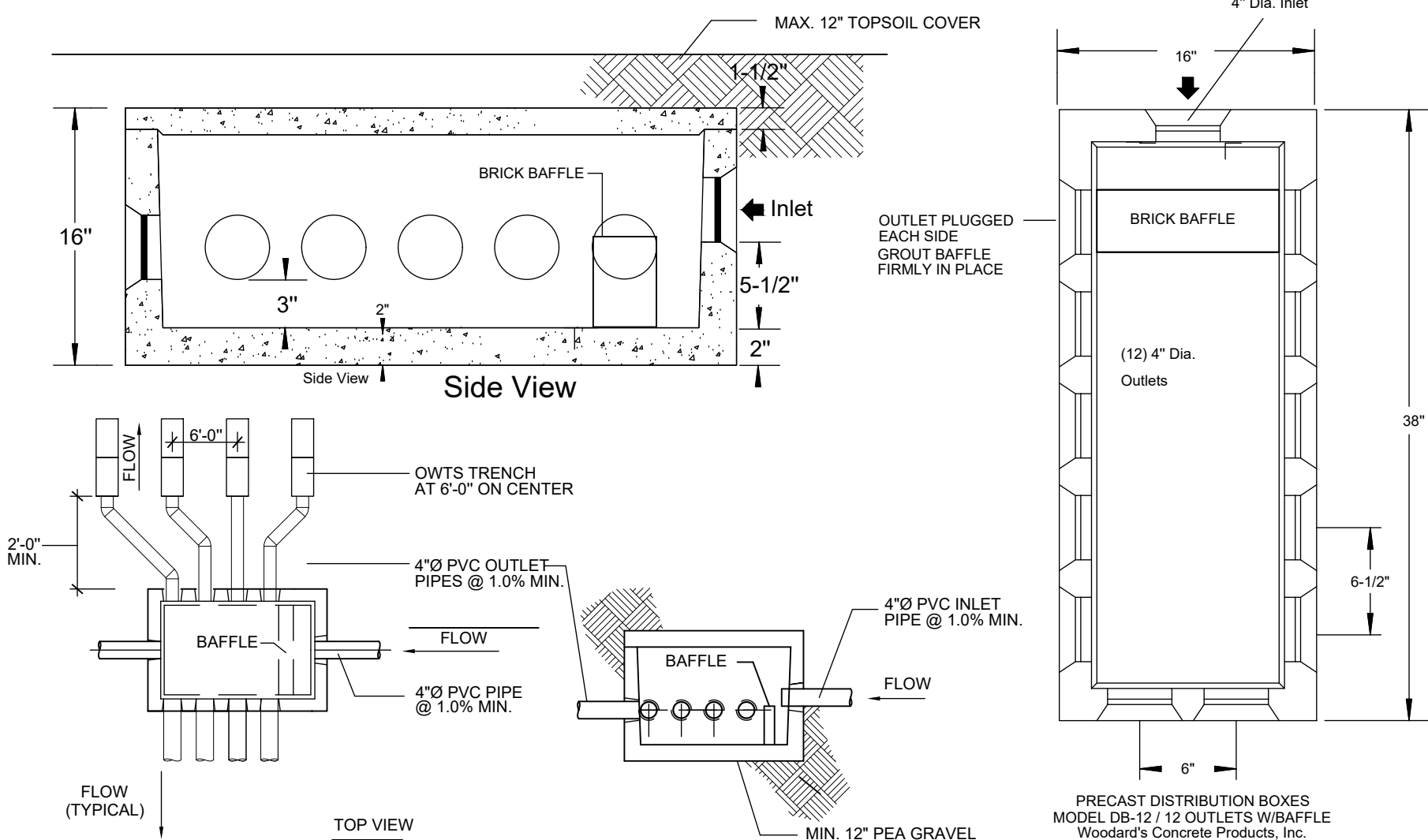


CONSTRUCTION NOTES:

- 1) THE CONTRACTOR SHALL SEAL PENETRATIONS IN THE SEPTIC TANK SO THAT THE SEPTIC TANK IS WATERTIGHT.
- 2) THE SEPTIC TANK SHALL BE CONSTRUCTED FROM CONCRETE WHICH SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT A STANDARD 28 DAY COMPRESSIVE TEST.
- 3) 6"x10" GA. WELDED WIRE FABRIC SHALL BE USED AS REINFORCEMENT FOR THE SEPTIC TANK.
- 4) TWO-PIECE SEPTIC TANKS SHALL BE SEALED WITH A BUTYL GASKET OR AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- 5) THE SEPTIC TANK SHALL BE TESTED FOR WATER TIGHTNESS.

SEPTIC TANK DETAIL

SCALE: NOT TO SCALE

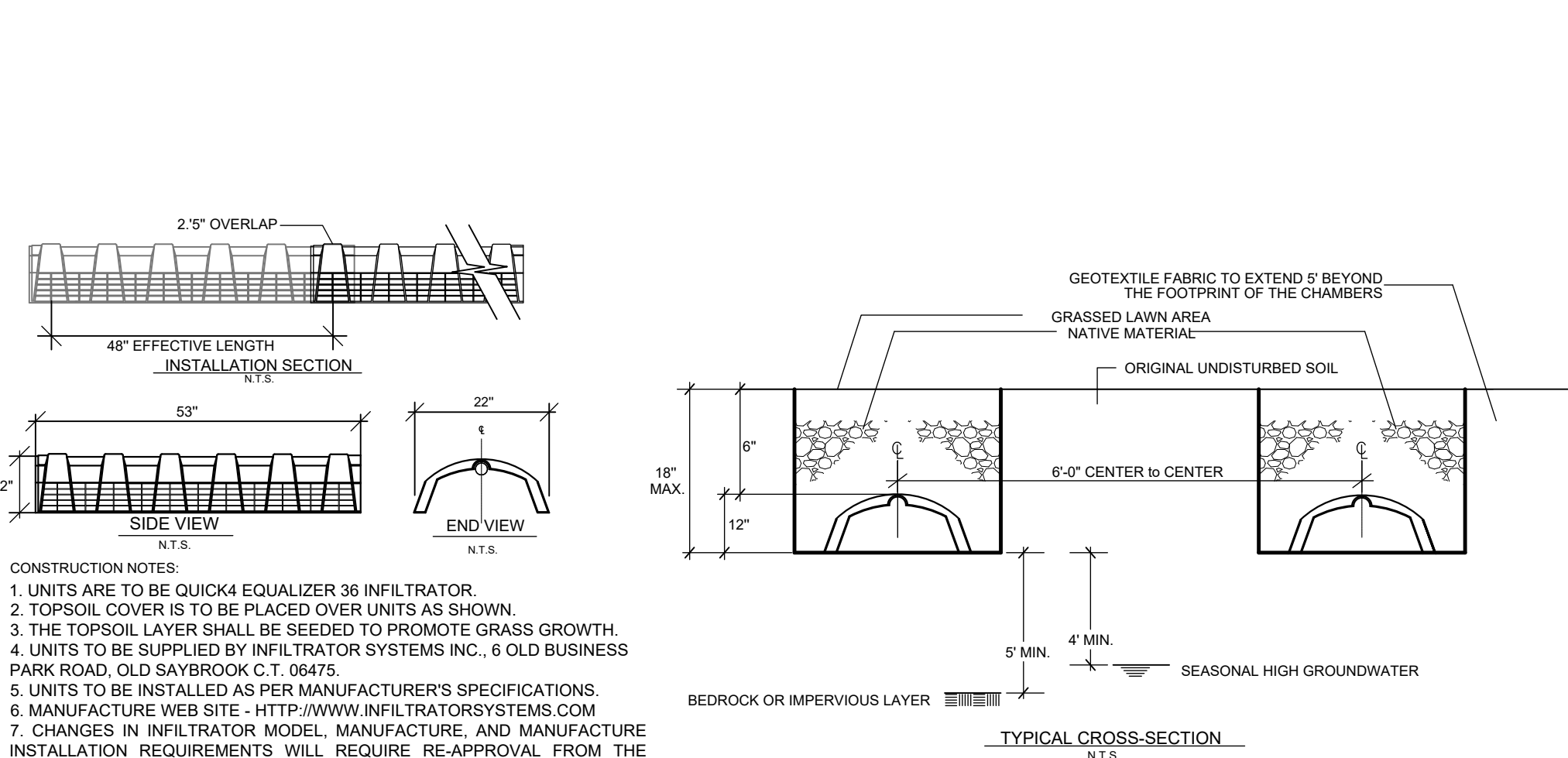


CONSTRUCTION NOTES:

1. A MINIMUM OF 2" OF 4"Ø SOLID PIPE SHALL BE PROVIDED PRIOR TO THE START OF THE TRENCHES.
2. ALL OUTLETS FROM THE DISTRIBUTION BOX SHALL BE AT THE SAME LEVEL TO INSURE THE EVEN DISTRIBUTION OF FLOW.
3. ALL UNUSED OUTLETS MUST BE PLUGGED.
4. A BRICK BAFFLE SHALL BE PLACE AT THE INLET OPENING OF THE D-BOX.
5. A BEDDING OF 12" OF PEA GRAVEL SHALL BE PROVIDED UNDER THE D-BOX.
6. THE INVERT ON THE INLET PIPE SHALL BE A MINIMUM OF 2" HIGHER THAN THE INVERT OF ANY OF THE OUTLETS.
7. A MAX. 12" OF TOPSOIL COVER SHALL BE PROVIDED, WHERE, DUE TO SITE CONDITIONS, A DISTRIBUTION BOX MUST BE GREATER THAN 12 INCHES BELOW THE SURFACE, AN EXTENSION COLLAR SHALL BE INSTALLED TO WITHIN 12 INCHES OF THE SURFACE.
8. DISTRIBUTION BOXES MAY BE CONSTRUCTED IN PLACE OR PURCHASED PREFABRICATED. WHEN CONCRETE IS USED TO CONSTRUCT BOXES, IT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAY SET.
9. SPEED LEVELERS SHALL BE PROVIDED IN DISTRIBUTION BOX.
10. BRICK BAFFLE TO BE GROUTED SECURELY IN PLACE.

TYPICAL DROP BOX DETAIL

SCALE: NOT TO SCALE



CONSTRUCTION NOTES:

1. UNITS ARE TO BE QUICK4 EQUALIZER 36 INFILTRATOR.
2. TOPSOIL COVER IS TO BE PLACED OVER UNITS AS SHOWN.
3. THE TOPSOIL LAYER SHALL BE SEEDED TO PROMOTE GRASS GROWTH.
4. UNITS TO BE SUPPLIED BY INFILTRATOR SYSTEMS INC., 6 OLD BUSINESS PARK ROAD, OLD SAYBROOK C.T. 06475.
5. UNITS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
6. MANUFACTURE WEB SITE - HTTP://WWW.INFILTRATORSYSTEMS.COM
7. CHANGES IN INFILTRATOR MODEL, MANUFACTURE, AND MANUFACTURE INSTALLATION REQUIREMENTS WILL REQUIRE RE-APPROVAL FROM THE DCHD.
8. INFILTRATORS ARE TO BE SET LEVEL.
9. A SPLASH PAD TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS
10. ENDS OF INFILTRATORS TO BE CAPPED

TYPICAL INFILTRATOR DETAIL

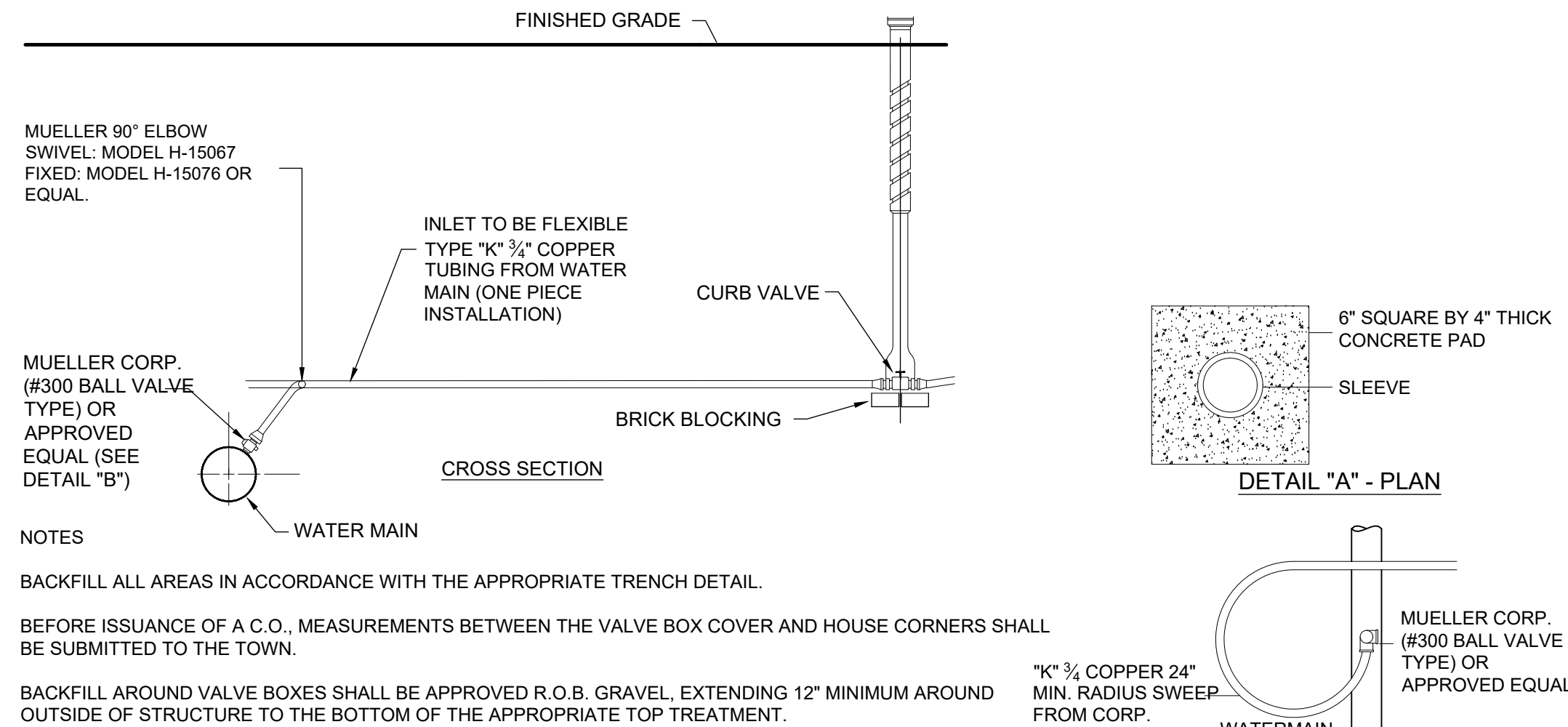
SCALE: NOT TO SCALE

SOIL TEST SCHEDULE												
DEEP TEST PITS				PERC TESTS								
LOT NUMBER	DTP No.	SOIL DESCRIPTION		PT No.	RUN NUMBER				PRESAWED	DEPTH	LOT NUMBER	
					1	2	3	4	5			
2	1	TD = 8'-6"	8" TOP SOIL, BAL = 3" SILTY CLAY LOAM TO HARDPAN	1	48	52	56	-	-	62402	29"	2
2	2	TD = 7'-3"	6" TOP SOIL, BAL = 3'-4" SILTY CLAY LOAM TO HARDPAN	2	39	46	46	-	-	62402	29"	2
3	1	TD = 8'-6"	6" TOP SOIL, BAL = 3" SILTY CLAY LOAM TO HARDPAN	1	46	52	52	-	-	62402	29"	2
3	2	TD = 8'-6"	6" TOP SOIL, BAL = 3" SILTY CLAY LOAM TO HARDPAN	2	46	47	49	49	-	62402	29"	3
2	A	TD = 7'-0"	6" TOP SOIL, BAL = TIGHT CLAY LOAM	A	32	40	46	46	46	117/05	24"	2
2	B	TD = 7'-0"	6" TOP SOIL, BAL = TIGHT CLAY LOAM	B	46	48	52	52	52	117/05	24"	2

DEEP TESTS 1 AND 2 PERFORMED ON JUNE 19, 2003. DEEP TESTS A AND B PERFORMED ON NOVEMBER 3, 2005. DEEP SOIL TESTS A AND B WITNESSED BY MR. PETER MARLOW, P.E., OF THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.

PERCOLATION TESTS 1 AND 2 PERFORMED ON THE DAY OF JUNE 25, 2002. PERCOLATION TESTS A AND B PERFORMED ON THE DAY OF NOVEMBER 3, 2005. TEST HOLES PREDRUG AND PRESAWED 24 HOURS EARLIER AS PER DCHD REQUIREMENTS.

TILE FIELD SCHEDULE										SEPTIC TANK SIZE				No. & LENGTH OF LATERALS				LOT NUMBER	
LOT NUMBER	TILE FIELD LENGTH FOR 3 BEDROOM	TILE FIELD LENGTH FOR 4 BEDROOM	MIN. FIELD REQUIRED	LATERAL WIDTH	LATERAL SPACING	DROP BOX	CURTAIN DRAIN	DISPOSAL SYSTEM	MIN. RAW INVERT	3 BEDROOM	4 BEDROOM	5 BEDROOM	6 BEDROOM	5 LATS @ 50' EA	7 LATS @ 50' EA	7 LATS @ 50' EA	7 LATS @ 50' EA	LOT NUMBER	LOT NUMBER
2	312 L.F.	392 L.F.	4'-0"	2'-0"	6'-0"	--	--	FILL PAD	323.6	1,000 GAL	1,250 GAL	5 LATS @ 50' EA	7 LATS @ 50' EA	5 LATS @ 50' EA	7 LATS @ 50' EA	7 LATS @ 50' EA	7 LATS @ 50' EA	2	2
3	312 L.F.	392 L.F.	4'-0"	2'-0"	6'-0"	--	--	FILL PAD	316.5	1,000 GAL	1,250 GAL	5 LATS @ 50' EA	7 LATS @ 50' EA	5 LATS @ 50' EA	7 LATS @ 50' EA	7 LATS @ 50' EA	7 LATS @ 50' EA	3	3



BACKFILL ALL AREAS IN ACCORDANCE WITH THE APPROPRIATE TRENCH DETAIL.

BEFORE ISSUANCE OF A C.O., MEASUREMENTS BETWEEN THE VALVE BOX COVER AND HOUSE CORNERS SHALL BE SUBMITTED TO THE TOWN.

BACKFILL AROUND VALVE BOXES SHALL BE APPROVED R.O.B. GRAVEL, EXTENDING 12" MINIMUM AROUND OUTSIDE OF STRUCTURE TO THE BOTTOM OF THE APPROPRIATE TOP TREATMENT.

ALL FITTINGS TO BE COMPRESSION TYPE.

TYPICAL WATER SERVICE CONNECTION DETAILS

SCALE: NOT TO SCALE

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OWNER

DATE

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TOWN OF WAPPINGER PLANNING BOARD CHAIR

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Brian J. Stokosa, PE	
APRIL 15, 2023	
FEBRUARY 9, 2023	
Project No.	2022-478
License No.	083970

DAY STOKOSA
ENGINEERING P.C.

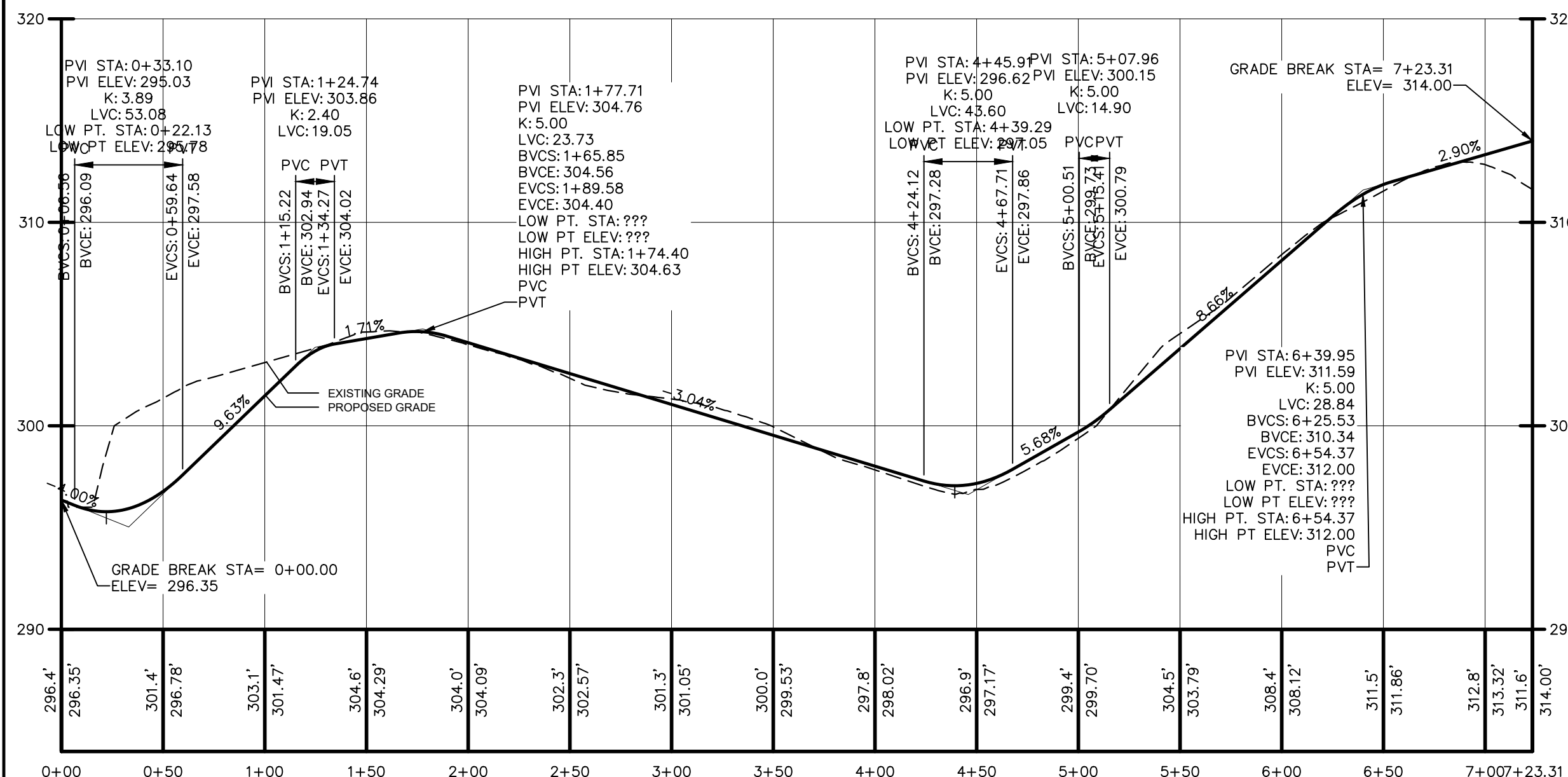
3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
Torreregrossa Subdivision

Town of Wappinger Dutchess County, New York

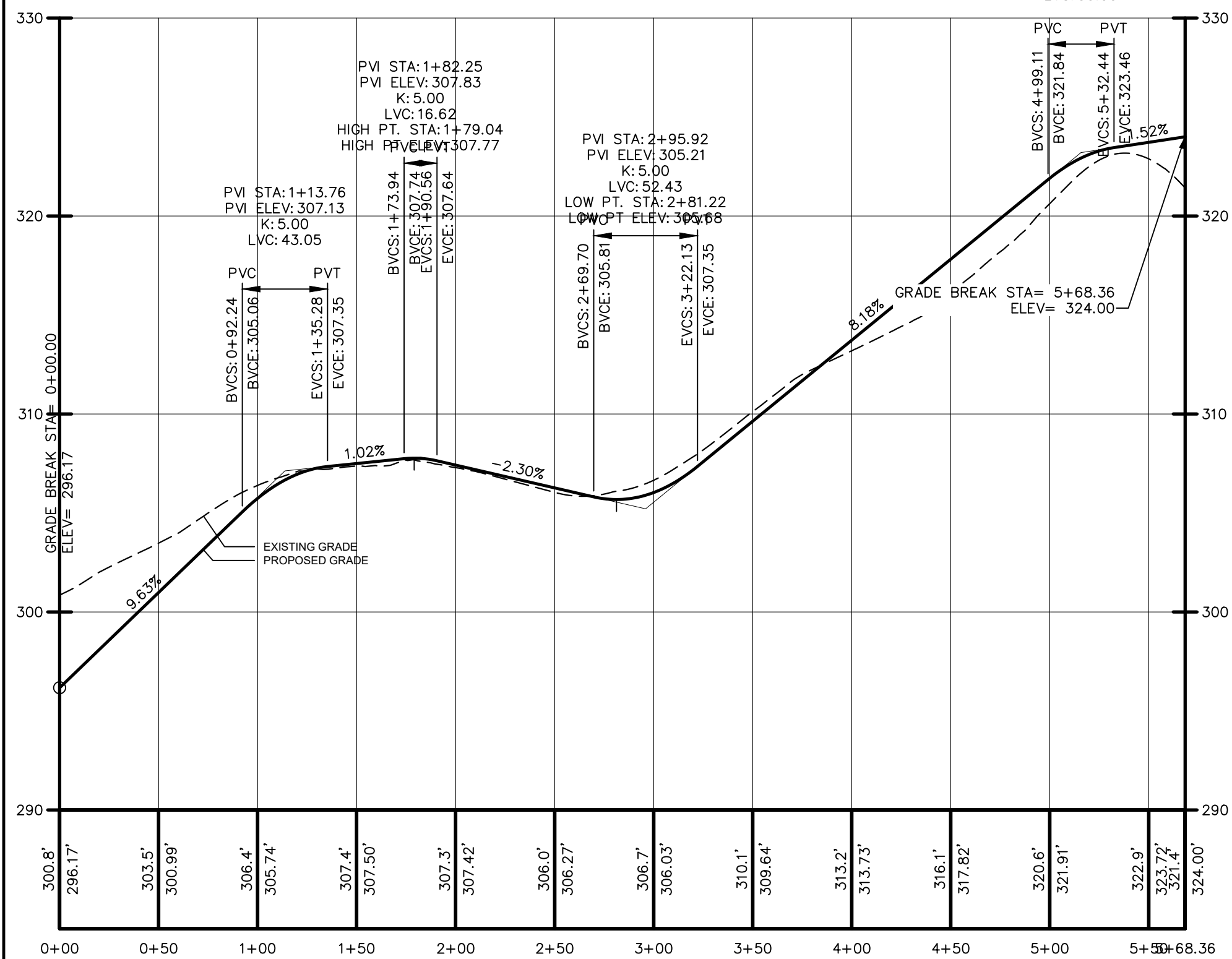
DCHD DETAILS

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	4
DATE	CHECKED BY	4 of 7
11-22-22	BJS	



COMMON ENTRANCE - LOT #3 DRIVEWAY PROFILE

V. SCALE: 1" = 5', H. SCALE: 1" = 50'

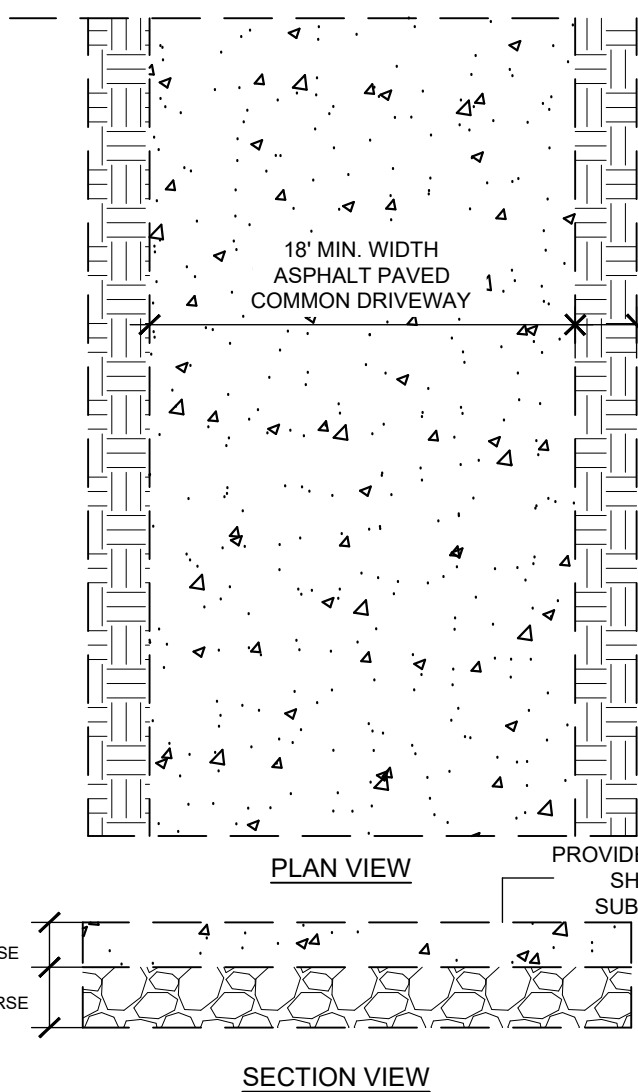


COMMON ENTRANCE - LOT #2 DRIVEWAY PROFILE

V. SCALE: 1" = 5', H. SCALE: 1" = 50'

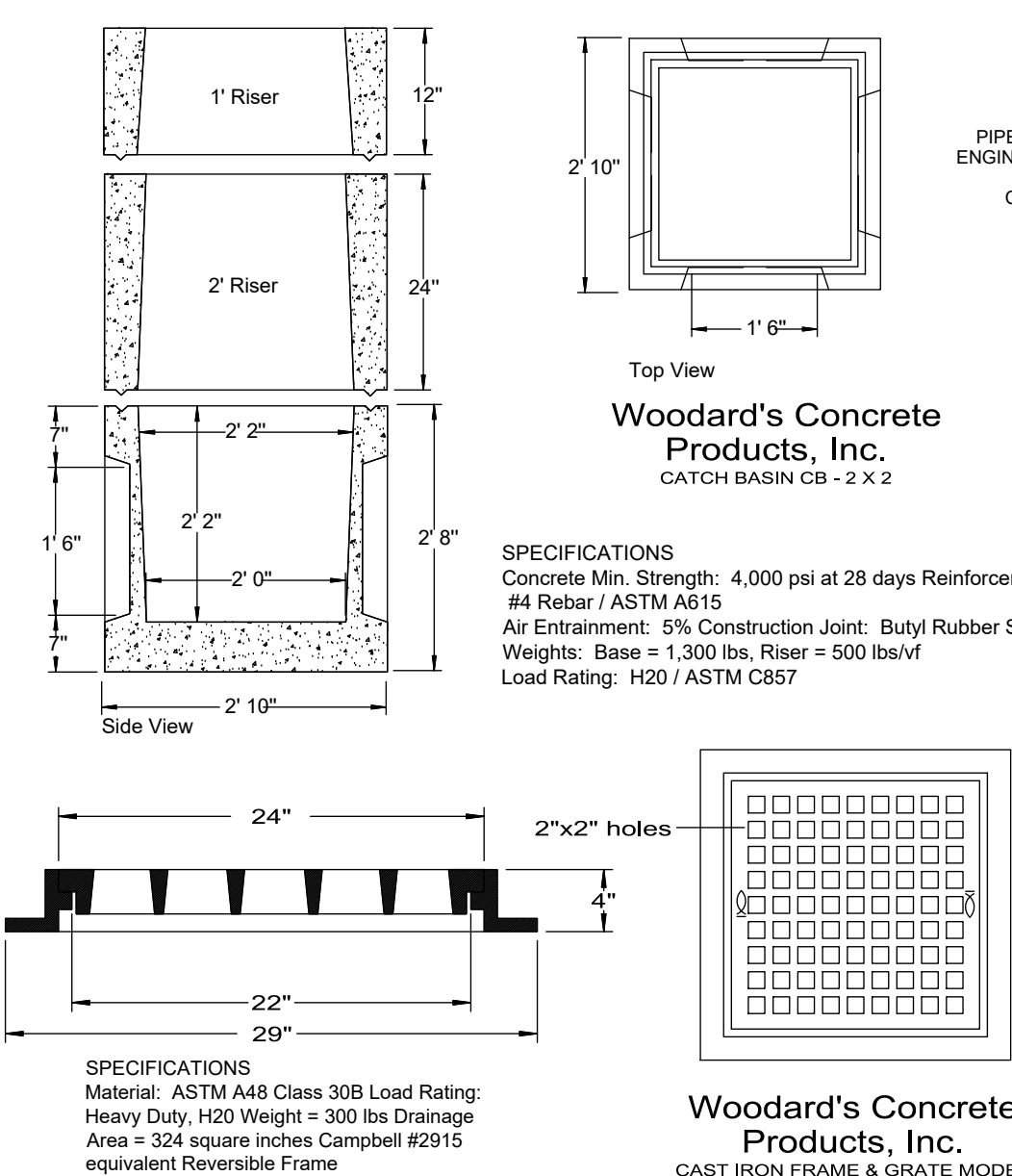
DRIVEWAY NOTES:

- ALL DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DESIGN STANDARDS AS SET FORTH BY THE TOWN OF WAPPINGER:
- THE MAXIMUM GRADE SHALL BE 12%.
 - ALL DRIVEWAYS SHALL BE CONSTRUCTED SUCH THAT A POSITIVE GRADE (BETWEEN 2 AND 4%) IS ACHIEVED TO A POINT NOT LESS THAN 25 FEET FROM THE EDGE OF PAVEMENT. HOWEVER, PER DUTCHESS COUNTY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS, THERE IS A NEGATIVE PITCH FROM THE COUNTY ROAD INTO THE SITE (SEE PROFILES THIS SHEET).
 - THE FIRST 25 FEET OF ALL DRIVEWAYS SHALL BE PAVED.
 - ALL DRIVEWAYS WITH GRADES GREATER THAN OR EQUAL TO 6% AND/OR LENGTHS OF GREATER THAN 250 FEET SHALL BE PAVED FOR THEIR ENTIRE LENGTH.
 - DRIVEWAY REQUIREMENTS PER TOWN OF WAPPINGER ZONING CODE SECTION 240-10E: DRIVEWAYS AND ACCESS ROADS SHALL BE SO DESIGNED AS TO PROVIDE FIRE DEPARTMENT APPARATUS ACCESS TO WITHIN A DISTANCE OF SEVENTY-FIVE (75) FEET OR LESS OF THE STRUCTURE THAT MAY BE CALLED UPON TO BE PROTECTED AND SUCH DRIVEWAYS AND ACCESS ROADS SHALL BE DESIGNED SO AS TO MEET THE FOLLOWING REQUIREMENTS:
 - DRIVEWAYS UNDER FIVE HUNDRED (500) FEET LONG SHALL HAVE A MINIMUM WIDTH OF TWELVE (12) FEET; DRIVEWAYS OVER FIVE HUNDRED (500) FEET LONG SHALL HAVE A MINIMUM WIDTH OF TWELVE (12) FEET AND, IN ADDITION, SHALL HAVE A FIFTY (50) FOOT BY TWELVE (12) FOOT PULL-OFF EVERY FIVE HUNDRED (500) FEET TO ACCOMMODATE A FORTY (40) FOOT LONG PIECE OF FIRE FIGHTING APPARATUS.
 - THE DRIVEWAYS SHALL HAVE AND MAINTAIN AN OVERHEAD CLEARANCE OF FIFTEEN (15) FEET, FREE OF ANY OBSTRUCTIONS SUCH AS TREE BRANCHES, PERSONAL LIGHT POLES, UTILITY WIRES, ETC.
 - THE DRIVEWAY BASE SHALL BE SUFFICIENT TO SUPPORT A THIRTY (30) TON FIRE FIGHTING APPARATUS.
 - NO TURNS SHALL BE OF SUCH A DEGREE AS TO PREVENT ACCESS OF FIRE DEPARTMENT APPARATUS.



COMMON NOTES AND DRIVEWAY ENTRANCE DETAILS

NOT TO SCALE



WOODARD'S CONCRETE PRODUCTS, INC.

CATCH BASIN CB - 2 X 2

SPECIFICATIONS

Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 Rebar / ASTM A615

Air Entrainment: 5% Construction Joint: Butyl Rubber Sealant

Weights: Base = 1,300 lbs. Riser = 500 lbs/vf

Load Rating: H20 / ASTM C557

TYPICAL YARD DRAIN DETAILS

NOT TO SCALE

COMMON DRIVEWAY NOTES

DECLARATION OF COMMON DRIVEWAY

THE OWNERS OF LOTS 2 AND 3 AND ANY PARTIES USING THE PERMANENT SHARED DRIVEWAY EASEMENT AREA ARE HEREBY PROHIBITED FROM OBSTRUCTING, IMPEDING, OR OTHERWISE INTERFERING WITH THE REASONABLE USE OF THE PAVED DRIVEWAY CONSTRUCTED WITHIN THE PERMANENT EASEMENT AREA FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS TO AND FROM EACH LOT TO ALL ANGLES ROAD, THE NEAREST PUBLIC HIGHWAY. ANY OBSTRUCTIONS SHALL BE PROMPTLY REMOVED AT THE RESPONSIBLE PARTY'S COSTS.

-PARKING OF ANY VEHICLES WITHIN THE PERMANENT EASEMENT AREA IS PROHIBITED AT ALL TIMES

MAINTENANCE AND UPKEEP OF DRIVEWAY

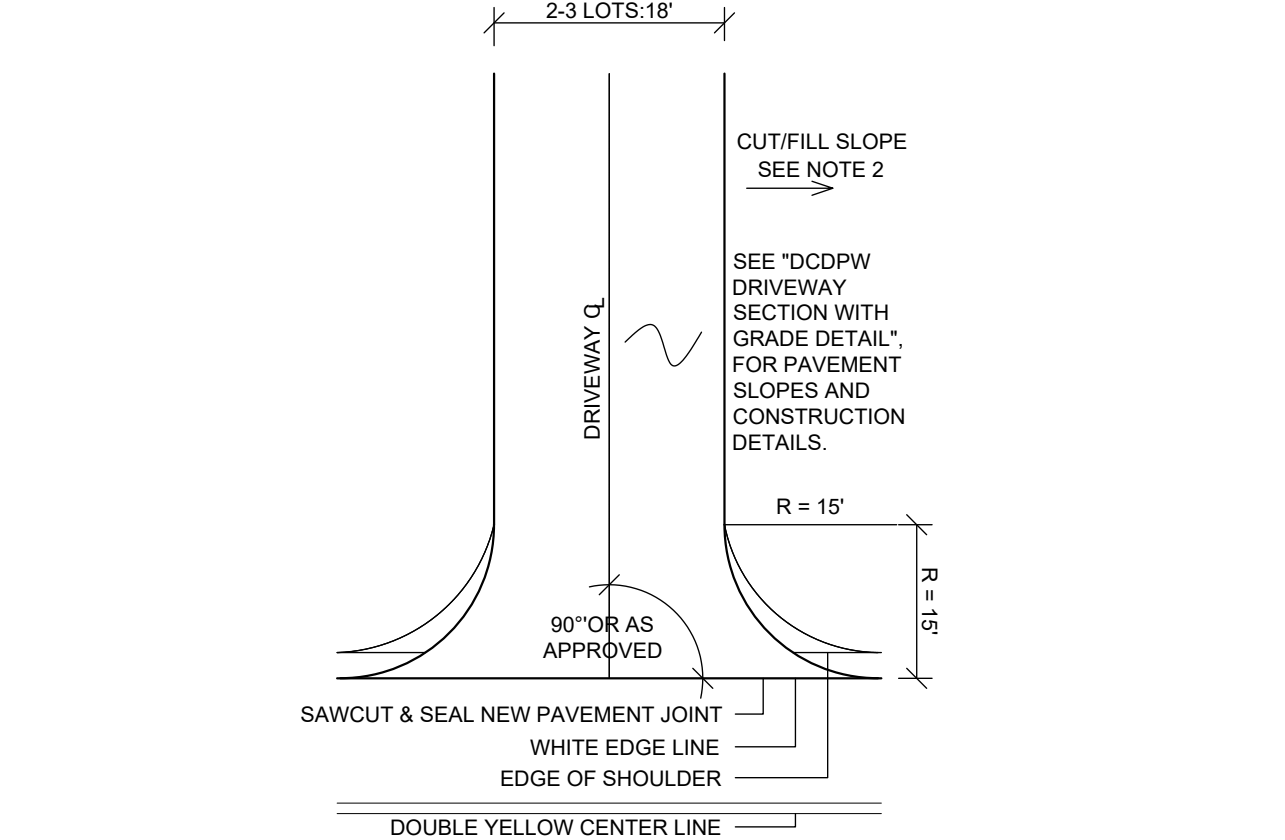
THE DECLARING AND THE SUCCESSIVE OWNER(S) OF ANY OF THE LOT(S) REFERENCED HEREIN, SHALL BE JOINTLY RESPONSIBLE FOR THE CONTINUED MAINTENANCE, UPKEEP, REPAIR OR REPLACEMENT OF THE DRIVEWAY, AS CONSTRUCTED IN THE PERMANENT EASEMENT AREA, SO AS TO MAINTAIN THE COMMON DRIVEWAY IN A SAFE AND USEABLE MANNER. THE MAINTENANCE OBLIGATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE COSTS FOR:

- SNOW FLOWING AND ICE REMOVAL
- MAINTENANCE NECESSARY TO KEEP THE DRIVEWAY IN GOOD REPAIR AND CONDITION.
- CLEAR AND PASSABLE
- PAVING AND/OR REPAVING, AS NEEDED
- REMOVAL OF ANY OVERHANGING FOLIAGE
- INSPECTION AND REPAIR OF DRIVEWAY

EACH OF THE LOT OWNER(S) SHALL BE RESPONSIBLE FOR THEIR PROPORTIONATE SHARE OF THE JOINT MAINTENANCE COSTS OF THE COMMON DRIVEWAY. THOSE PROPORTIONS OF THE DRIVEWAY NOT INCLUDED WITHIN THE PERMANENT EASEMENT AREA USED FOR ACCESS TO ONE LOT SHALL BE MAINTAINED SOLELY BY SUCH LOT OWNER(S) AT HIS/HER OWN COST. THE LOT OWNER(S) SHALL COOPERATE IN HIRING PERSONNEL AND OBTAINING MATERIALS NECESSARY FOR SUCH MAINTENANCE AND UPKEEP AND EACH SHALL PAY THEIR RESPECTIVE SHARE WHEN COSTS ARE DUE. IN THE EVENT THAT ANY OF THE OWNER(S) FAIL TO PAY HIS OR HER RESPECTIVE SHARE WITHIN THIRTY DAYS AFTER THE SAME IS DUE, THE OVERDUE AMOUNT SHALL BE A LIEN AGAINST HIS OR HER LOT, WHICH CAN BE ENFORCED IN THE SAME MANNER AS A JUDGMENT AGAINST THE OWNER. IN THE EVENT THAT ANY OF THE OWNER(S) FAIL TO COOPERATE IN MAINTAINING SAID COMMON DRIVEWAY, ANY PARTY BOUND BY THIS DECLARATION SHALL HAVE THE RIGHT TO UNDERTAKE ANY REASONABLE WORK TO ENSURE SUCH MAINTENANCE AND ASSESS ONE-HALF OF THE COSTS THEREOF TO THE OWNER(S) FAILING TO COOPERATE.

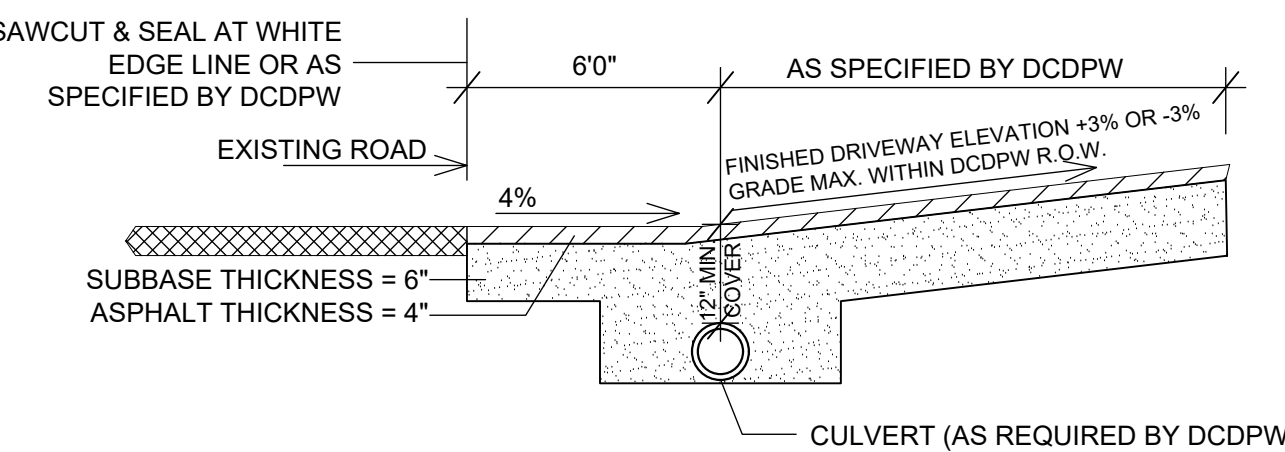
DAMAGES

IF ANY DAMAGE IS CAUSED TO THE COMMON PAVED DRIVEWAY, SUCH DAMAGE SHALL BE REPAIRED BY THE OWNER(S) OF THE LOT WHICH CAUSED SUCH DAMAGE CAUSED BY THE LOT OWNER(S) INVITED. THE RESPONSIBLE LOT OWNER(S) SHALL IMMEDIATELY REPAIR SUCH DAMAGE AND SHALL PAY THE COST OF THE REPAIRS CAUSED BY SUCH DAMAGE.



NOTES:

- 15' RADIUS (R = 15') SHALL TERMINATE AT EDGE OF SHOULDER OR WHITE LINE AS DIRECTED BY DCDPW.
- CUT/FILL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL (2:1). DCDPW SHALL EVALUATE CUT/FILL SLOPES FOR ACCEPTABILITY.



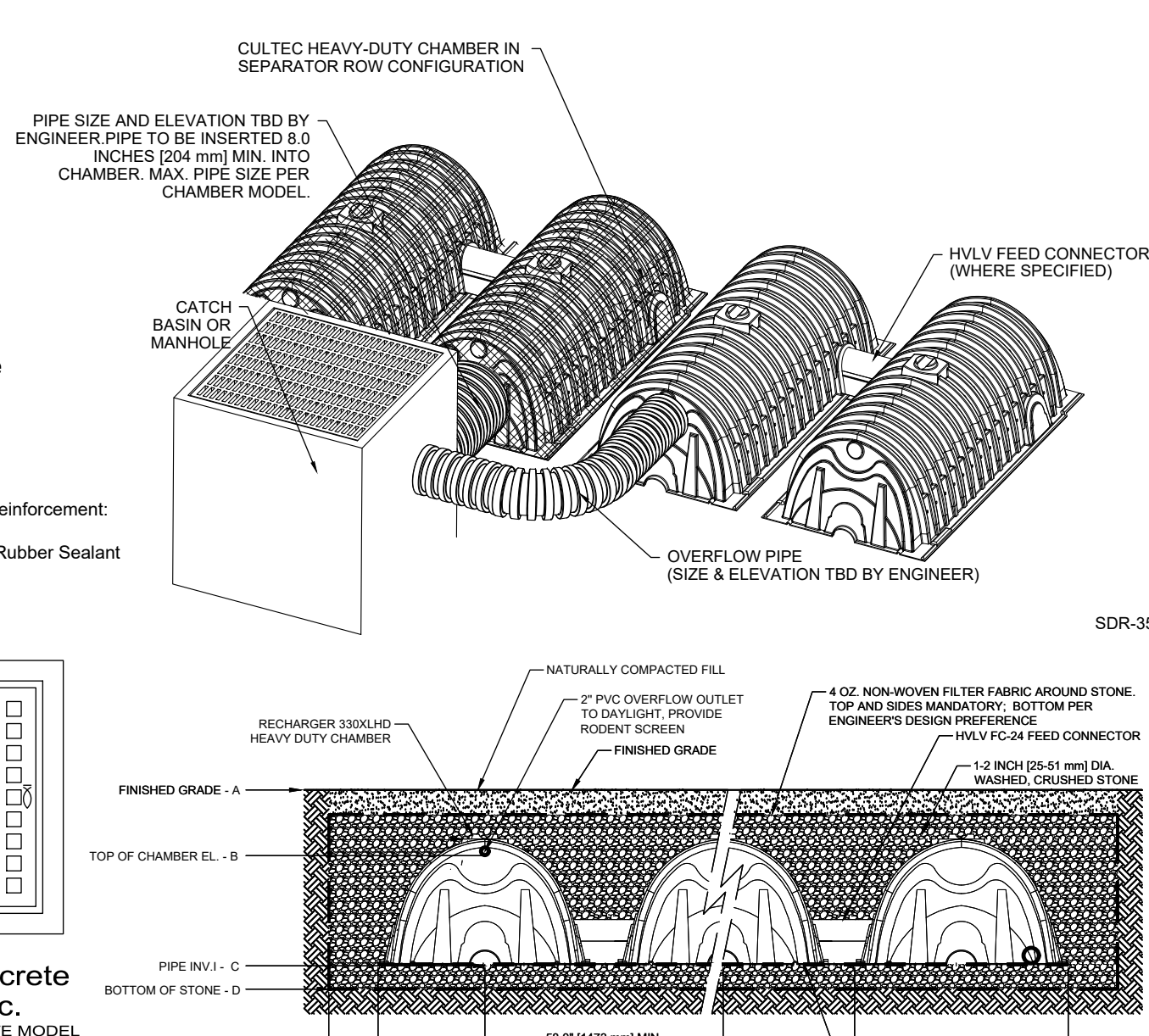
CONSTRUCTION NOTES:

- ASPHALT IS TO BE PLACED IN 2" LIFTS.
- CULVERT PIPE IS TO BE MADE OF A SMOOTH INTERIOR CORRUGATED PLASTIC PIPE (SICPP) WITH A MIN. DIAMETER OF 12" AND A 1% PITCH.

ALL DRIVEWAY MATERIAL COURSES ARE FINISHED, COMPACTED THICKNESS AND SHALL CONFORM TO NYS DOT PAVEMENT SPECIFICATIONS.

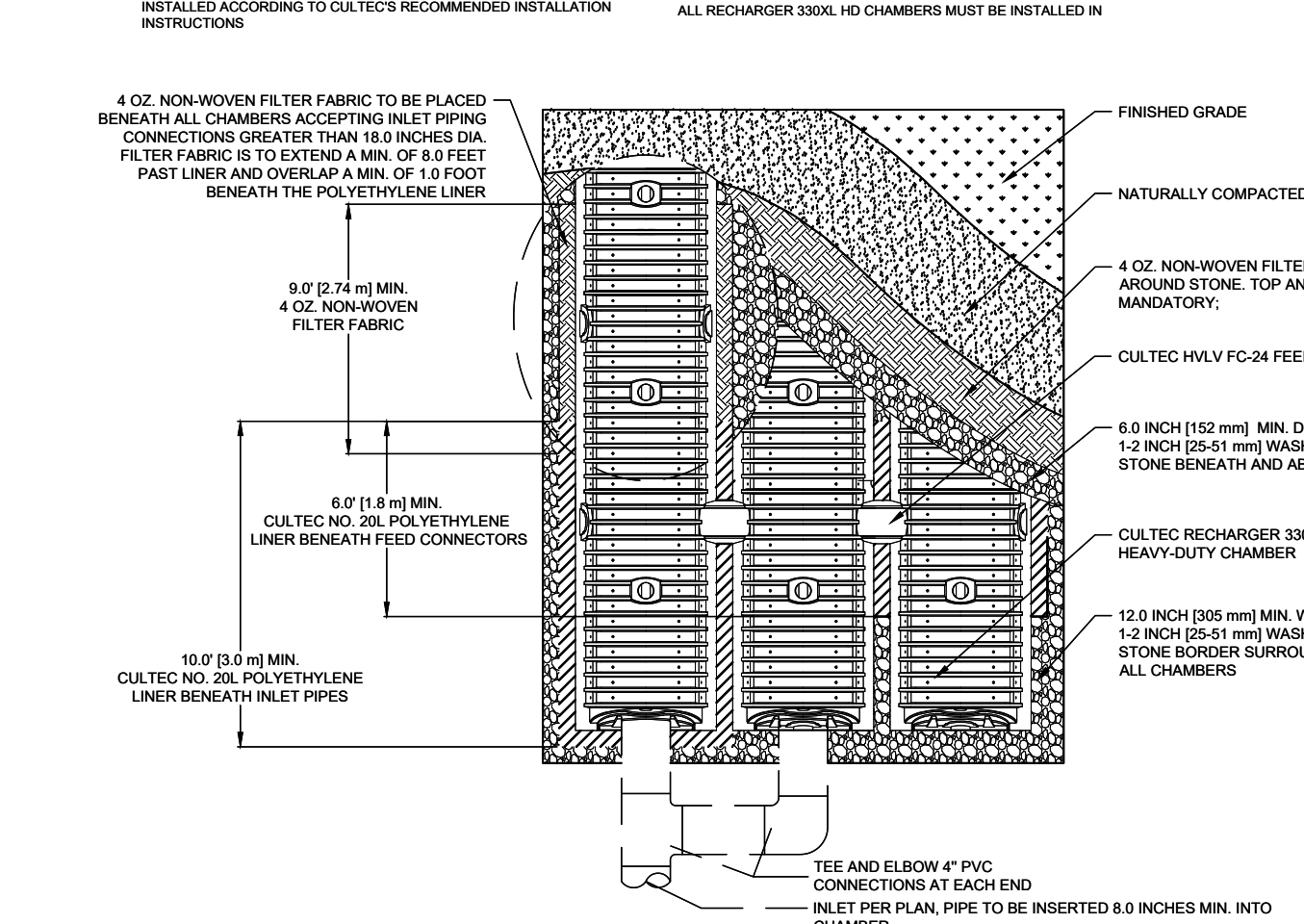
DCDPW DRIVEWAY SECTION WITH GRADE DETAIL

NOT TO SCALE



INFILTRATOR DETAILS

NOT TO SCALE



NOTES:

- FILL OR BACKFILL MATERIAL SHALL BE DEPOSITED IN 12" LIFTS. EACH LIFT SHALL BE COMPACTED TO 95% STANDARD PROCTOR PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
- BACKFILLING AROUND PIPES SHALL BE DONE UNIFORMLY ON EACH SIDE OF THE PIPE. BACKFILL MATERIAL SHALL BE 1-1/2" MINUS GRADATION.
- ALL SITE UTILITIES ARE TO BE INSTALLED BY A QUALIFIED CONTRACTOR.
- IN THE EVENT THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, THE CONTRACTOR SHALL LINE THE TRENCH WITH FILTER FABRIC & BED THE PIPE IN 3/4" CRUSHED STONE INSIDE THE FILTER FABRIC.
- BACKFILL MATERIAL SHALL BE FREE FROM ORGANICS, BOULDERS, FROZEN SOILS OR OTHER DELETERIOUS MATERIAL.

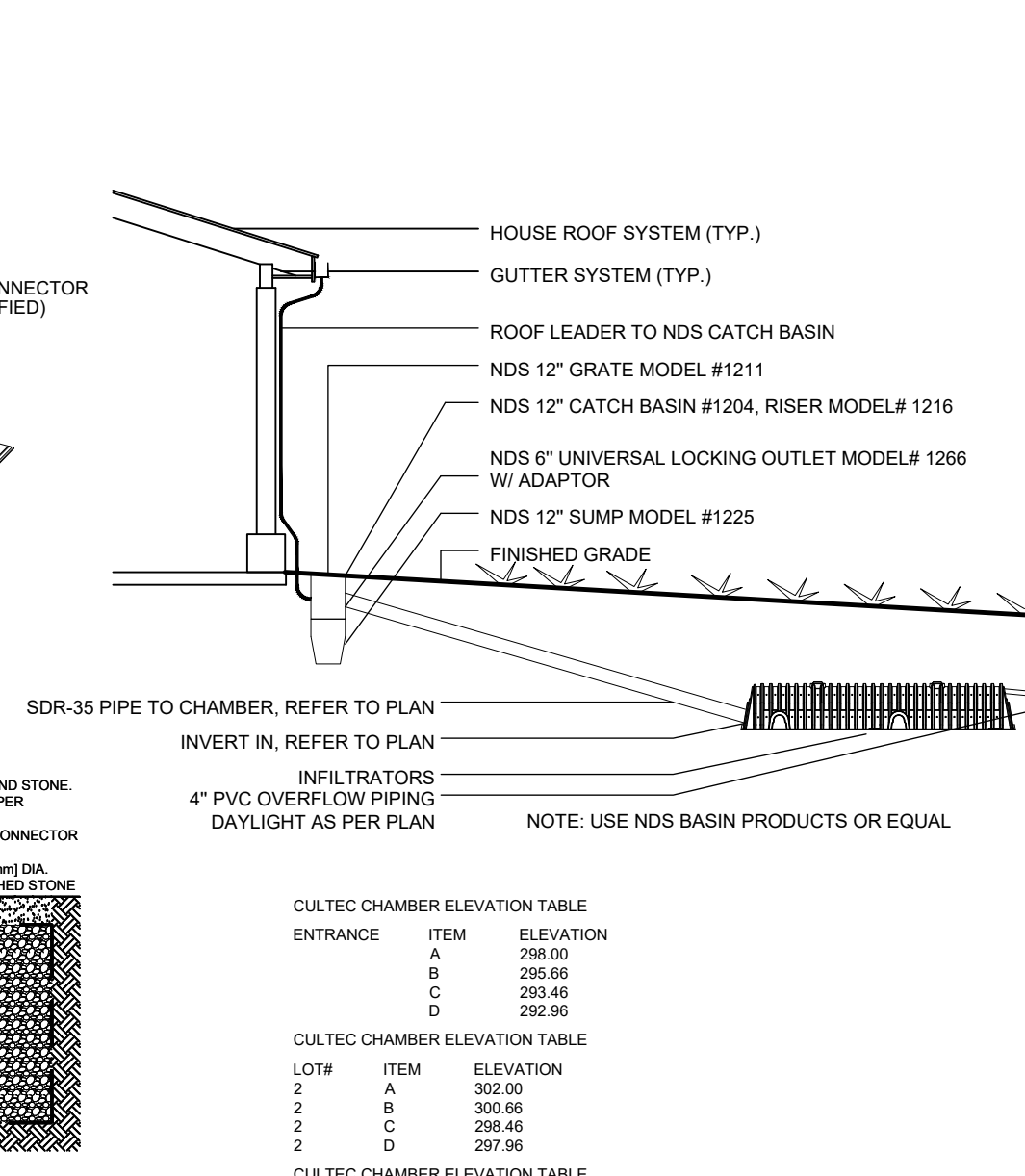
TYPICAL UTILITY TRENCH

NOT TO SCALE

OWNER CONSENT

THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER	DATE
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SEPARATOR ROW™ SPECIFICATIONS

GENERAL

CULTEC'S SEPARATOR ROW IS USED AS AN INEXPENSIVE MEANS OF REMOVING TOTAL SUSPENDED SOLIDS FROM THE CHAMBER SYSTEM, AS WELL AS PROVIDING EASIER ACCESS FOR INSPECTION AND MAINTENANCE.

2. THE SEPARATOR ROW PERFORMANCE SHALL BE TESTED AND VERIFIED TO THE PROTOCOLS AND PROCEDURES AS DEFINED BY ENVIRONMENTAL TECHNOLOGY VERIFICATION (ETV) CANADA TO ACHIEVE 80% TS REMOVAL.

INSTALLATION INSTRUCTIONS

A SEPARATOR ROW IS INSTALLED ON A 1.2 INCH [25.4 mm] WASHED, CRUSHED STONE BASE. TYPICALLY, THE CULTEC CHAMBER MODEL USED FOR THE SEPARATOR ROW IS THE SAME CHAMBER USED THROUGHOUT THE ENTIRE CHAMBER BED.

STORMWATER IS DISTRIBUTED TO THE SEPARATOR ROW BY A PRIMARY FEED SYSTEM THAT DIVERTS FLOW TO THE SEPARATOR ROW AND A SECONDARY BYPASS FEED SYSTEM THAT DIVERTS THE FLOW OF CLEAN WATER TO THE OTHER PARTS OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM. THE DISTRIBUTION SYSTEM MAY BE BY PIPES SET AT A LOWER ELEVATION THAT PERMIT THE FIRST FLUSH TO THE SEPARATOR ROW VERSUS OTHER PARTS OF THE UNDERGROUND STORMWATER SYSTEM. THIS INITIAL FLOW MAY BE MANAGED BY A BAFFLE OR WEIR. THE SIZING OF THE PIPES THAT PROVIDE STORM WATER TO THE SEPARATOR ROW IS TO BE DETERMINED BY THE DESIGN ENGINEER AND IS BASED UPON THE REQUIREMENT TO ACCOMMODATE THE DESIGN FLOW AND SERVICE CONVENIENCE.

THE CHAMBERS UTILIZED IN THE SEPARATOR ROW ARE TO BE COMPLETELY WRAPPED WITH CULTEC NO. 410 NONWOVEN GEOTEXTILE. THIS CREATES A PASS-THROUGH FILTER ARRANGEMENT TO SEPARATE TOTAL SUSPENDED SOLIDS IN THE TRANSFER OF STORM WATER TO OTHER CHAMBERS THROUGHOUT THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM.

ONCE WRAPPED, THE SEPARATOR ROW IS TO THEN BE PLACED ENTIRELY OVER A LAYER OF CULTEC NO. 4000 WOVEN GEOTEXTILE. THIS WOVEN GEOTEXTILE PROVIDES A DURABLE SURFACE WITHIN THE ROW FOR MAINTENANCE PROCEDURES AS WELL AS TO PREVENT ANY SCOURING OF THE STONE BASE DURING HIGH PRESSURE JETTING.

THE JETVAC IS TO BE SENT DOWN THE ENTIRE LENGTH OF THE SEPARATOR ROW. AS THE HIGH PRESSURE WATER NOZZLE IS RETRIEVED, THE CAPTURED SEDIMENTS ARE PUSHED BACK INTO THE MANHOLE FOR VACUUMING.

REFER TO THE MANUFACTURE WEBSITE FOR ADDITIONAL INFORMATION REGARDING INSTALLATION PROCEDURE AND MAINTENANCE REQUIREMENTS.

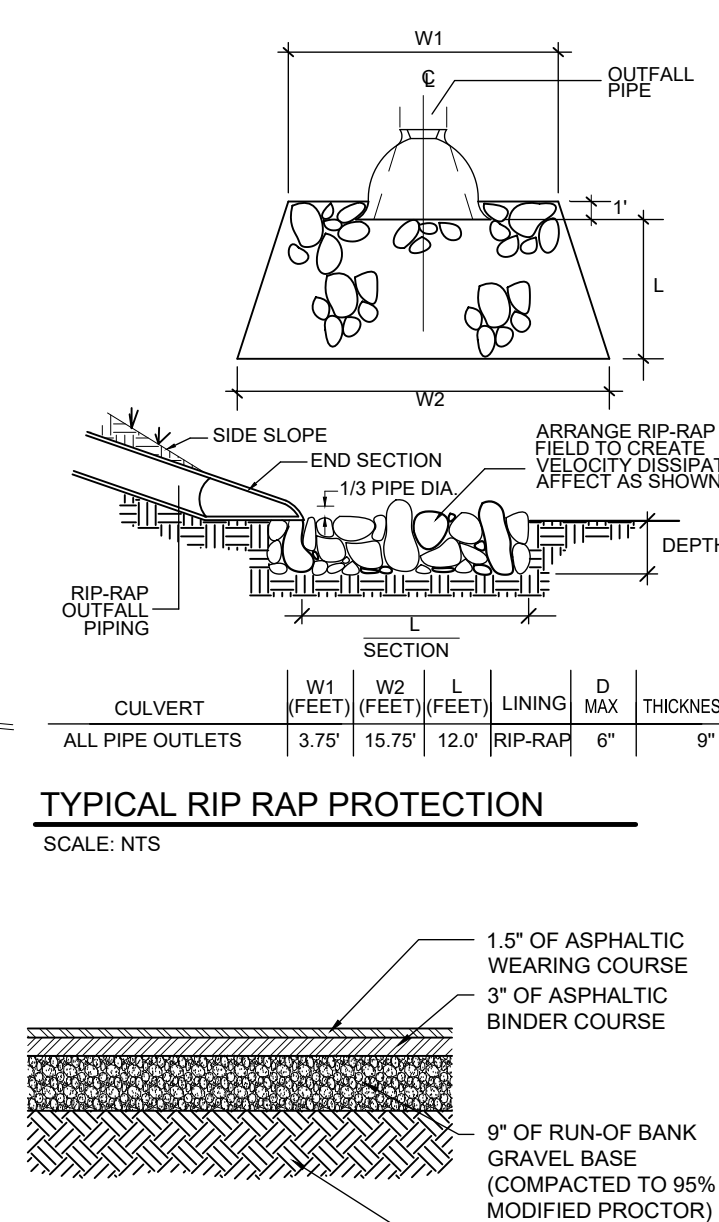
TOWN OF WAPPINGER PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGERS, NEW YORK ON THE DAY OF 2023 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.

TOWN OF WAPPINGER PLANNING BOARD

SIGNED THIS DAY OF 2023

TOWN OF WAPPINGER PLANNING BOARD CHAIR



TYPICAL RIP RAP PROTECTION

SCALE: NTS

PAVEMENT DETAILS

NOT TO SCALE

1.5" OF ASPHALTIC WEARING COURSE

3" OF ASPHALTIC BINDER COURSE

9" OF RUN-OF BANK GRAVEL BASE (COMPACTED TO 95% MODIFIED PROCTOR)

PROOF ROLLED SUBGRADE, OR COMPACTED SELECT STRUCTURAL FILL

MAINTENANCE PROCEDURES

CULTEC RECOMMENDS INSPECTIONS OF THE SEPARATOR ROW TO BE PERFORMED EVERY SIX MONTHS FOR THE FIRST YEAR. THE FREQUENCY OF INSPECTION CAN THEN BE ADJUSTED BASED UPON PREVIOUS OBSERVATION OF SEDIMENT DEPOSITION.

WHILE CLEANING IS POSSIBLE FROM A SINGLE MANHOLE IN SHORTER LINES, A CLEAN-OUT OPTION FROM EITHER END OF A LINE IS PREFERABLE, PARTICULARLY FOR LONGER RUNS. CLEANING INVOLVES FLUSHING SEDIMENT FROM THE BASE FABRIC OF THE SEPARATOR ROW.

ACCESS WILL BE PROVIDED VIA A MANHOLE(S) LOCATED AT THE ENDS OF THE ROW FOR CLEAN OUT.

MAINTENANCE OF THE SEPARATOR ROW IS TO BE ACCOMPLISHED WITH A JETVAC PROCESS.

THE JETVAC IS TO BE SENT DOWN THE ENTIRE LENGTH OF THE SEPARATOR ROW. AS THE HIGH PRESSURE WATER NOZZLE IS RETRIEVED, THE CAPTURED SEDIMENTS ARE PUSHED BACK INTO THE MANHOLE FOR VACUUMING.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

PROJECT: TORREGROSSA SUBDIVISION

Town of Wappinger Dutchess County, New York

DRIVEWAY DETAILS

SCALE: AS NOTED

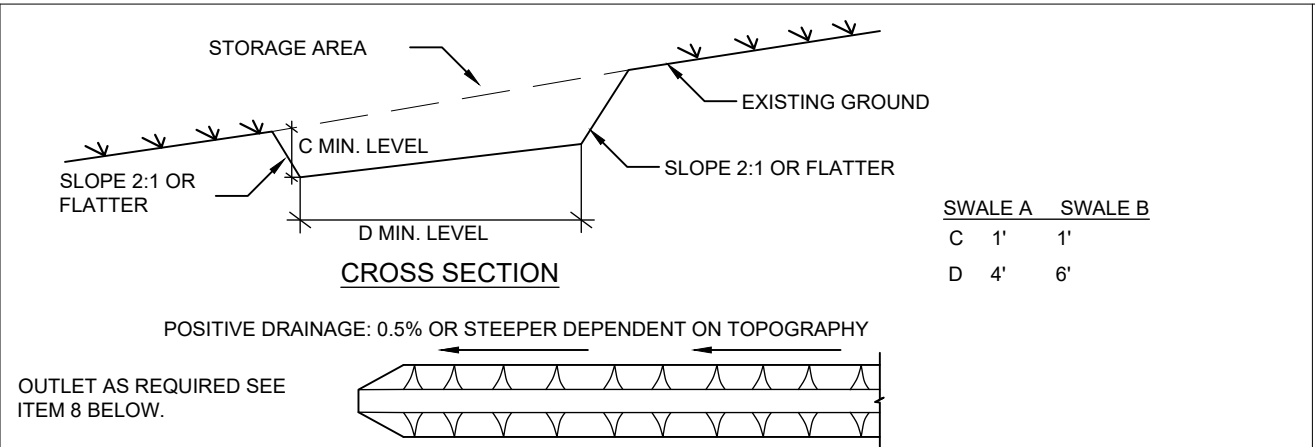
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DATE: 11-22-22

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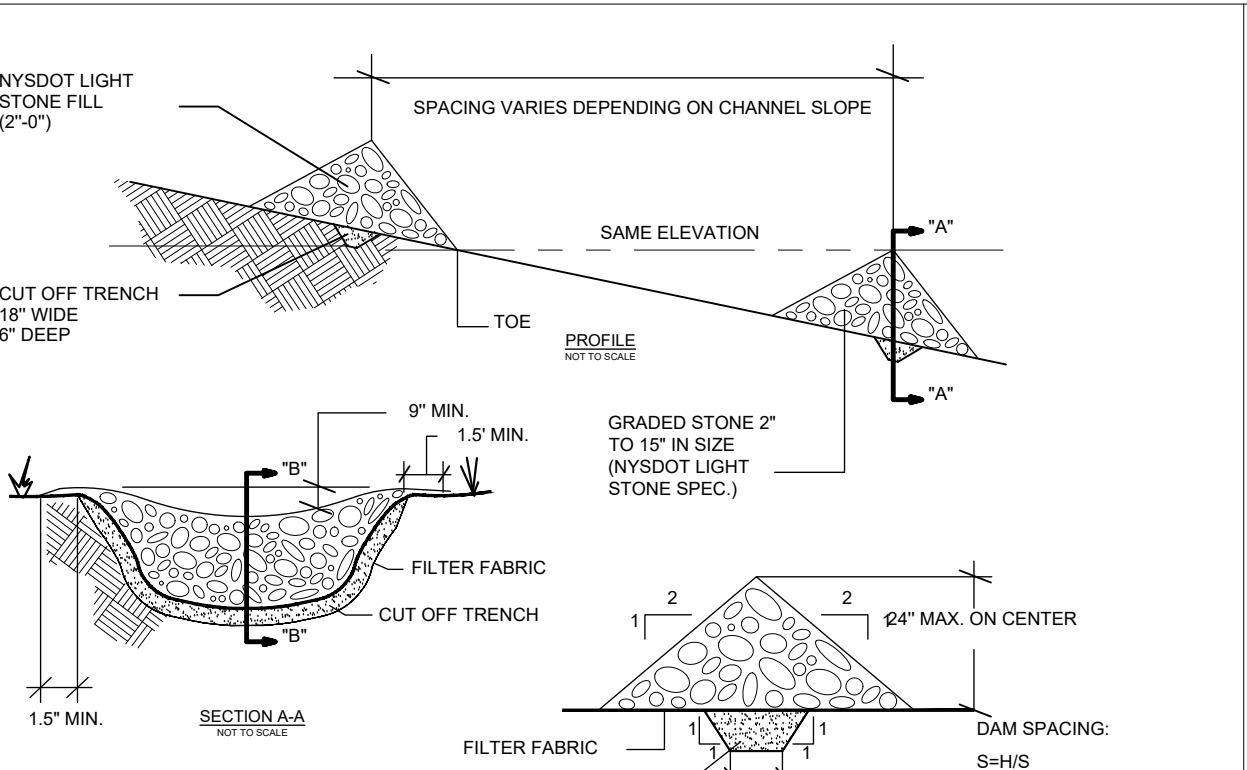
5 of 7



- CONSTRUCTION SPECIFICATIONS**
- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 - DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
 - ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
 - THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 - FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 - ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
 - STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:

TYPE OF TREATMENT	CHANNEL GRADE (AS AC. OR LESS)	(B/AC - 10AC)
1	0.5-3.0%	SEED AND STRAW MULCH
2	3.1-5.0%	SEED AND STRAW MULCH
3	5.1-8.0%	SEED WITH JUTE OR EXCELSIOR
4	8.1-20.0%	SEED WITH JUTE OR EXCELSIOR, SOD AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.

9. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.



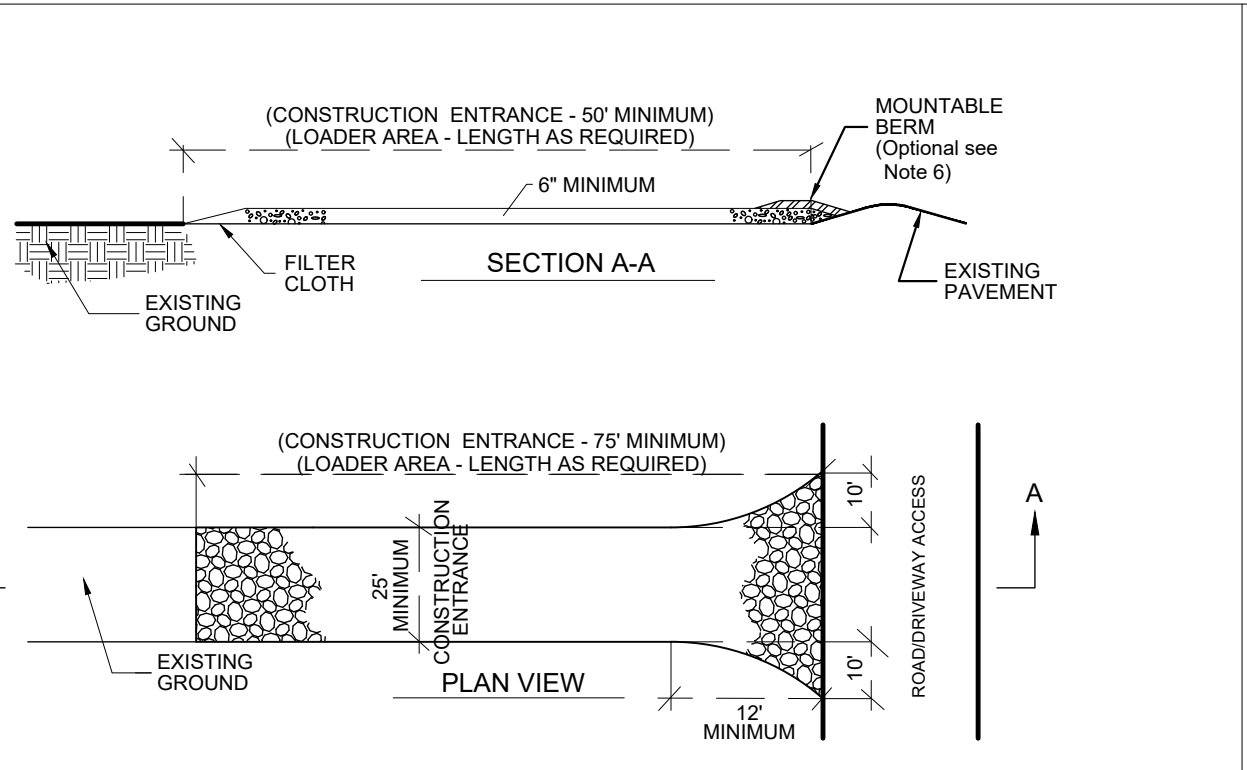
- CONSTRUCTION SPECIFICATIONS**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON THIS PLAN.
 - SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CRESTS OF THE DOWN STREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT RUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THE CHANNEL APERTURES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
 - CHECK DAMS SHALL BE INSPECTED AFTER EACH RAIN EVENT AND ALL DAMAGE THAT OCCURS SHALL BE CORRECTED IMMEDIATELY.
 - REMOVE SEDIMENT ACCUMULATION BEHIND THE CHECK DAMS REQUIRED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM.

TEMPORARY SWALE DETAIL

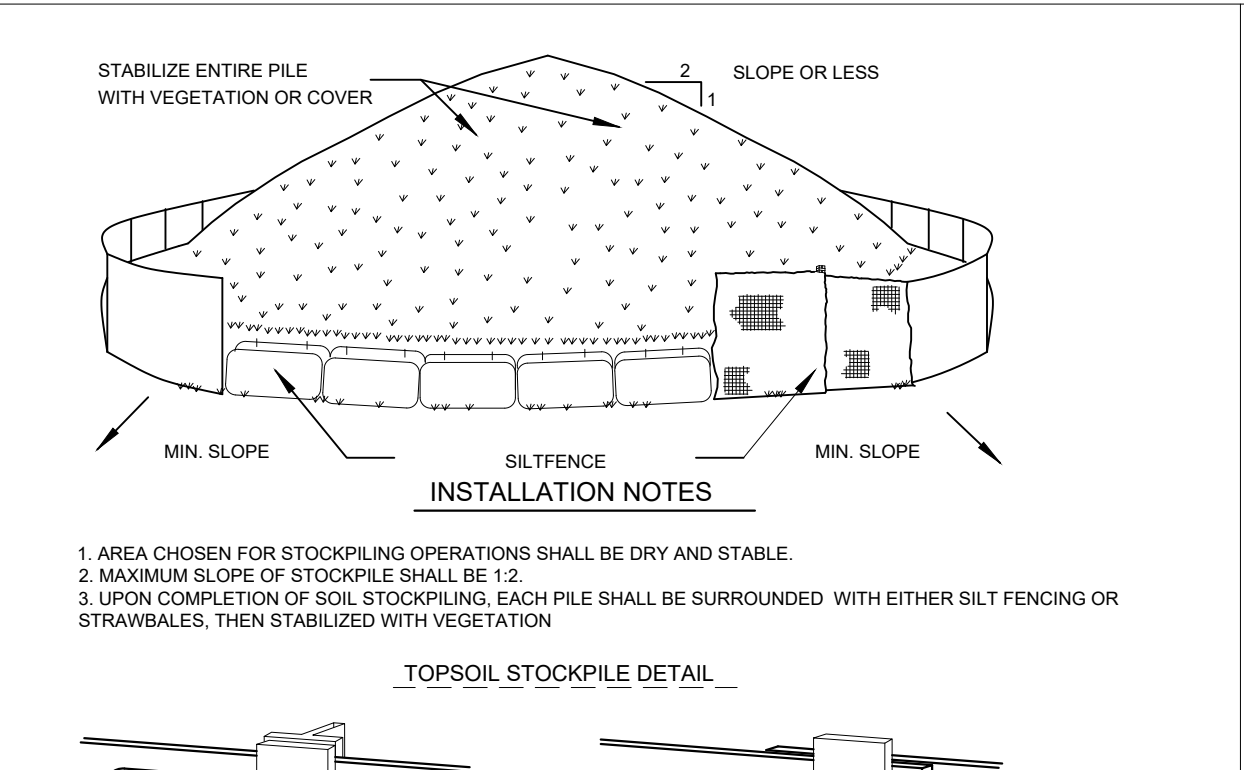
NOT TO SCALE

TYPICAL CHECK DAM DETAIL

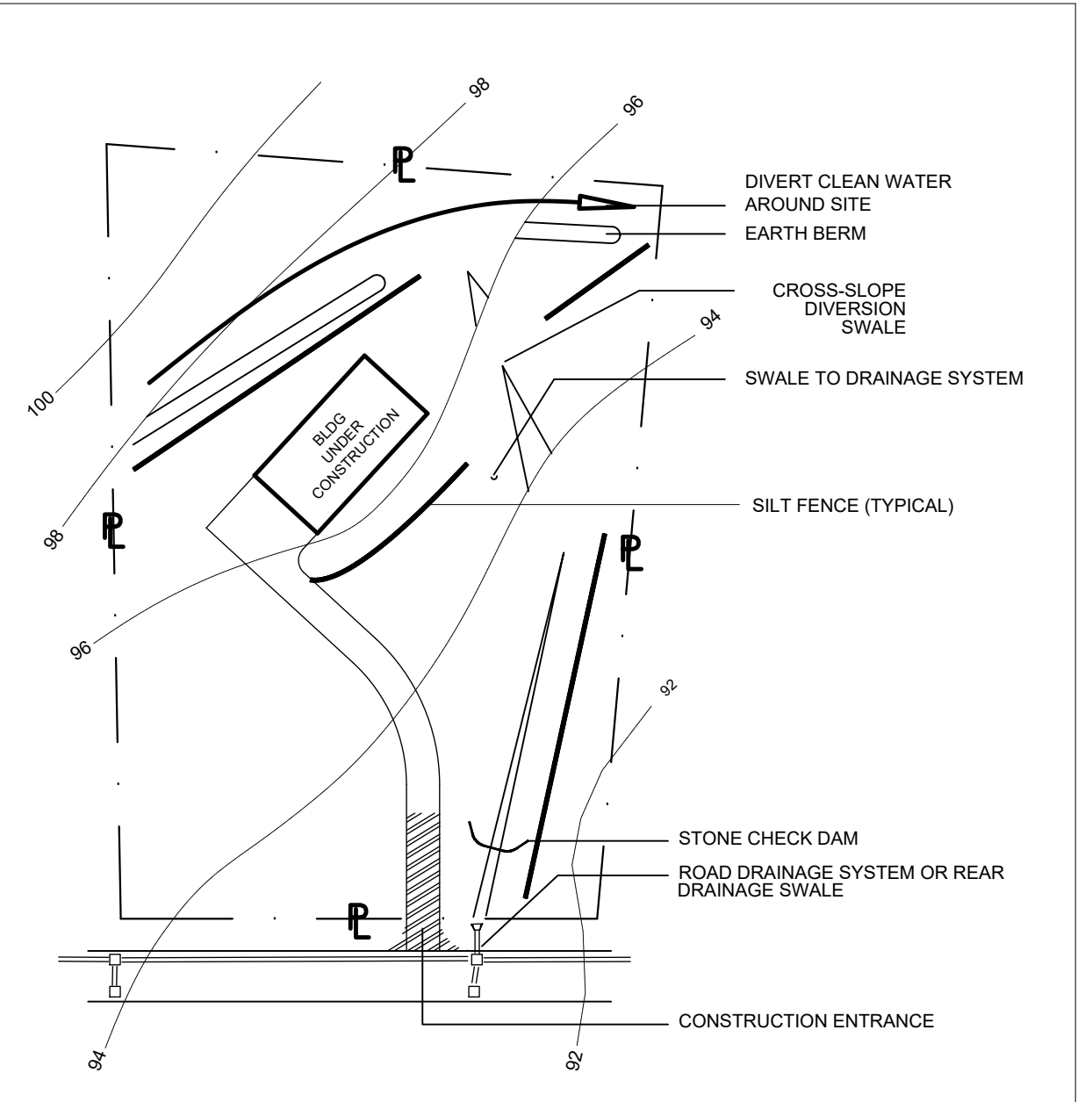
NOT TO SCALE



- CONSTRUCTION ENTRANCE DETAIL**
- NOT TO SCALE

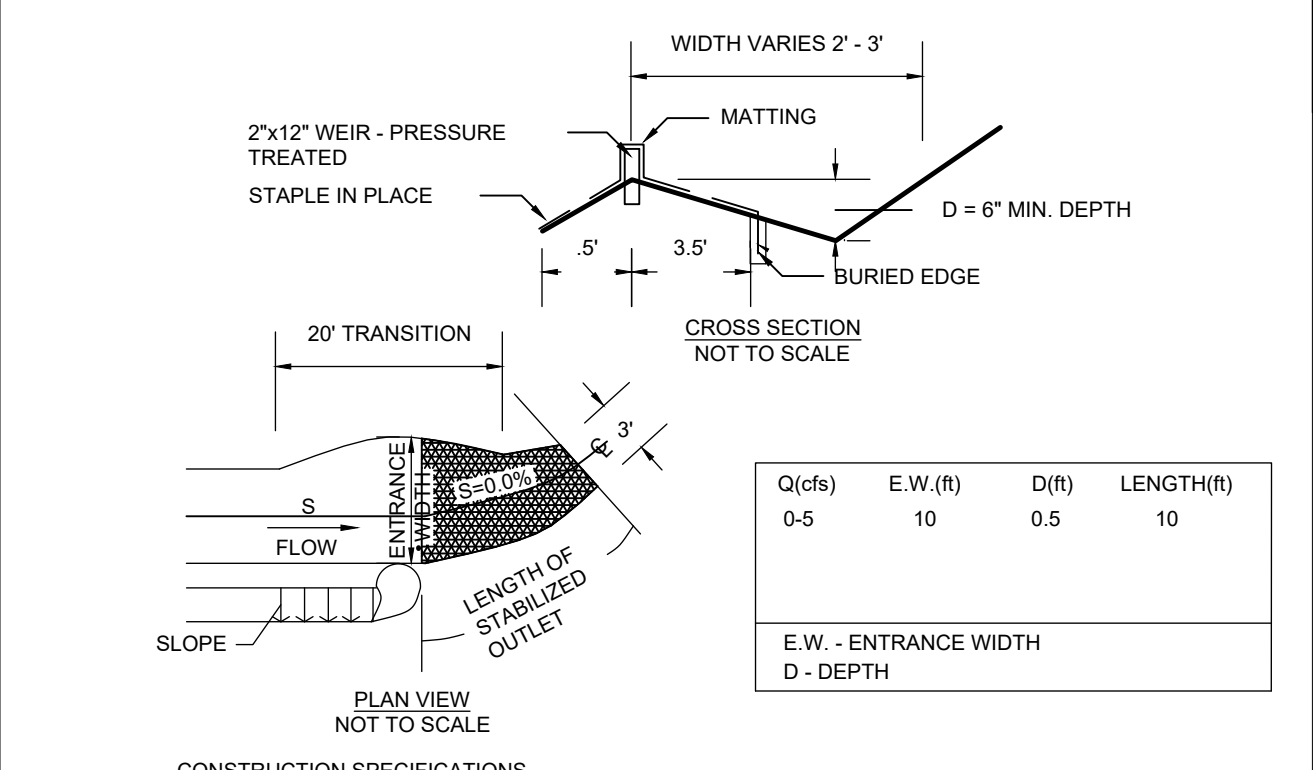


- STOCKPILE & FENCING DETAIL**
- NOT TO SCALE

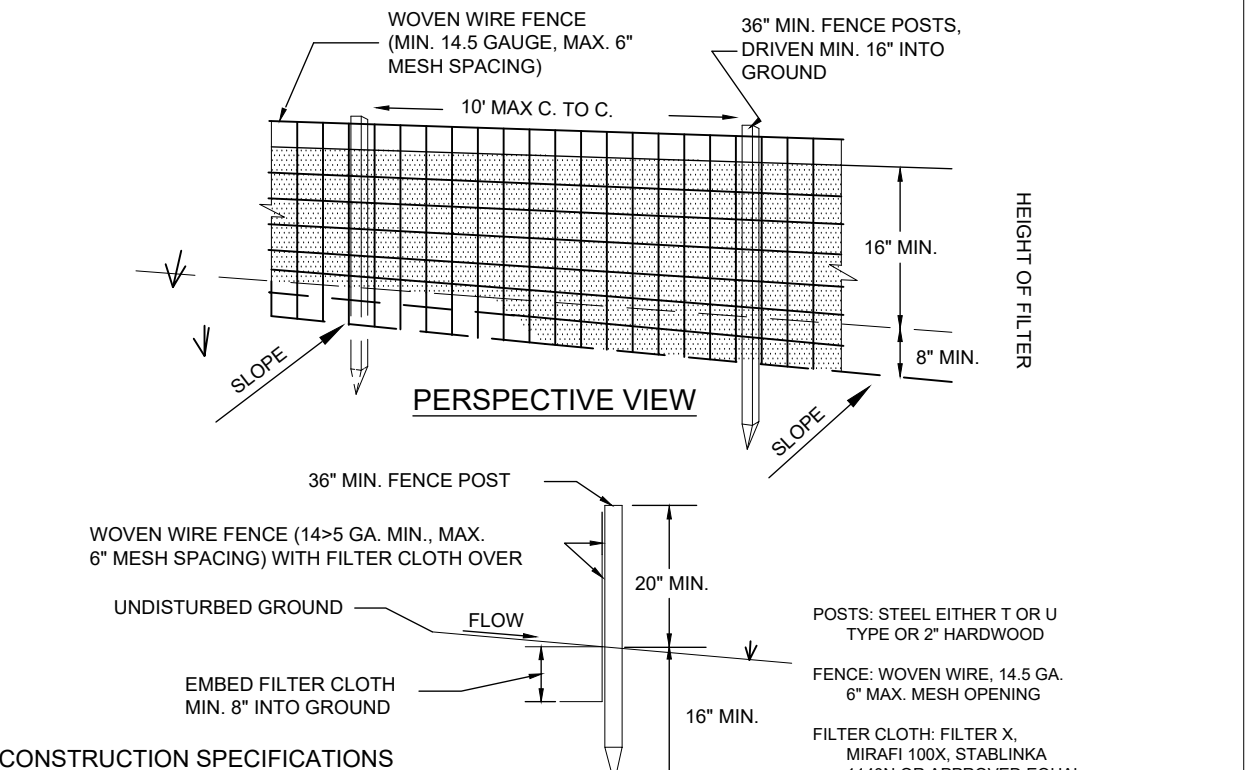


INDIVIDUAL LOT GRADING WHILE IN CONSTRUCTION PHASE DETAIL

NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 6 INCHES OVER THE WEIR AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTH CUT SOD AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.
 - ENSURE THAT THE WEIR IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
 - THE WEIR SHALL BE PLACED IN UNDISTURBED SOIL NOT FILL.
 - A 20 FOOT TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
 - THE RUNOFF DISCHARGE WILL BE OUTLETED ONTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
 - SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.



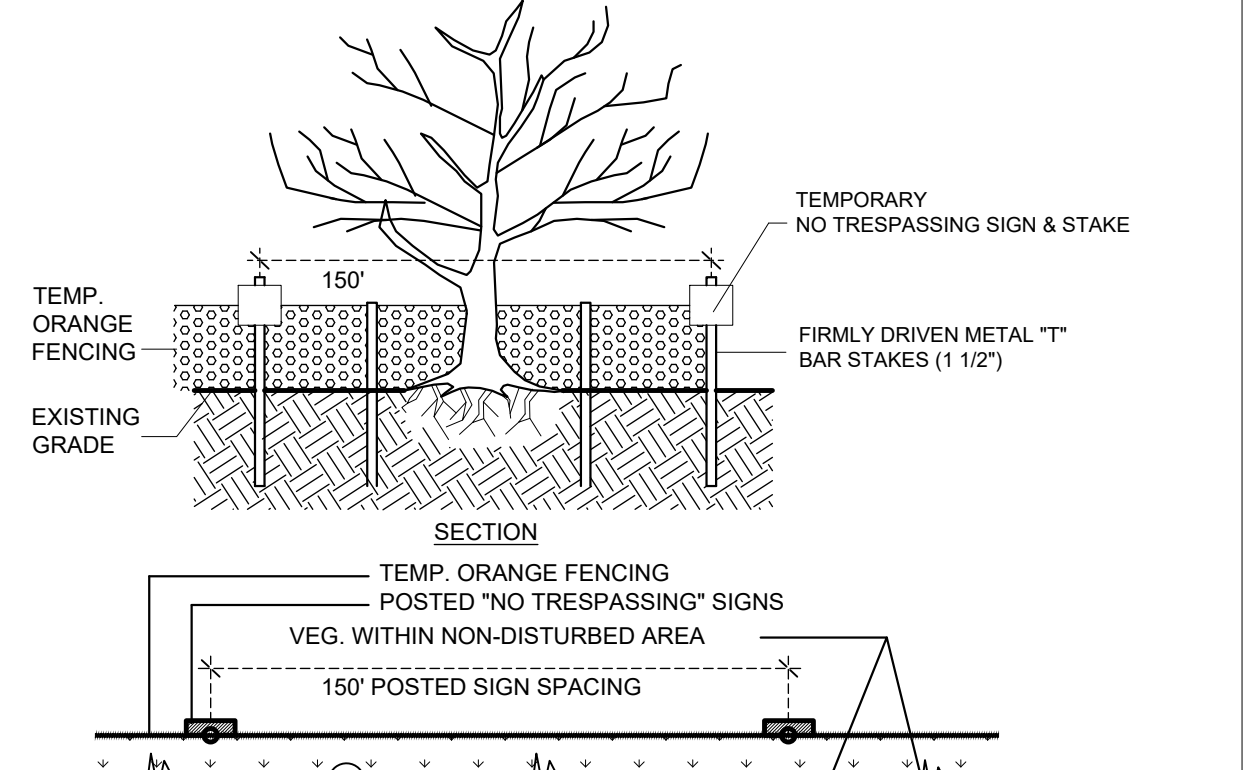
- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - PREFABRICATED UNITS SHALL BE GEOTAF, ENVIRONMENT, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

LEVEL SPREADER

NOT TO SCALE

SILT FENCING DETAIL

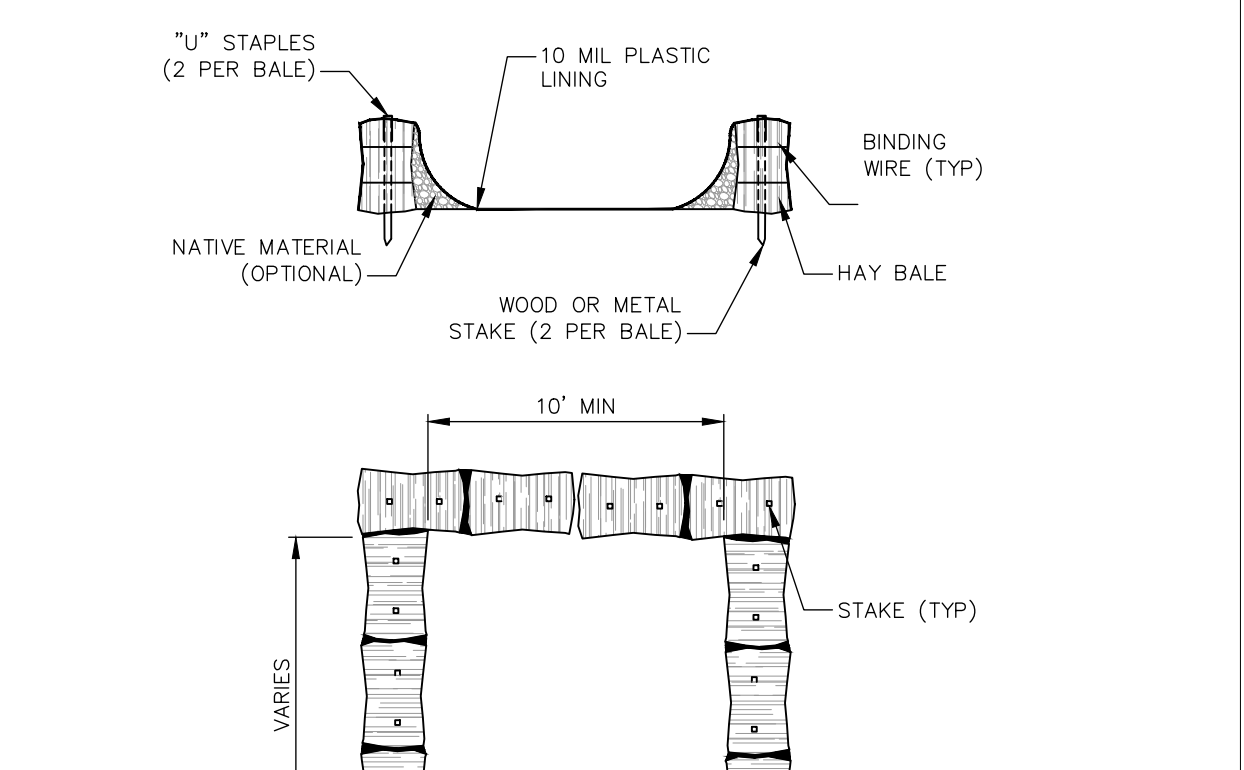
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- CONSTRUCTION NOTES:**
- BARRIER LIMITS ACCESS INTO BUFFER AREAS AND EDGE OF DISTURBANCE AREA DURING CONSTRUCTION ACTIVITIES. BARRIER AND SIGNAGE SHALL BE POSTED AND INSPECTED PRIOR TO SITE DISTURBANCE.
 - BARRIER SHALL BE COMPRISED OF TEMPORARY ORANGE CONSTRUCTION FENCING.
 - POSTED "NO TRESPASSING" SIGNS TO BE INSPECTED BY TOWN ENGINEER OR BUILDING INSPECTOR PRIOR TO SITE DISTURBANCE.
 - PROPOSED SIGNS SHALL STATE "NO TRESPASSING", AND BE COMPRISED OF A WEATHER RESISTANT MATERIAL TO INSURE LONGEVITY.
 - DRIVE STAKES FIRMLY INTO GROUND AT LEAST 12" BELOW GRADE.

TEMPORARY LIMIT OF DISTURBANCE FENCING

NOT TO SCALE



- CONSTRUCTION NOTES:**
- CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
 - CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
 - LINERS, HAYBALES, ETC. SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

TEMPORARY CONCRETE WASHOUT DETAIL

NOT TO SCALE

MAINTENANCE TABLE WITH RESPONSIBLE PARTIES:

IN ORDER FOR ANY PLAN TO OPERATE AS IT WAS ORIGINALLY INTENDED, IT MUST BE MAINTAINED PROPERLY. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES, THE PARCEL OWNER SHALL ASSUME RESPONSIBILITY FOR MAINTENANCE OF STRUCTURES AND SMP FACILITIES LOCATED WITHIN THE PARCEL BOUNDARIES. THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED IN THE OVERALL DESIGN.

STORMWATER MANAGEMENT PRACTICE	RESPONSIBLE MAINTENANCE ENTITY	RESPONSIBLE MAINTENANCE CONTACT INFO	INSPECTION FREQUENCY	MAINTENANCE REQUIRED	GENERAL NOTES
DRIVEWAY DRAIN DRAIN	INDIVIDUAL PARCEL OWNER	INDIVIDUAL PARCEL OWNER	ANNUALLY OR, AFTER EACH EVENT WHERE 3 IN. OF RAINFALL IS EXCEEDED IN A 24-HR PERIOD	GENERAL INSPECTION, CLEANING, REMOVE DEBRIS FROM STONE	ALL DEBRIS AND LITTER SHOULD BE COLLECTED AND REMOVED FROM THE FRENCH DRAIN STONE SURFACE. OUTLET SHOULD BE CHECKED TO ENSURE FREE FLOW, DEBRIS AND BLOCKAGES SHALL BE REMOVED.
EROSION SEDIMENT CONTROL MEASURE	RESPONSIBLE ENTITY	INSPECTION FREQUENCY	MAINTENANCE REQUIRED		
SILT FENCE	CONTRACTOR	MINIMUM WEEKLY AND AFTER STORM EVENTS	REPLACEMENT WHEN TORN OR OTHERWISE DAMAGED. MATERIAL REMOVED WHEN BULGING		
CONSTRUCTION ENTRANCE	CONTRACTOR	MINIMUM WEEKLY AND AFTER STORM EVENTS	TODPRESS STONE IF EVIDENCE OF TRACKING OUTSIDE CONSTRUCTION AREA. FULL REPLACEMENT IF TODPRESSING NO LONGER EFFECTIVE		
STONE CHECK DAM	CONTRACTOR	MINIMUM WEEKLY AND AFTER STORM EVENTS	RESHAPE AND/OR REPLACE STONE AS REQUIRED. REMOVE BUILT UP DEBRIS AND SEDIMENT		

SEEDING NOTES:

- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS SEED MIX AS REQUIRED:
- TEMPORARY SEEDING - SUMMER SEASON - GERMAN MILLET @ 40 LBS PER ACRE WINTER SEASON - RYE GRASS @ 120 LBS PER ACRE
- PERMANENT SEEDING - SPRING/FALL TALL FESCUE @ 100 LBS PER ACRE KOBRE LESPEDeza @ 100 LBS PER ACRE BAHIA GRASS @ 25 LBS PER ACRE RYE GRASS @ 40 LBS PER ACRE
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF N.Y. STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- SEEDING AREAS SHALL BE MULCHED AS REQUIRED.
- MID-SUMMER, LATE FALL OR WINTER APPLY AT A RATE OF 100 LBS/1,000 SQ. FT. GRAIN STRAW, COVER WITH NETTING AND STAPLE TO THE SLOPES.
- SPRING OR EARLY FALL APPLY AT A RATE OF 45 LBS/1,000 SQ. FT. WOOD FIBER IN A HYDRO SEEDER SLURRY.

EROSION AND SEDIMENT CONTROL MEASURES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" AUGUST 2016.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY INTO THE PROJECT SITE.
- SEEDING AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND MATERIALS REQUIRED FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STABILIZATION MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

LANDGRADING SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, IN DEVELOPING AREAS".
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL, TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLURPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILLS INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- TOPSOILS, BENCHING AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

DESCRIPTION OF EROSION CONTROL PRACTICES

- TEMPORARY SWALE** - A TEMPORARY EXCAVATED DRAINAGE WAY. THE PURPOSE OF A TEMPORARY SWALE IS TO PREVENT RUNOFF FROM ENTERING DISTURBANCE AREAS BY INTERCEPTING AND DIVERTING IT TO A STABILIZED OUTLET.
- SILT FENCE** - A TEMPORARY BARRIER OF GEOTEXTILE FABRIC (FILTER CLOTH) USED TO INTERCEPT SEDIMENT LAIDEN RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. THE PURPOSE OF A SILT FENCE IS TO REDUCE RUNOFF VELOCITY AND EFFECT DEPOSITION OF TRANSPORTED SEDIMENT LOAD. LIMITS IMPOSED BY ULTRAVIOLET STABILITY OF THE FABRIC WILL DICTATE THE MAXIMUM PERIOD THE SILT FENCE MAY BE USED.
- CHECK DAM** - SMALL TEMPORARY STONE DAMS CONSTRUCTED ACROSS A DRAINAGE WAY. THE PURPOSE IS TO REDUCE EROSION IN A DRAINAGE CHANNEL BY RESTRICTING THE VELOCITY OF FLOW IN THE CHANNEL.
- STABILIZED CONSTRUCTION ENTRANCE** - A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET ALLEY, SIDEWALK OR PARKING. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS.
- DUST CONTROL** - THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES. THE PURPOSE IS TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.
- ROCK OUTLET PROTECTION** - A SECTION OF ROCK PROTECTION PLACED AT THE OUTLET AND OF THE CULVERTS, CONDUITS, OR CHANNELS. THE PURPOSE OF THE ROCK OUTLET PROTECTION IS TO REDUCE THE DEPTH, VELOCITY, AND ENERGY OF THE WATER, SUCH THAT THE FLOW WILL NOT ERODE THE RECEIVING DOWNSTREAM REACH. SEE EROSION CONTROL PLAN FOR FURTHER DETAIL.

OWNER CONSENT	
THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.	
OWNER	DATE

TOWN OF WAPPINGER PLANNING BOARD	
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK ON THE _____ DAY OF _____, 2023 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.	
TOWN OF WAPPINGER PLANNING BOARD	
SIGNED THIS _____ DAY OF _____, 2023	
TOWN OF WAPPINGER PLANNING BOARD CHAIR	

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE	
APRIL 15, 2023	
FEBRUARY 9, 2023	
Project No.	2022-478
License No.	083970
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT TORREGROSSA SUBDIVISION	
Town of Wappinger	Dutchess County, New York
EROSION & SEDIMENT CONTROL PLAN	
SCALE AS NOTED	DRAWN BY BJS
DATE 11-22-22	CHECKED BY BJS
	6 of 7

