

TW ENGINEERING, P.C.
P.O. BOX 913
WAPPINGER FALLS, NY 12590
845-594-1529

TROY A. WOJCIEKOWSKY, P.E., LEED - AP
CONSULTING ENGINEER

CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

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THE SITE PLAN FOR
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APPROVED HEREON.

OVERALL SITE AREA

SCALE: 1" = 50'-0"

0 50' 100'

THE SITE PLAN FOR THE PROPERTY AS DEPICTED HEREON WAS APPROVED BY THE TOWN OF WAPPINGER PLANNING BOARD AT A MEETING HELD ON _____, AND THE CONDITIONS OF THE SITE PLAN APPROVAL HAVE BEEN SATISFIED OR ARRANGEMENTS HAVE BEEN MADE TO ENSURE THE COMPLETION OF ANY OUTSTANDING OR INCOMPLETE CONDITIONS.

CHAIRMAN _____ DATE _____

OWNER / APPLICANT SIGNATURES

THE UNDERSIGNED APPLICANT(S) FOR THE PROPERTY AND THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON, CERTIFY THAT THEY ARE FAMILIAR WITH THIS MAP, ITS NOTES AND ITS CONTENTS AS STATED HEREON, INCLUDING ALL CONDITIONS OF APPROVAL OF THE APPLICANT(S) AND OWNER(S) UNDERGOING OBEDIENCE TO THE TOWN TO KEEP THIS PREMISES AS PER PLAN APPROVAL BY THE TOWN PLANNING BOARD UNTIL A NEW OR REVISED PLAN FOR DEVELOPMENT OR USE OF THE SITE IS APPROVED BY THE PLANNING BOARD. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE TOWN FOR THE OCCUPANCY AS APPROVED HEREON.

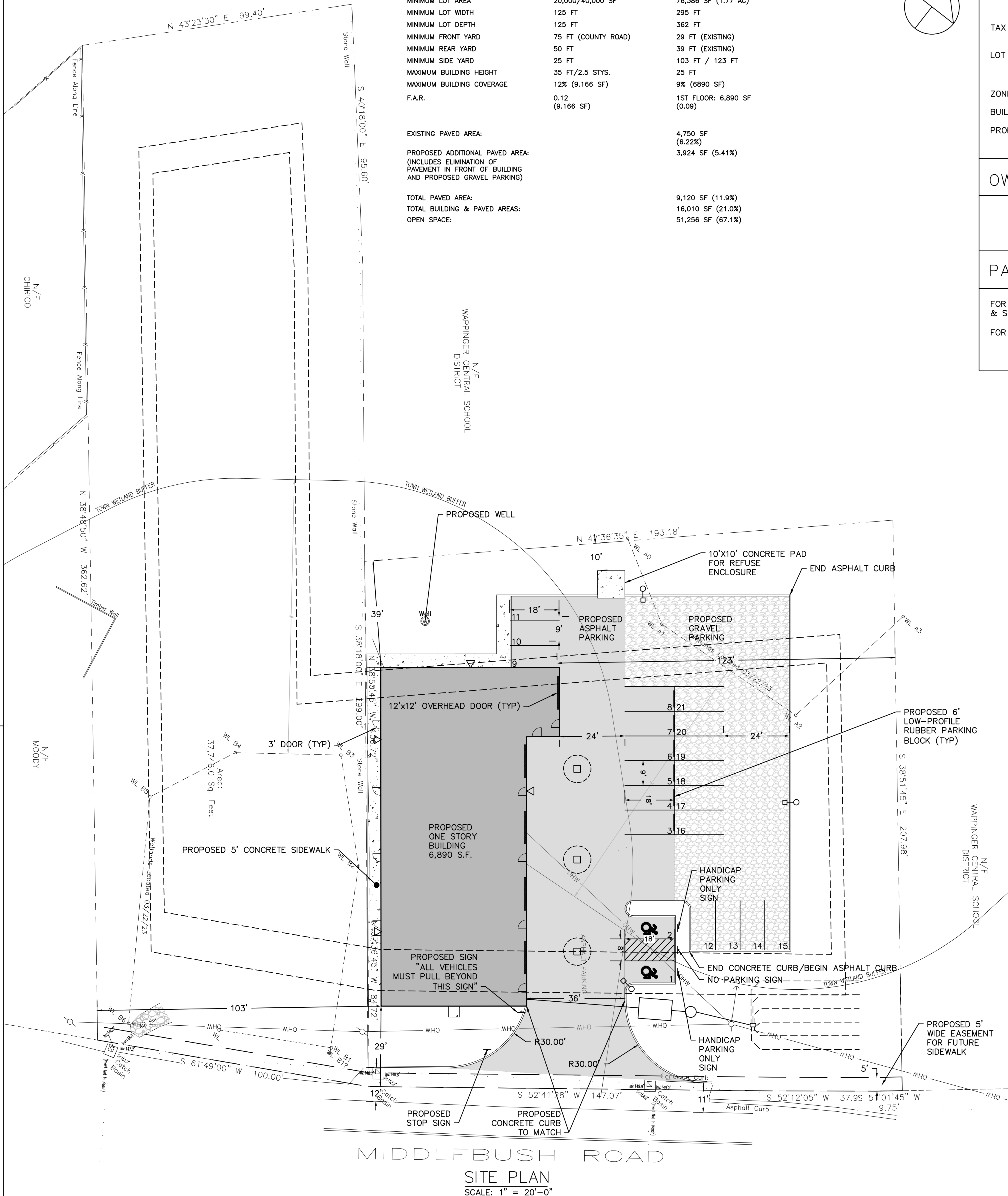
OWNER _____ DATE _____

APPLICANT _____

The map shows the Wappingers Falls area with topographic contours. Key features include Dutchess County Boreas Park to the west, Wappingers Creek flowing through the center, and several roads including Old Route 9, Route 91, and Route 28. A black arrow points to a specific location labeled 'SITE' near the intersection of Old Route 9 and Wappingers Creek. Other labeled locations include Soap Hill, Wappingers Falls, and various streets like Main St, Elm St, and Broadway St.

An aerial map of a residential area. A black dot marks a specific lot, with a line pointing to it from the text "LOT WITH BUILDING". The lot is situated between Middlebush Rd to the west and Camel Dr to the east. Middlebush Rd is labeled with a "25" speed limit sign and a "31" speed limit sign. Camel Dr is labeled with a "160 ft" dimension. Other lots are shown with various building footprints and dimensions, such as "183 ft" and "160 ft". The map also shows a "PLEASANT" street and a "MIDDLEBUSH RD" street.

1. EXISTING CONDITIONS TAKEN FROM SURVEY AS PREPARED BY ROBERT OICLER, L.L.S. DATED NOVEMBER 7, 2017, LAST REVISED MARCH 22, 2023. WETLANDS WERE FLAGGED BY MIKE NOWICKI, ECOLOGICAL SOLUTIONS ON MARCH 15, 2023.
2. T/O WAPPINGER ZONING BOARD OF APPEALS GRANTED A USE VARIANCE FOR THE PROPERTY AND BUILDING WITH THE FOLLOWING CONDITIONS:
 - 2.1. NO COMMERCIAL BUILDING MAY BE CONSTRUCTED ON THE VACANT LOT 6157-01--396837. SUCH LOT MAY BE USED TO CONSTRUCT A SEPTIC SYSTEM. TO PROVIDE STORM WATER FACILITIES DESIGNED IN ACCORDANCE WITH NYS DEC GUIDELINES. IF NECESSARY OR TO PROVIDE LANDSCAPING AND BUFFERING.
 - 2.2. ANY CONSTRUCTION ACTIVITIES ON THE PREMISES ARE SUBJECT TO SITE PLAN APPROVAL BY THE T/O WAPPINGER PLANNING BOARD IN ACCORDANCE WITH ARTICLE IX OF THE ZONING CODE. THE PLANNING BOARD MAY WAIVE A PUBLIC HEARING ON THE SITE PLAN REVIEW IF IT CHOOSES TO DO SO.
 - 2.3. THE WAREHOUSE SHALL NOT BE PHYSICALLY DIVIDED INTO MORE THAN THREE (3) TENANT SPACES.
 - 2.4. THERE SHALL BE NO OUTDOOR STORAGE OF ANY EQUIPMENT OR MATERIALS.
 - 2.5. "NOT MORE THAN ONE LIGHT-DUTY COMMERCIALLY REGISTERED VEHICLE AND ONE TRAILER MAY BE PARKED OR STORED OUTDOORS ON ANY RESIDENTIALLY USED OR RESIDENTIALLY ZONED LOT AT ANY TIME. FOR THE PURPOSES OF THIS SECTION, A "LIGHT-DUTY COMMERCIALLY REGISTERED VEHICLE" SHALL EXCLUDE VEHICLES WHICH EXCEED 9,500 POUNDS IN REGISTERED GROSS VEHICLE WEIGHT. THE FOLLOWING EXPRESSLY PROHIBITED EXAMPLES INCLUDE BUT ARE NOT LIMITED TO TRACTORS, TRACTOR-TRAILERS, SEMITRAILERS, ROLLERS, TRACTOR AND TRUCK CRANES, POWER SHOVELS, ROAD BUILDING MACHINES, SNOWBLOWS, ROAD SWEEPERS, SAND SPREADERS, TRAILERS, EXCAVATORS, TANK TRAILERS, TOW TRUCKS AND BUSES, AND ANY OTHER SIMILAR VEHICLE."
3. T/O WAPPINGER ZONING BOARD OF APPEALS GRANTED REAR AND FRONT YARD SETBACK VARIANCES AUGUST 2023 FOR THE SETBACKS SHOWN.
4. PRIOR TO A CERTIFICATE OF OCCUPANCY ALL DISTURBED AREAS SHALL BE FINAL GRADED, SEEDED/STABILIZED AND MULCHED TO THE SATISFACTION OF THE ZONING ADMINISTRATOR AND TOWN OF WAPPINGER BUILDING DEPARTMENT. PROTECTIVE EROSION CONTROL MEASURES MUST BE IN PLACE AT THE ONSET OF CONSTRUCTION.
5. ALL TREES SHALL BE REMOVED BETWEEN NOVEMBER 1 AND MARCH 31 UNLESS SITE IS CLEARED TO NOT POSE HABITAT FOR ENDANGERED BATS.



PROJECT LOCATION:	33 MIDDLEBUSH ROAD TOWN OF WAPPINGER DUTCHESS COUNTY, NY
TAX MAP NUMBERS:	LOT #1, 6157-01-414840 LOT#2 6157-01-396837
LOT AREA:	LOT #1: 38,640 S.F. LOT #2: 37,746 S.F. TOTAL: 76,386 S.F. (1.75 ACRES)
ZONING:	R-20/40 EXISTING
BUILDING SIZE:	6,890 S. F.
PROPOSED USE:	CONTRACTOR STORAGE FACILITY WITH ACCESSORY OFFICES SPECIFIC TO THOSE USES

33 MIDDLEBUSH, LLC
JOHN FALVELLA
47 UNION SCHOOL ROAD
MONTGOMERY, NY

FOR WHOLESALE, STORAGE & UTILITY & SIMILAR COMMERCIAL	1 SP./1,000 S.F.	= 7 SPACES
FOR ACCESSORY OFFICE USE: PROVIDED USE:	1 SP./1,000 S.F.	= 0 SPACES
	TOTAL REQUIRED.	= 7 SPACES
	TOTAL	= 21 SPACES

PROJECT ADJOINERS		
NAME	ADDRESS	TAX ID
CHIRICO	25 MIDDLEBUSH RD	384826.00
MOODY	29 MIDDLEBUSH RD	394824.00
WCSD	30 - 55 MAJOR MACDONALD WAY	423875.00
MILLER	32 MIDDLEBUSH RD	426814.00
O'TOOLE/REID	4 CARMELI DRIVE	441815.00
SARMIENTO/TAYLOR	36 MIDDLEBUSH RD	438825.00

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DOCUMENT IS ALTERED, THE ALTERING
ENGINEER SHALL AFFIX TO THE ITEM HIS
SEAL AND THE NOTATION "ALTERED BY"
FOLLOWED BY HIS SIGNATURE, THE DATE OF
SUCH ALTERATION, AND A SPECIFIC
DESCRIPTION OF THE ALTERATION.

CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION
1.	2.07.22	PER CONSULTANT COMMENTS
2	9.06.23	PER CONSULTANT COMMENTS

SITE PLAN

DATE:	2/7/2023
PROJECT NO.	2022-20
SCALE:	1" = 20'
DRAWING NO.	S-1.0



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REVISIONS		
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EXISTING CONDITIONS & REMOVALS PLAN

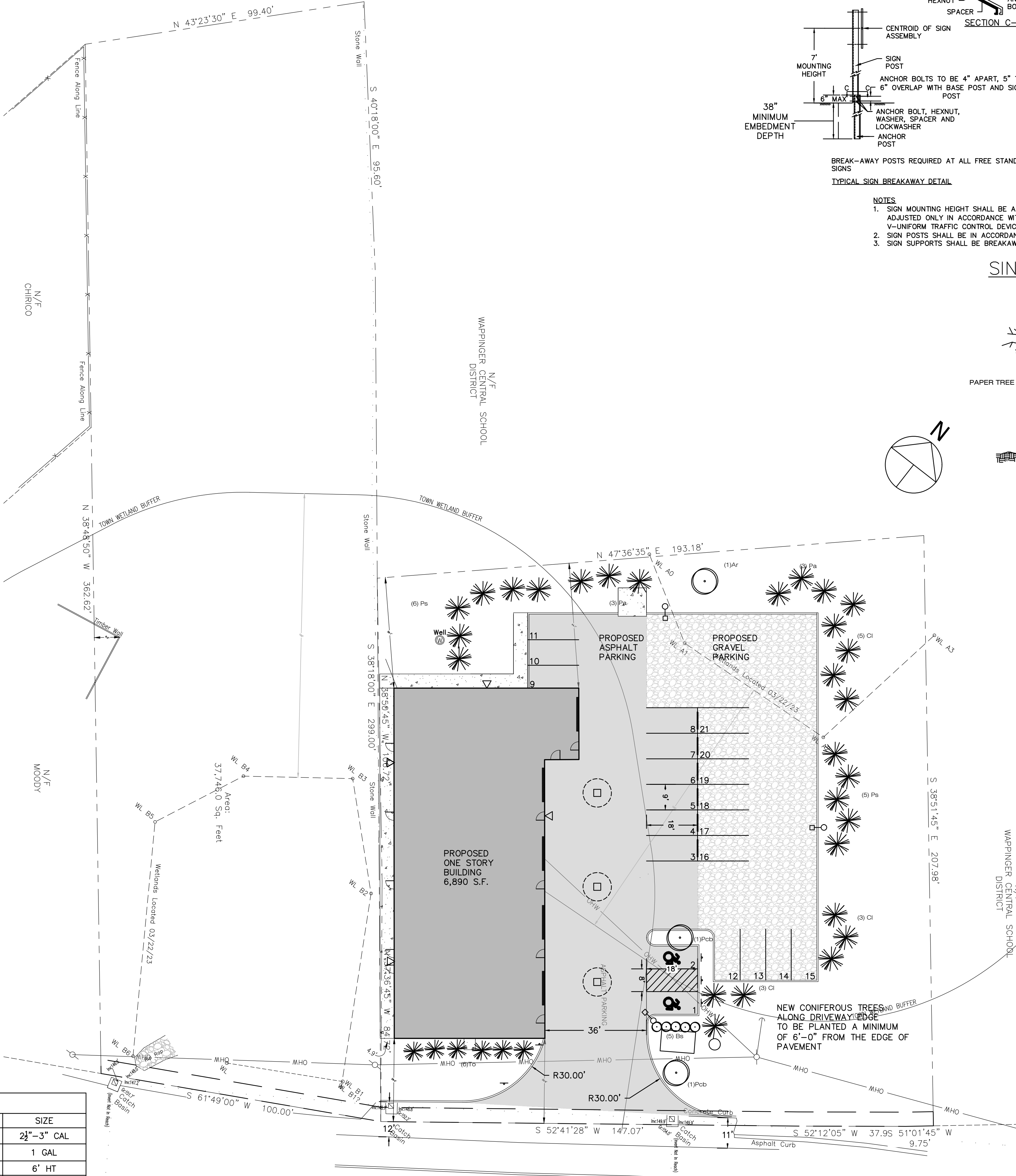
DATE:	2/7/2023
PROJECT NO.	2022-20
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DRAWING NO.	S-2.0



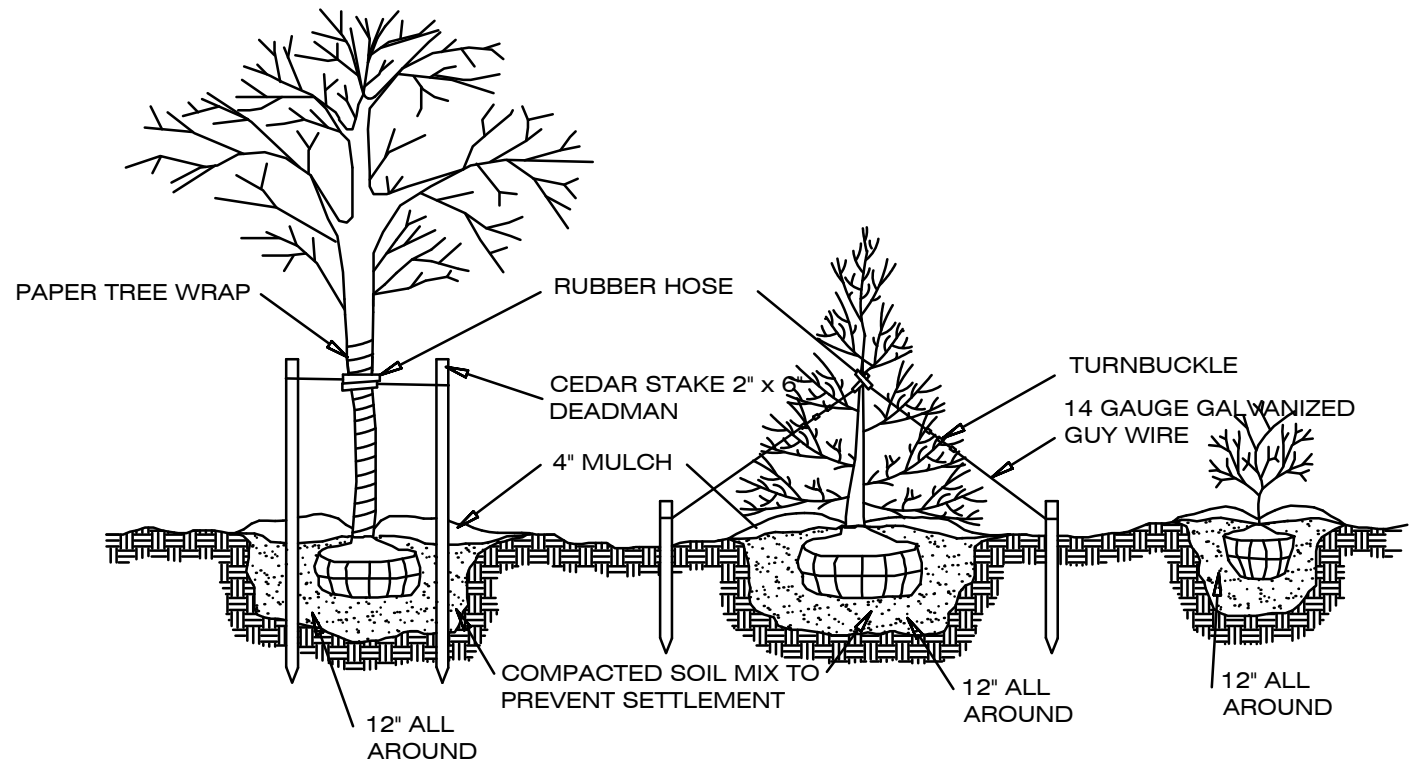
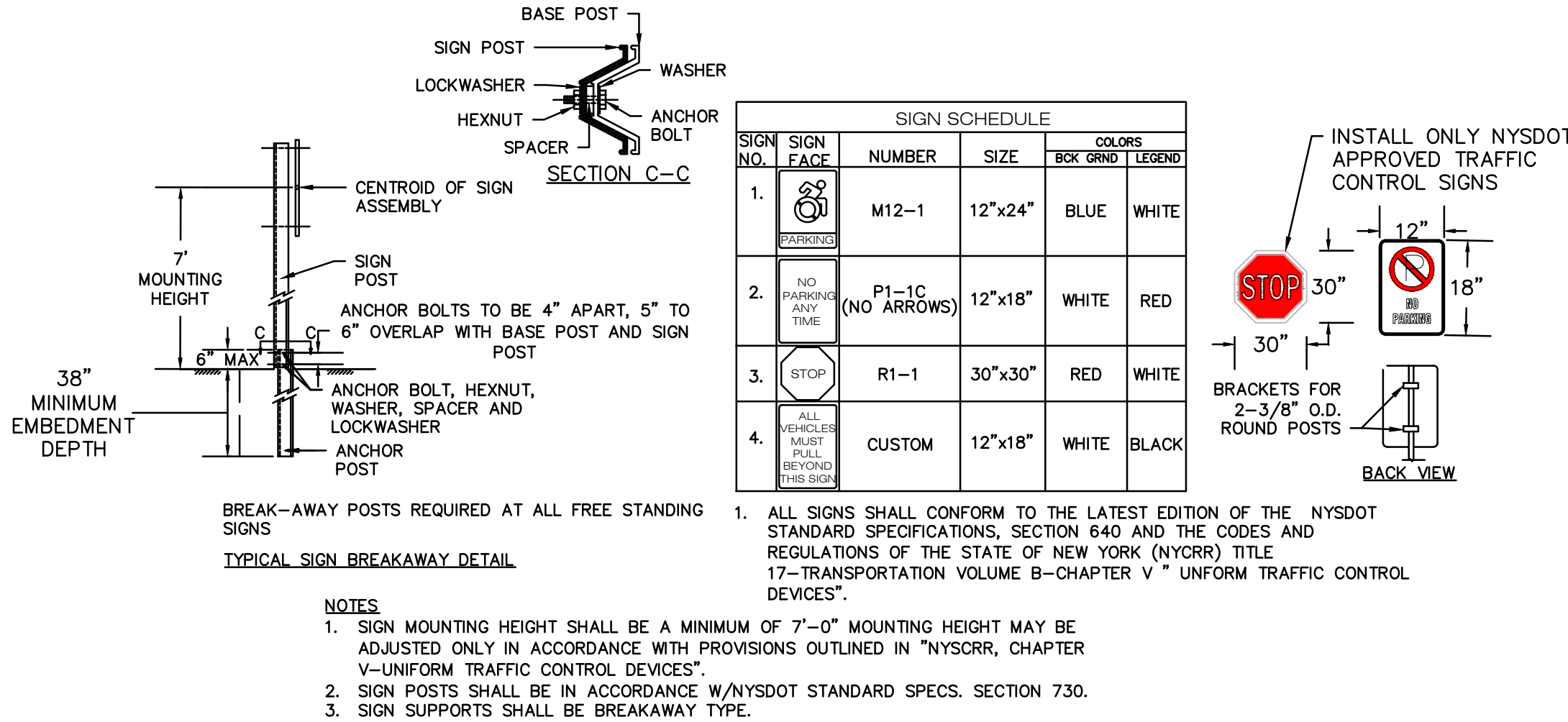
LANDSCAPING NOTES

1. THE WORK OF FURNISHING AND PLANTING TREES, SHRUBS AND VINES AS SHOWN ON THE PLANS AND AS APPROVED BY THE PLANNING BOARD WILL BE ACCOMPLISHED IN ACCORDANCE WITH ACCEPTED, ESTABLISHED HORTICULTURAL PRACTICES. ANY CHANGE IN PLAN TYPE, ETC., OR LOCATION REQUIRES THE WRITTEN APPROVAL OF THE PLANNING BOARD.
2. PLANTS: COMMON AND SCIENTIFIC NAMES OF PLANTS SHALL BE IN CONFORMITY WITH SPN (STANDARDIZED PLANT NAMES). PLANTS INCLUDING ROOT SPREAD AND BALL SIZE SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
3. PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH AND BE TYPICALLY CHARACTERISTIC OF THEIR RESPECTIVE KINDS.
4. PLANTS SHALL BE FREE FROM INJURY, INSECT DAMAGE, AND DISEASE.
5. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN LONG ENOUGH FOR NEW FIBROUS ROOTS TO HAVE DEVELOPED. SHRUBS AND VINES SHALL HAVE GOOD FIBROUS ROOT SYSTEMS.
6. NO PLANTING WILL BE DONE WHEN THERE ARE UNSATISFACTORY CONDITIONS AS DETERMINED BY THE ARCHITECT.
7. ROCK OR OTHER UNDERGROUND OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH AS DIRECTED BY THE ARCHITECT.
8. ALL PLANTS SHALL BE PROTECTED FROM DRYING OUT.
9. LOCATIONS OF PLANTINGS SHALL BE MARKED OUT ON THE GROUND BY THE CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT.
10. ALL PLANTS WILL BE SET IN ACCORDANCE WITH GOOD ESTABLISHED HORTICULTURAL PRACTICE.
11. ALL PLANTS SHALL BE SET PLUMB AT SUCH A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATIONSHIP TO THE LEVEL OF THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
12. BACKFILL SHALL BE THOROUGHLY SETTLED BY TAMPING. BACKFILL IS TO BE PLACED INTO PLANT PITS IN LAYERS NOT TO EXCEED 4" AND TAMPED.
13. THOROUGH WATERING SHOULD ACCOMPANY BACKFILL UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. A SAUCER CAPABLE OF HOLDING WATER TO A DEPTH AS SHOWN ON THE PLANS SHALL BE FORMED ABOUT EACH PLANT PIT. ALL PLANTS SHALL BE WATERED TO PROVIDE NOT LESS THAN FIVE GALLONS OF WATER PER SQUARE YARD OF PLANT PIT OR BED AREAS.
14. ALL CLOTH ROPES, ETC., SHALL BE REMOVED FROM THE TOPS OF BALLS, BUT NOT PULLED OUT FROM UNDER THE BALLS.
15. ALL TRUNKS OF DECIDUOUS TREES SHALL BE WRAPPED WITH A MATERIAL AS APPROVED BY THE ARCHITECT IMMEDIATELY AFTER PLANTING.
16. ALL TREES SHALL BE FIRMLY GUYS, STAKED, OR ANCHORED UNLESS OTHERWISE APPROVED.
17. PRUNING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED GOOD HORTICULTURAL PRACTICE AS DIRECTED BY THE ARCHITECT.
18. MULCHING SHALL COVER THE PLANT PIT OR PLANTING BED TO A DEPTH AS SPECIFIED ON THE PLANS.
19. THE AREA DISTURBED BY THE PLANTING OPERATION SHALL BE RESTORED TO AN ORDERLY CONDITION AS APPROVED BY THE ARCHITECT.
20. ANTI-DESICCANTS SHALL BE APPLIED TO ALL PLANTINGS ACCORDING TO THE MANUFACTURER'S DIRECTIONS. THIS MATERIAL SHALL BE APPLIED TO EVERGREENS WITHIN TWO WEEKS OF PLANTING AND TO DECIDUOUS PLANTINGS PLACED IN THE FALL WHEN AIR TEMPERATURE IS ABOVE 40 DEGREES F OR IN THE SPRING WHEN LEAVES HAVE REACHED 75% OF MATURE SIZE.
21. ALL DEAD, UNHEALTHY OR BADLY IMPAIRED PLANTS, AS DETERMINED BY THE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE PROJECT.
22. IN THE EVENT OF THE THREAT OF SERIOUS DAMAGE FROM INSECTS, DISEASE, OR RODENTS, THE PLANTS WILL BE TREATED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AS APPROVED BY THE ARCHITECT.
23. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
24. ALL PLANTED AREAS WHERE TREES AND/OR SHRUBS ARE INDICATED, TO HAVE BEDS OF WHITEWASHED STONE OR PINE BARK CHIPS AS NOTED ON PLANS.
25. ALL REMAINING AND DISTURBED AREAS NOT PAVED OR BEING PLANTED WITH TREES OR SHRUBS SHALL BE SEEDED AND MULCHED.
26. CONTRACTOR TO BE RESPONSIBLE FOR BRINGING TOPSOIL TO SITE AS NECESSARY FOR PROPER SEEDING AND PLANTING.
27. ALL PLANTING SHALL BE GUARANTEED BY CONTRACTOR A MINIMUM OF ONE YEAR AND BE REPLACED AS NECESSARY.
28. FERTILIZE AND/OR FEED ALL PLANTINGS AS RECOMMENDED.
29. AFTER SEEDING GERMINATES, CONTRACTOR TO BE RESPONSIBLE FOR RAKING, MULCHING, RE-SEEDING AS NECESSARY AND CUTTING AND MAINTAINING LAWN FOR A PERIOD OF ONE MONTH AFTER GERMINATION AND TO ARCHITECT'S SATISFACTION.
30. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON

LANDSCAPING SCHEDULE				
MARK	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
Ar	1	ACER RUBRUM BUXUS	RED MAPLE	2½"-3" CAL
Bs	5	SEMPERVIRENS	DWARF ENGLISH BOXWOOD	1 GAL
Cl	6	CUPRESSUS LEYLANDI	LEYLAND CYPRUS	6' HT
Pa	6	PICEA ABIES PYRUS	NORWAY SPRUCE	6' HT
Pcb	3	CALLERVANA PINUS	BRADFORD PEAR	2½"-3" CAL
Ps	6	STROBUS THUJA	WHITE PINE	6' HT
To	5	OCCIDENTALIS	EMERALD GREEN ARBORVITAE	6' HT



MIDDLEBUSH ROAD
LANDSCAPING & SIGNAGE PLAN
SCALE: 1" = 20'-0"



LAWN RESTORATION SCHEDULE & NOTES		
PERMANENT SEED MIXTURE	SPECIES	LBS./1,000 SQ. FT
	TALL FESCUE	1
	KENTUCKY BLUEGRASS	3
	PERENNIAL RYEGRASS	1

- NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: SPRING OR EARLY FALL
- REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA. AND PREPARE SOIL BY TILLING TO A DEPTH OF 3" TO 4" .
 - RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
 - FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT THE RATE OF 6 LBS. PER 1,000 SQ. FT. FERTILIZER SHALL BE A COMMERCIAL 5-10-10 MIXTURE.
 - AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
 - PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER. (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 LBS. OF SEED MIXTURE PER 1,000 SQ.FT. DO NOT OVER-SEED, OR OVER CROWDING OF THE SEEDLING MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
 - LIGHTLY COVER SEEDED AREA WITH ¼" to ¾" OF SOIL. (ROLLING OF SEEDED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH MULCH OR HAY OR STRAW AT A RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F.
 - SEEDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 LBS. (APPROX. 2 BALES PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
 - LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
 - NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2" - 2 ½"
 - PRACTICE REGULAR MAINTENANCE AND WATER REGULARLY AS CONDITIONS REQUIRE.



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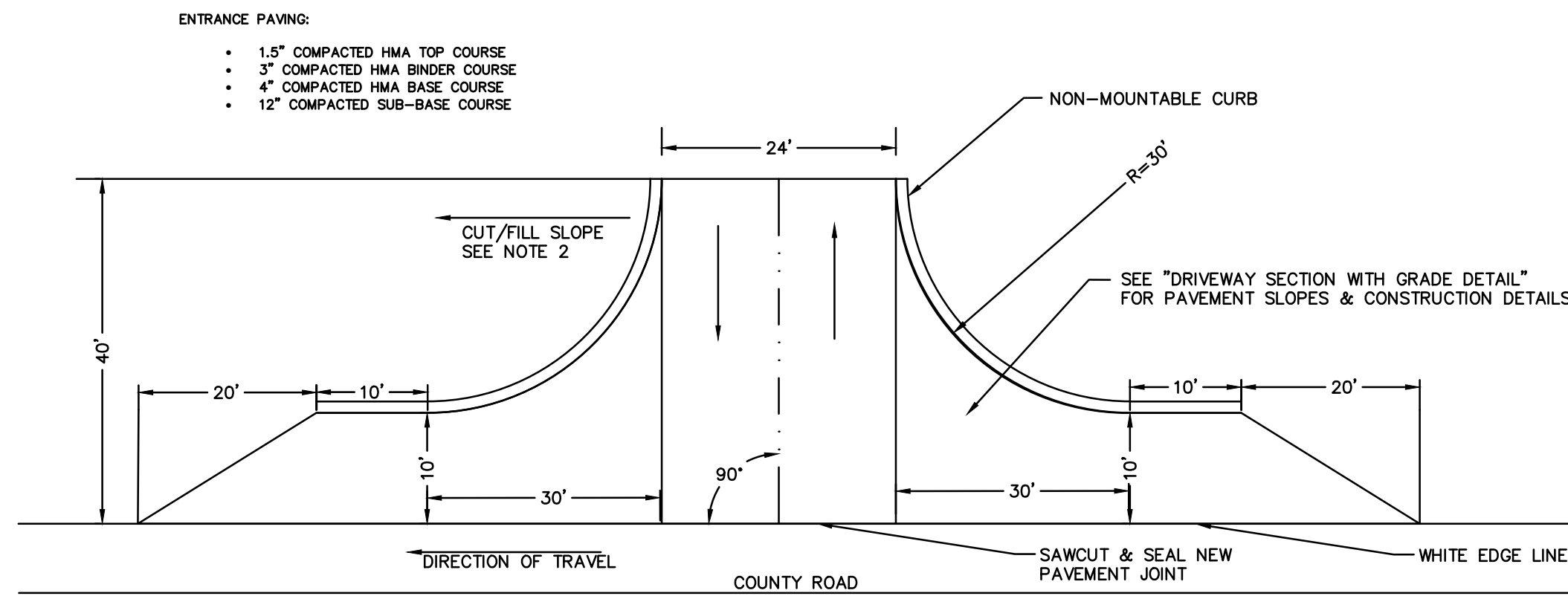
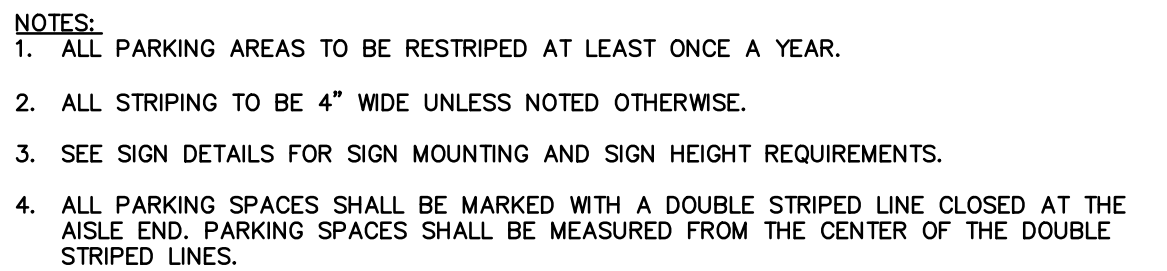
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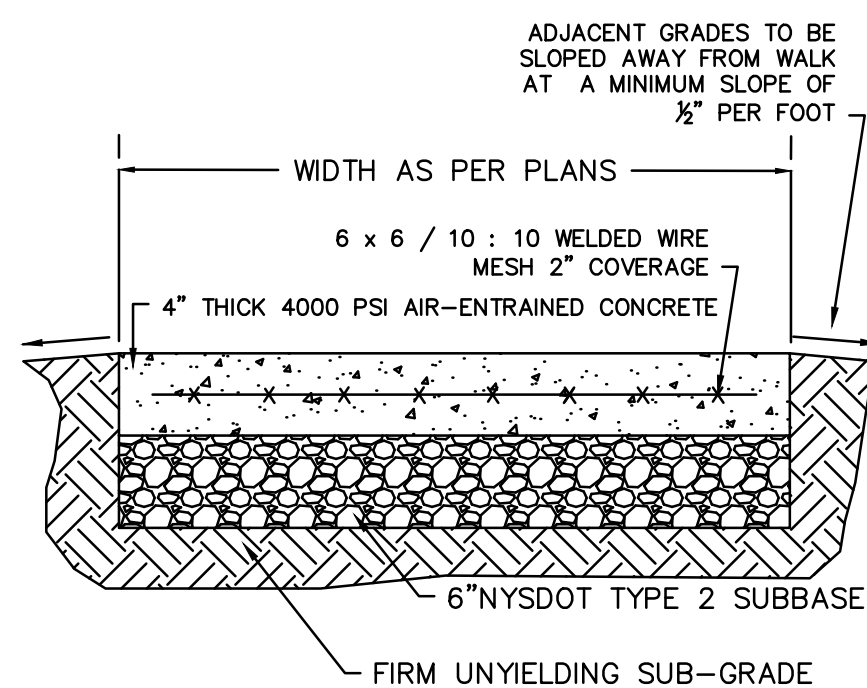
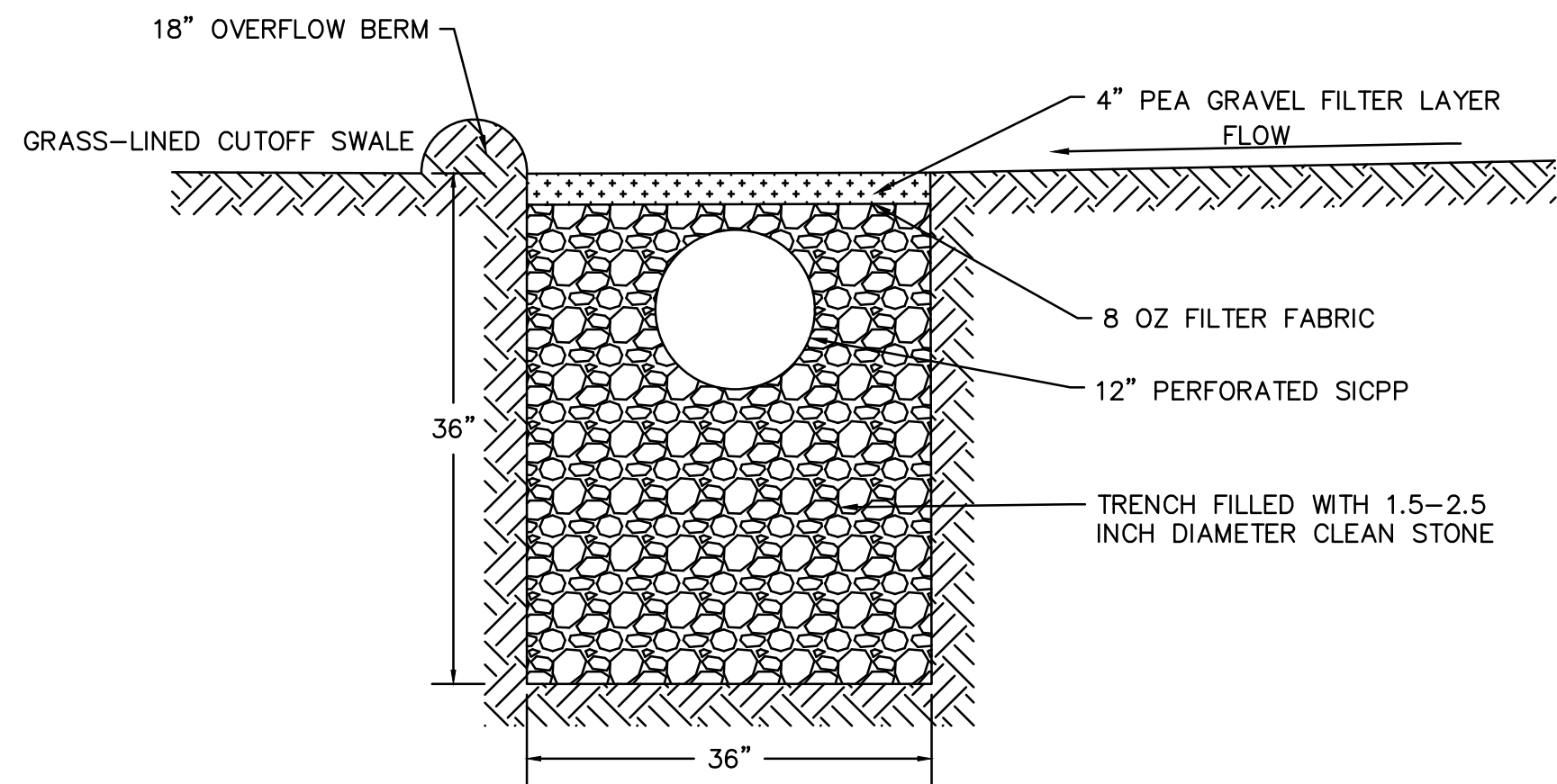
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NO.	DATE	DESCRIPTION
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LANDSCAPING & SIGNAGE PLAN

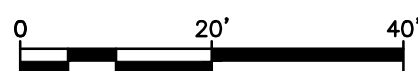
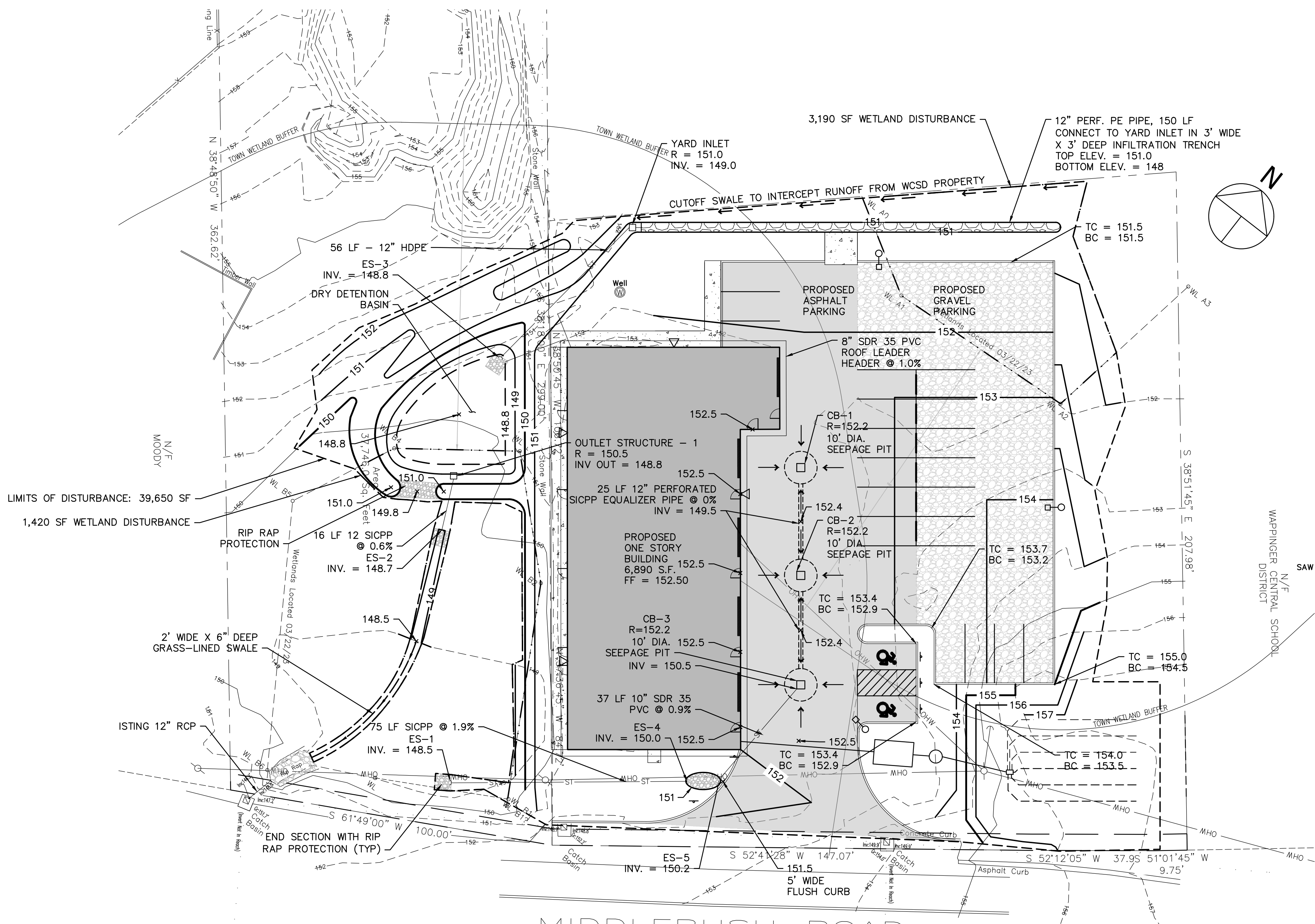
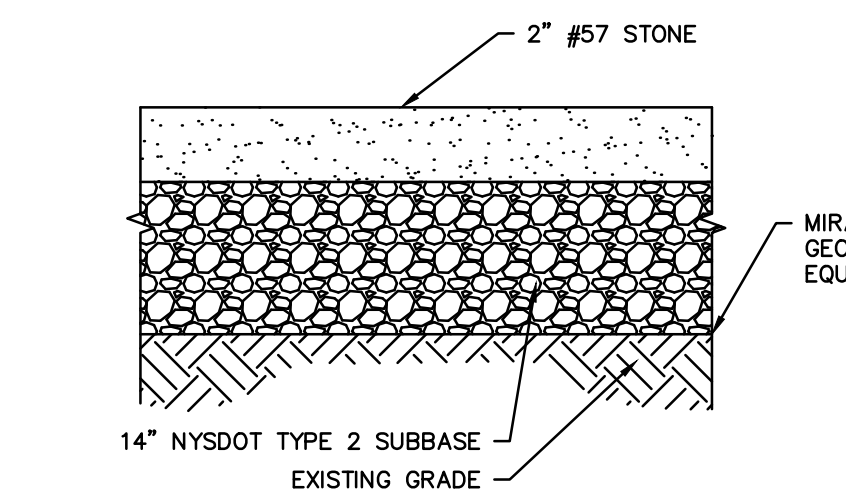
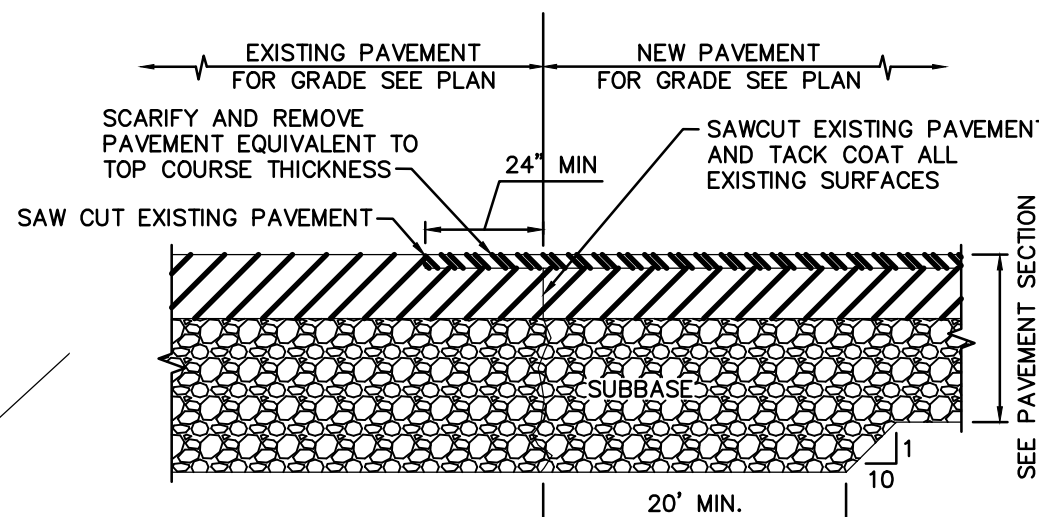
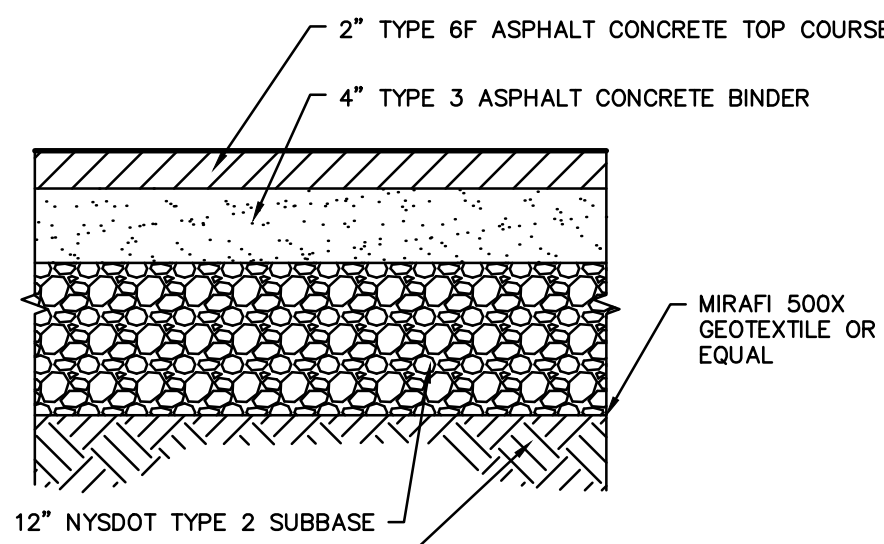
DATE:	2/7/2023
PROJECT NO.	2022-20
SCALE:	1" = 20'
DRAWING NO.	S-3.0



- NOTES:**
1. DRAINAGE FROM PRIVATE PROPERTY SHALL NOT BE ALLOWED TO FLOW ONTO COUNTY HIGHWAY. IF NECESSARY, PERMITEE WILL BE REQUIRED TO INSTALL DRAINAGE SYSTEM AT PROPOSED DRIVEWAY(S).
 2. CUT/FILL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL (2:1). CDDPW SHALL EVALUATE CUT/FILL SLOPES FOR ACCEPTABILITY.
 3. DIMENSIONS SHOWN ARE TYPICAL. FIELD CONDITIONS MAY REQUIRE ADJUSTMENTS TO MATCH EXISTING CONDITIONS PER CDDPW DIRECTION.



- NOTES:
1. EXPANSION JOINTS OF $\frac{1}{2}$ " CELLULOSE OR SIMILAR WITH $\frac{1}{2}$ " RADIUS EDGES SHALL BE PLACED ACROSS THE FULL WIDTH OF WALKWAY, AT INTERVALS NOT TO EXCEED 20' ALONG LENGTH OF SIDEWALK.
 2. CONTRACTION JOINTS (ACROSS FULL WIDTH OF WALKWAY SHALL BE LOCATED AT A MAXIMUM SPACING OF 5' ON CENTER BETWEEN EXPANSION JOINTS.

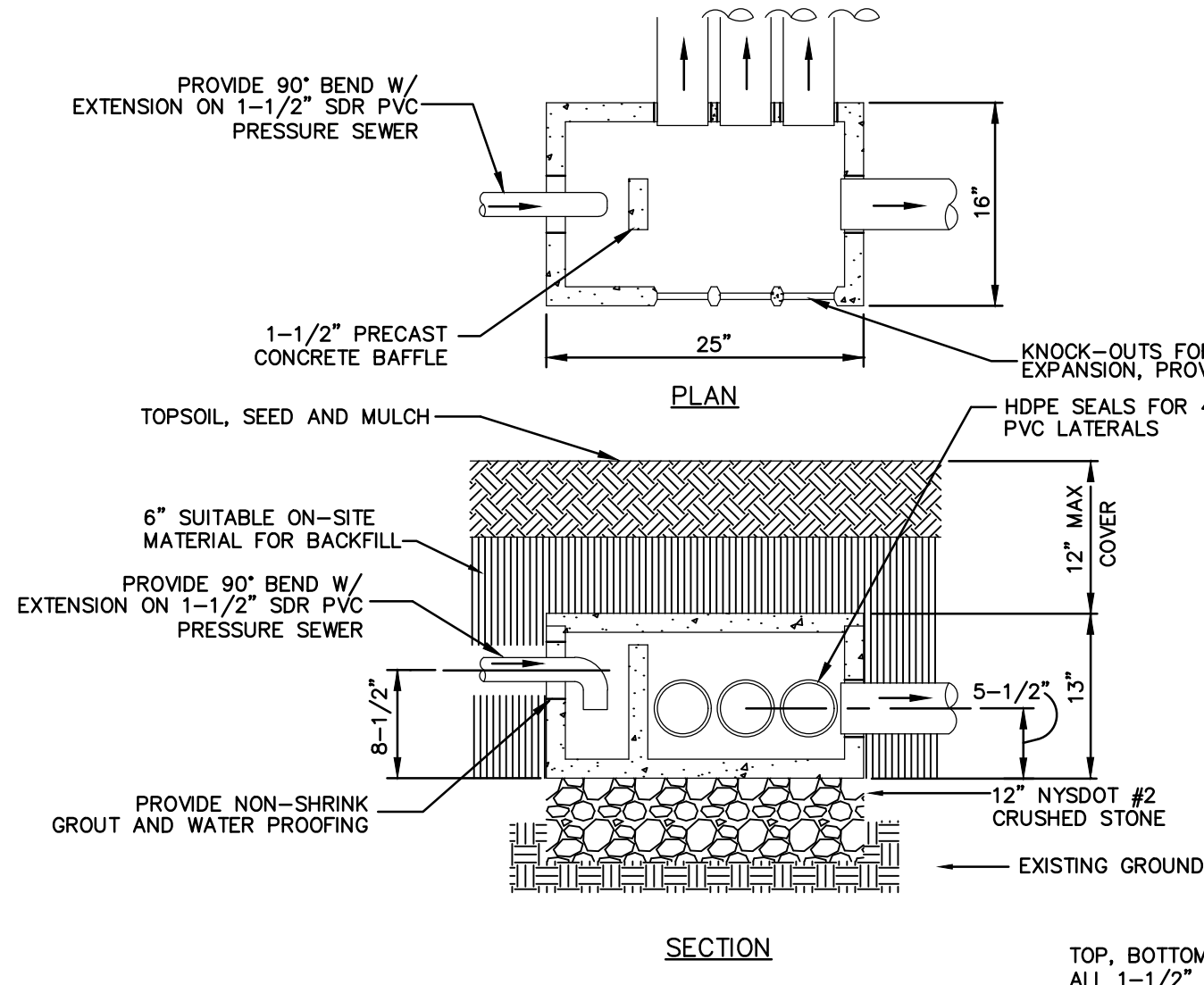


GRADING & DRAINAGE PLAN	DATE:
	2/7/2023
	PROJECT NO.
	2022-20
	SCALE:
	1" = 20'
DRAWING NO.	
S-4.0	

GRADING & DRAINAGE PLAN

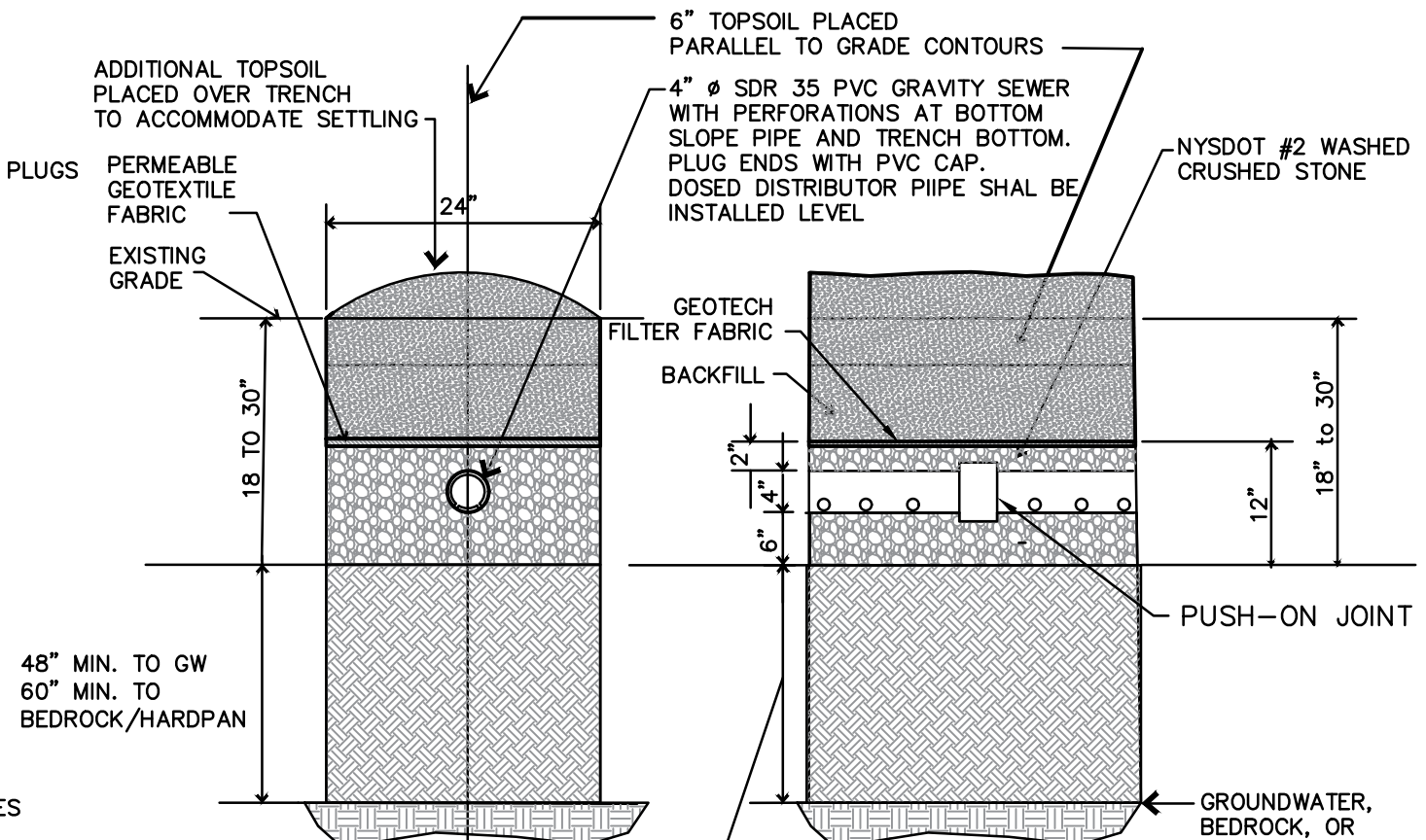
STANDARD NOTES FOR
COMMERCIAL PROJECTS (ONSITE
WATER SOURCE AND SEWAGE
DISPOSAL) W/NO PWS

- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
- "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDEC
- APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE. "RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (TEN STATES)."
- "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."
- "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."
- "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."
- THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES.
- UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC EHSD BY THE NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC EHSD.
- APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
- ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM EXISTING OR APPROVED WITHIN 300 FEET OF THE PROPOSED WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.
- IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHSD FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.
- ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.
- NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM OR WITHIN 50 FEET OF ANY WELL.
- ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.
- THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE ONSITE WASTEWATER TREATMENT SYSTEM. PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED AND FENCED OFF.
- ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.
- THE DC EHSD SHALL BE NOTIFIED PRIOR TO THE BACKFILLING OF ANY COMPLETED ONSITE WASTEWATER TREATMENT SYSTEM SO THAT A FINAL INSPECTION MAY BE PERFORMED.
- THE DC EHSD SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE-APPROVAL BY THE DC EHSD.
- ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
- THE UNDERSIGNED OWNERS OF THE PROPERTY HERON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HERON.
- ONSITE WASTEWATER TREATMENT SYSTEM IS DESIGNED FOR SANITARY SEWAGE ONLY. NO WASTES FROM RESTAURANTS, TAVERNS, DINERS, PIZZERIAS, FOOD SERVICE ESTABLISHMENTS, BAKERIES, DOCTOR'S OFFICES, DENTISTS, HAIR DRESSERS, SALONS, BEAUTY PARLORS, DRY CLEANERS, LAUNDROMATS, LAUNDRIES, PHOTOFINISHERS, METAL PLATERS, OR ANY OTHER PROCESS WASTES ARE ALLOWED.



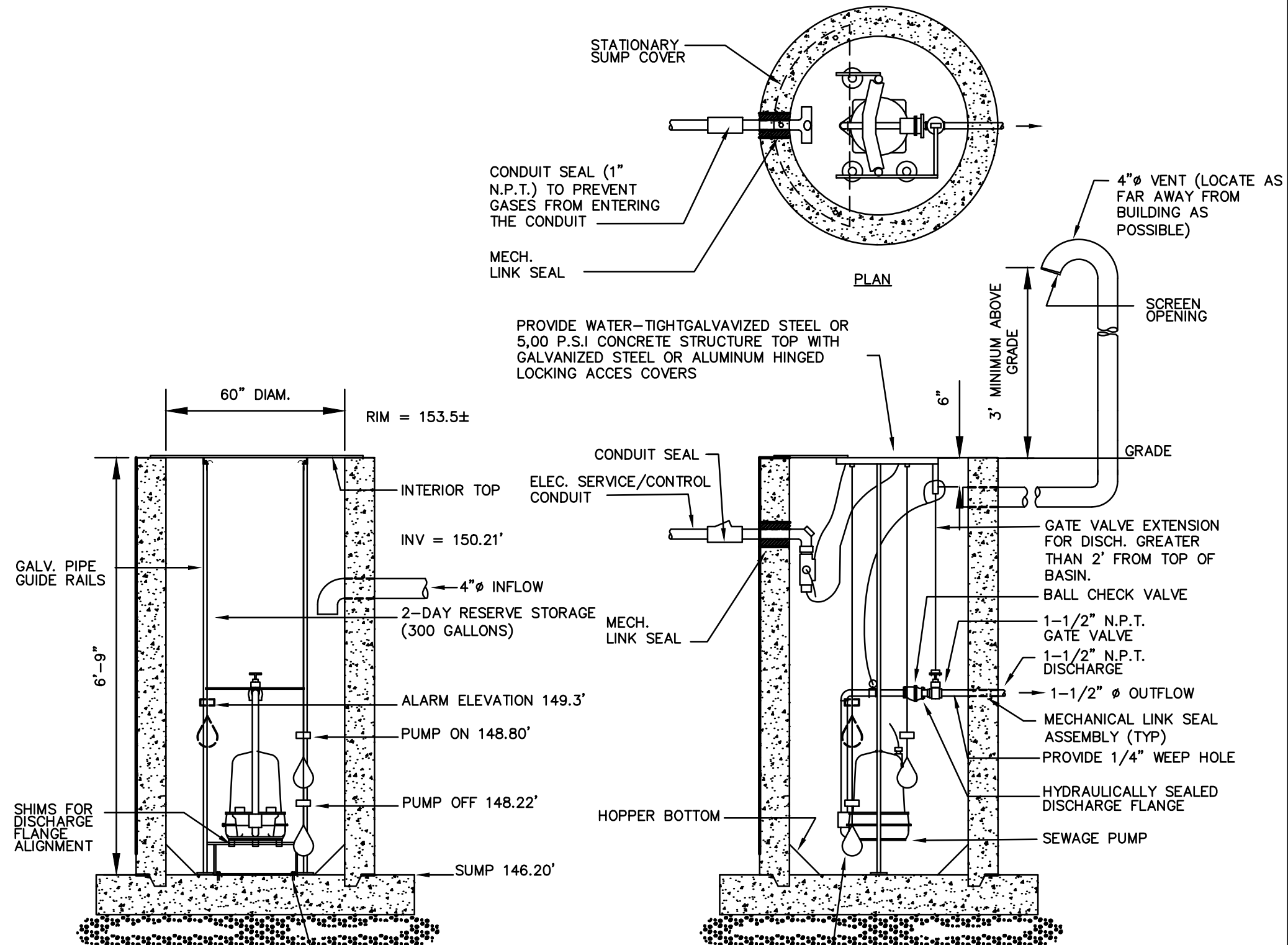
NOTES:
1. DISTRIBUTION BOX TO BE PROVIDED WITH PRE-FABRICATED SPEED LEVELERS AND LEVELED USING WATER.
2. FORT MILLER TYPE 2, DESIGN CASE 4 (NON-TRAFFIC).

DISTRIBUTION BOX (PRESSURE INLET)
NOT TO SCALE



NOTES:
1. DISTRIBUTION BOX TO BE PROVIDED WITH PRE-FABRICATED SPEED LEVELERS AND LEVELED USING WATER.
2. FORT MILLER TYPE 2, DESIGN CASE 4 (NON-TRAFFIC).

ABSORPTION TRENCH DETAIL
NOT TO SCALE



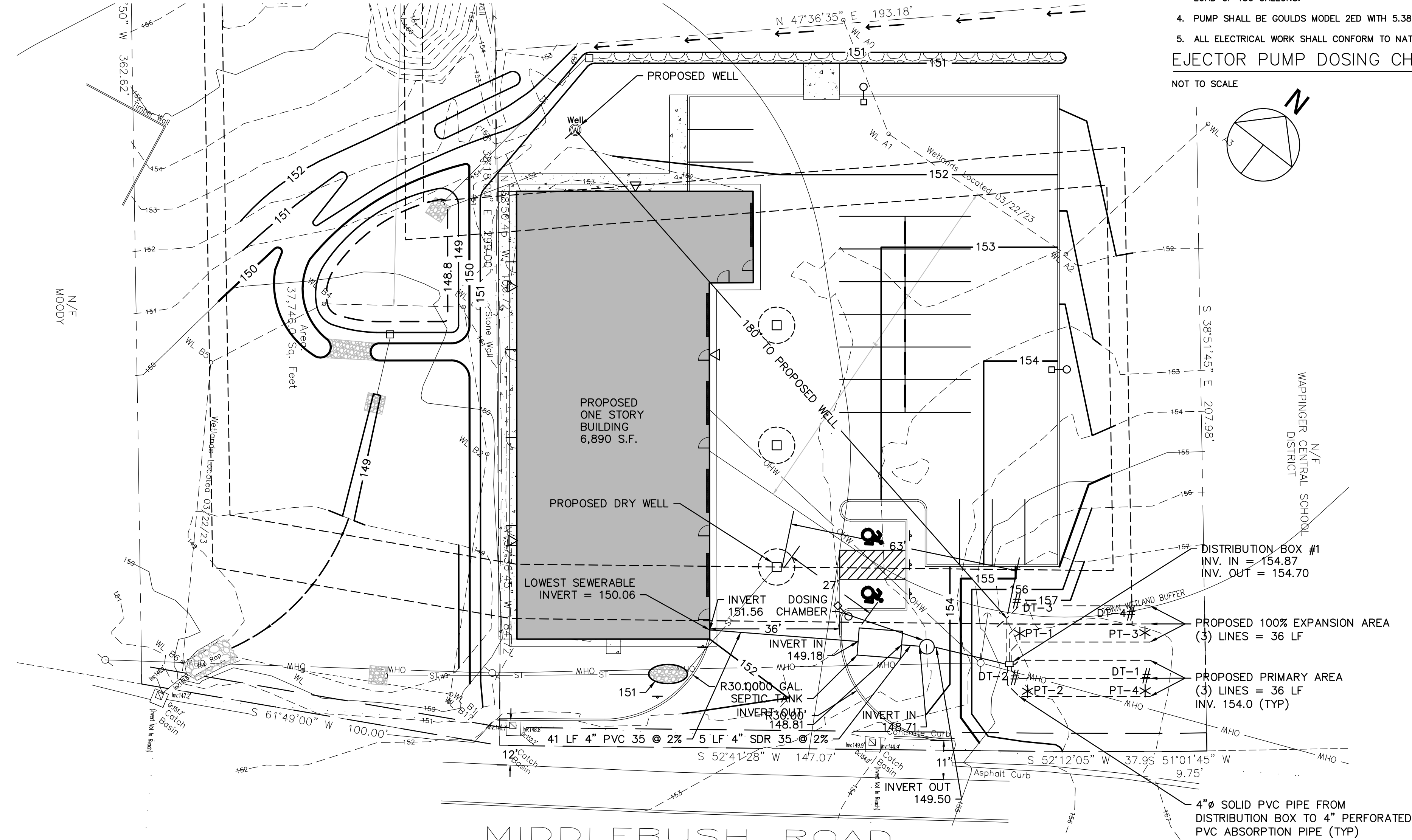
END VIEW OF PUMP

SIDE VIEW OF PUMP

- NOTES:
- ALL PUMP STATION COMPONENTS TO BE APPROVED BY PROJECT ENGINEER PRIOR TO INSTALLATION.
 - ELECTRICAL CONTROL UNIT WITH AUDIBLE/VISUAL ALARM & PUMP CONTROLS TO BE LOCATED WITHIN THE BUILDING.
 - THE WET WELL IS SIZED TO PROVIDE HOLDING CAPACITY EQUIVALENT TO 2 DAYS AT THE AVERAGE DAILY LOAD OF 150 GALLONS.
 - PUMP SHALL BE GOULDS MODEL 2ED WITH 5.38" IMPELLER, 0.33 HP.
 - ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE (NEC) - LATEST EDITION.

EJECTOR PUMP DOSING CHAMBER DETAILS

NOT TO SCALE



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CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

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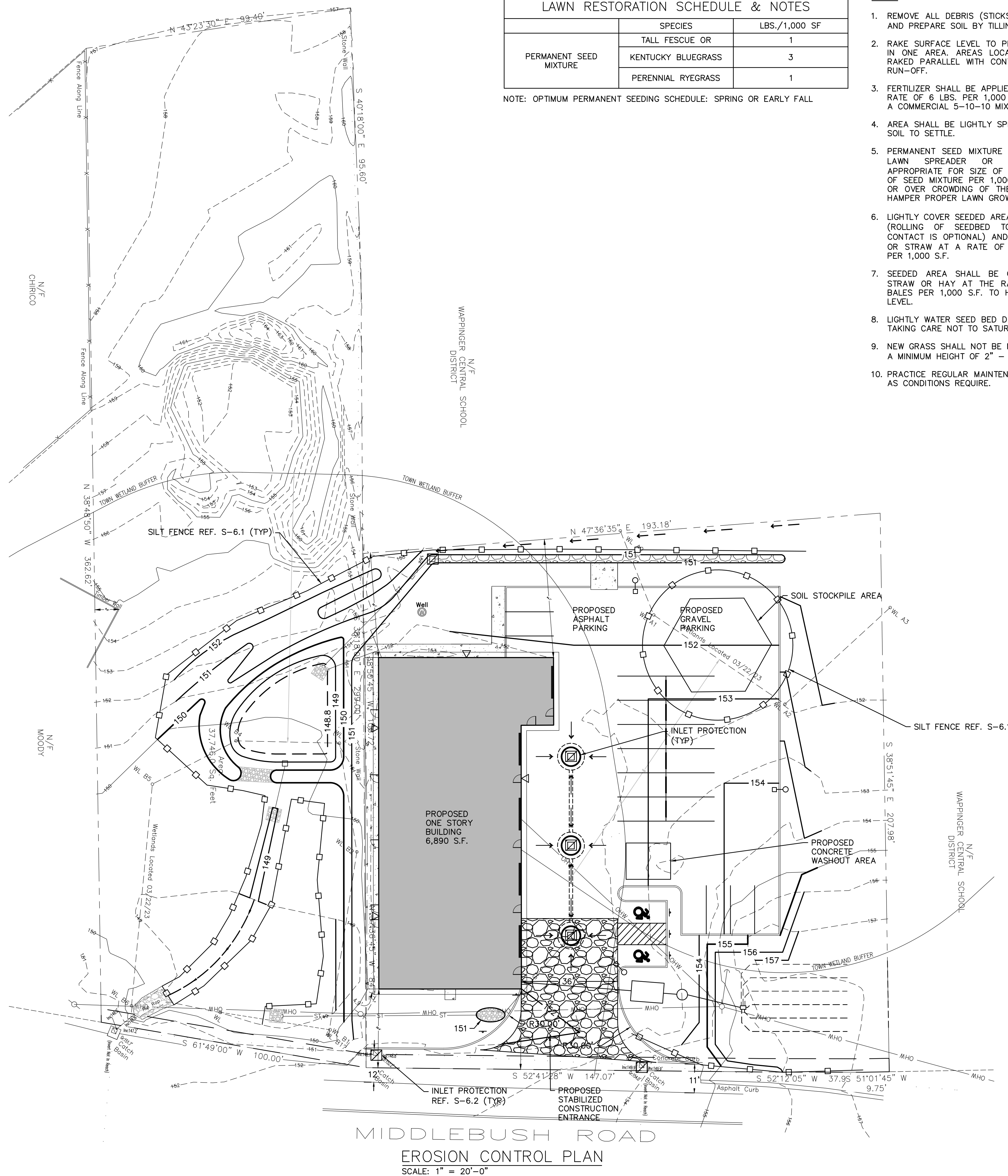
EROSION CONTROL PLAN

DATE:	2/7/2023
PROJECT NO.	2022-20
SCALE:	1" = 20'
DRAWING NO.	S-6.0

NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: SPRING OR EARLY FALL

NOTES

1. REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA, AND PREPARE SOIL BY TILLING TO A DEPTH OF 3" TO 4".
2. RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
3. FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT THE RATE OF 6 LBS. PER 1,000 SQ. FT. FERTILIZER SHALL BE A COMMERCIAL 5-10-10 MIXTURE.
4. AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
5. PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER. (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 LBS. OF SEED MIXTURE PER 1,000 SQ.FT. DO NOT OVER-SEED, OR OVER CROWDING OF THE SEEDLING MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
6. LIGHTLY COVER SEEDED AREA WITH 1/4" TO 3/4" OF SOIL. (ROLLING OF SEEDBED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH MULCH OR HAY OR STRAW AT A RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F.
7. SEEDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 LBS. (APPROX. 2 BALES PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
8. LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
9. NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2" - 2 1/2"
10. PRACTICE REGULAR MAINTENANCE AND WATER REGULARLY AS CONDITIONS REQUIRE.



A horizontal scale bar with alternating black and white segments. It is labeled '0' at the left end and '20'' at the right end.



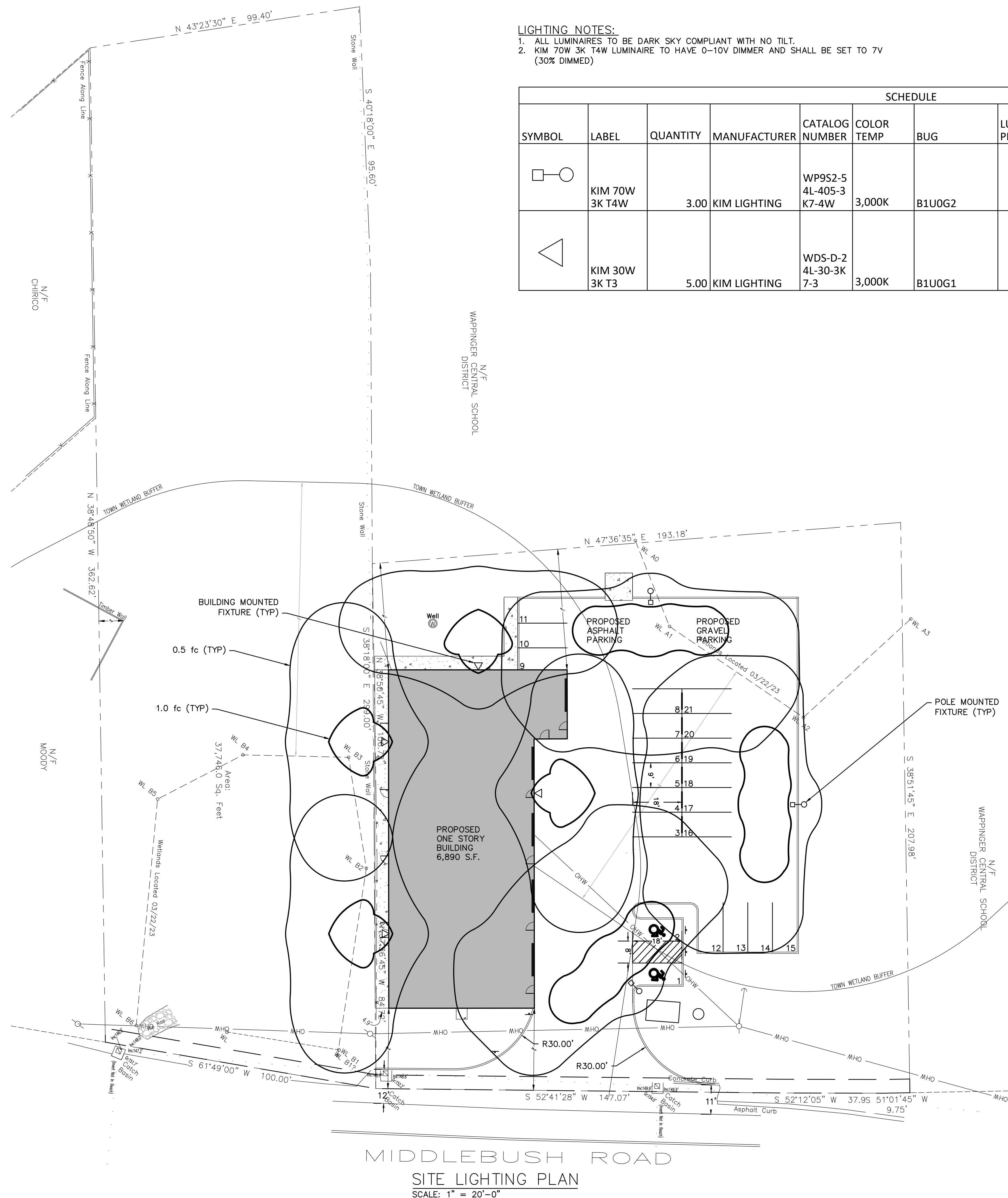
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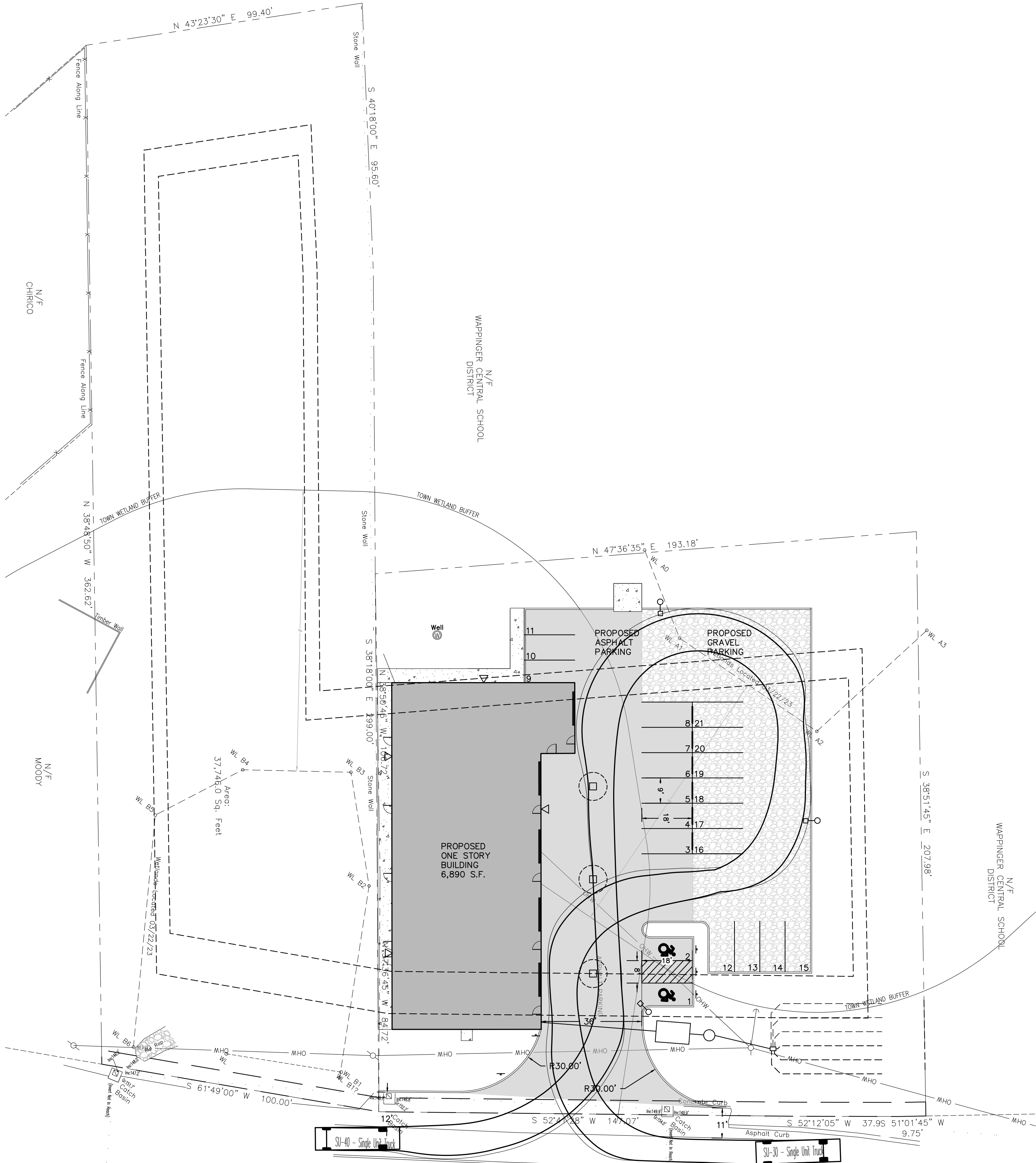
CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

[illegible]

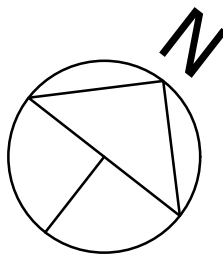
SITE LIGHTING PLAN

DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-7.0





MIDDLEBUSH ROAD
VEHICLE MANEUVERING PLAN
SCALE: 1" = 20'-0"



VEHICLE MANEUVERING
PLAN

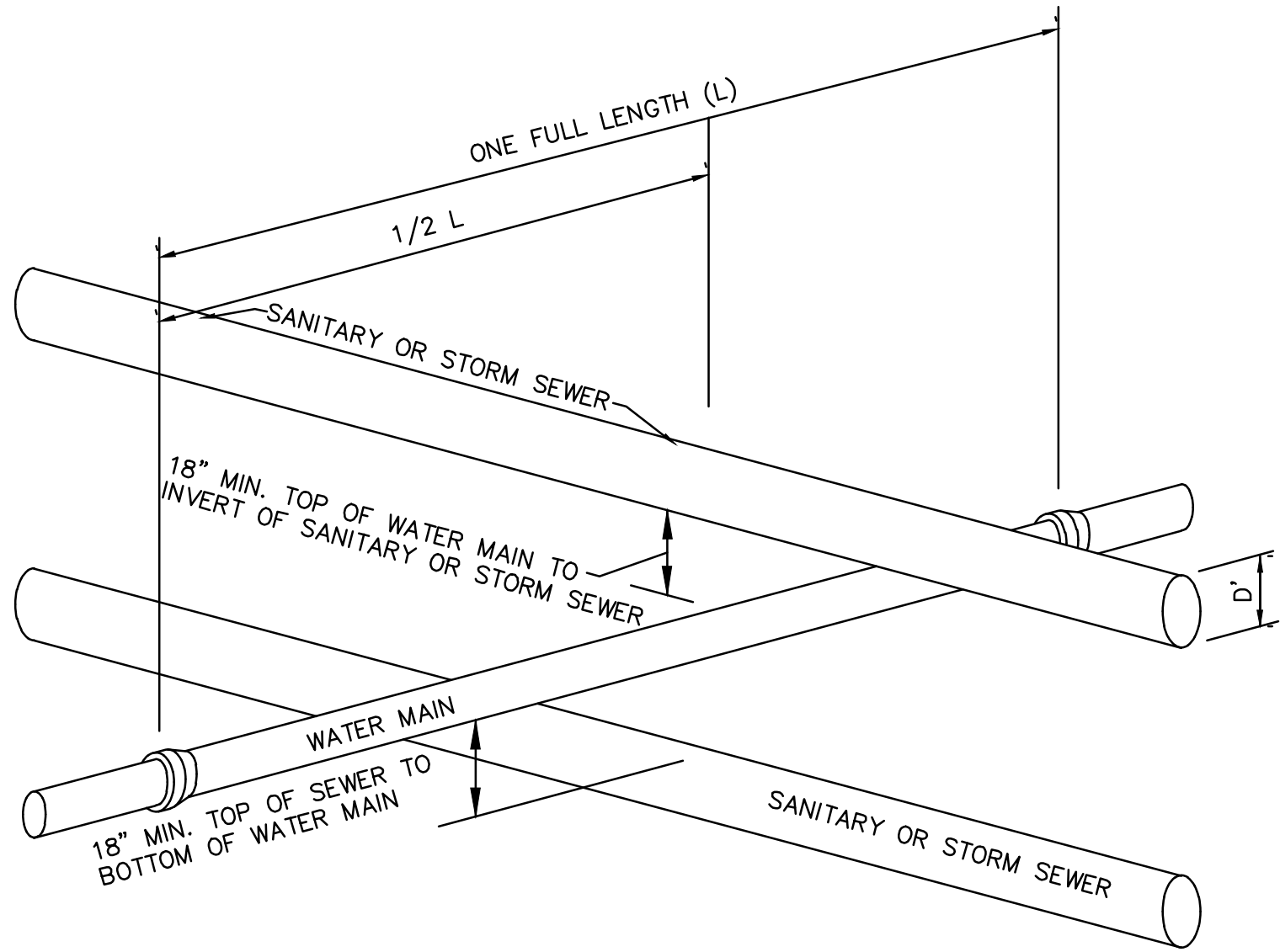
REVISIONS		
NO.	DATE	DESCRIPTION
1	2.07.22	PER CONSULTANT COMMENTS
2	9.06.23	PER CONSULTANT COMMENTS

DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-8.0

CONTRACTOR STORAGE BUILDING
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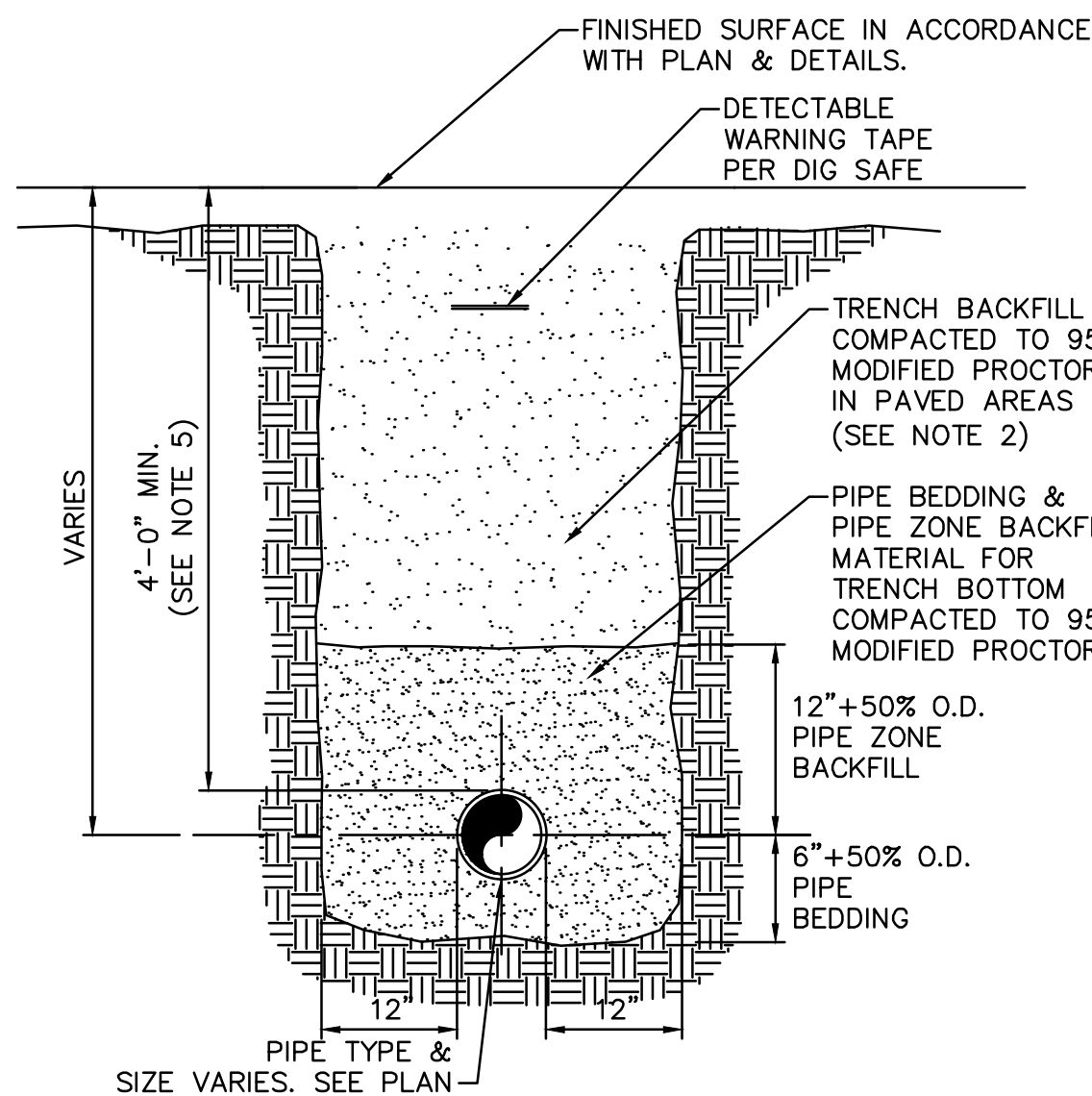
TW ENGINEERING, P.C.
P.O. BOX 913
WAPPINGER FALLS, NY 12590
845-594-1529
TROY A. WOJCIKOWSKY, P.E., LEED - AP
CONSULTING ENGINEER



- NOTES:**
- IF 18" VERTICAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
 - CONSTRUCT SEWER OF PVC PRESSURE PIPE MATERIAL 10' ON EACH SIDE OF THE WATER MAIN/SEWER.
 - ENCASE SEWER PIPE IN CONCRETE, 4' DISTANCE ON EACH SIDE OF WATER MAIN/SEWER CROSSING. CONCRETE ENCASEMENT SHALL BE MINIMUM 6" ALL AROUND PROPOSED SEWER PIPE.
 - IF 10' HORIZONTAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, THE CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
 - THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THE 10' HORIZONTAL SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM THE SEWER AS POSSIBLE (REFER TO THE WATER LINE OFFSET DETAIL ON SHEET C-530).
 - BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CAST IRON PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS, OR ENCASED IN CONCRETE IN ACCORDANCE WITH THE NYS HEALTH DEPARTMENT REQUIREMENTS.

1 WATER/SEWER SEPARATION REQUIREMENTS

NOT TO SCALE



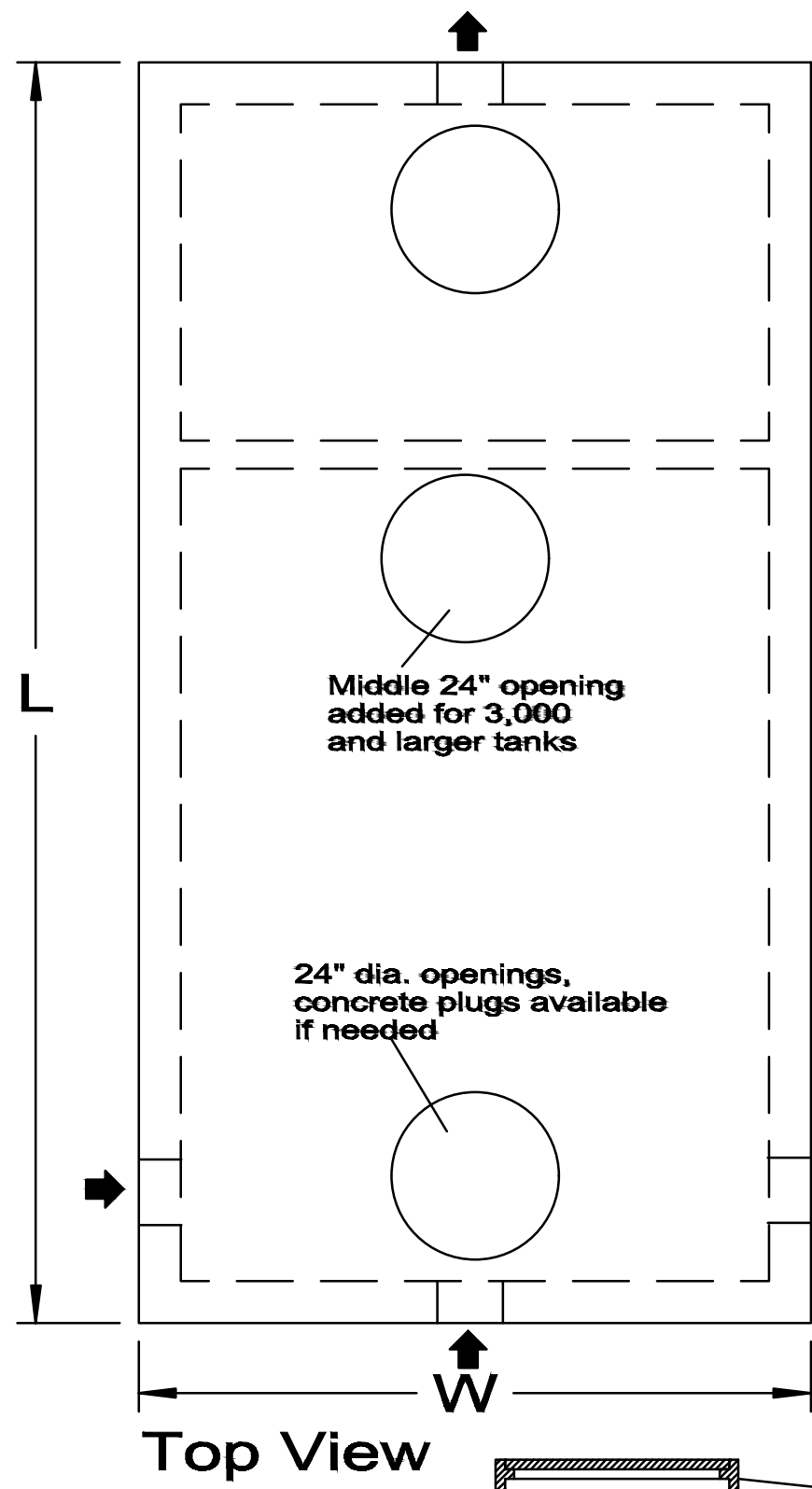
- NOTES:**
- PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%
 - TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
2"	100%
1/4"	30-65%
NO. 40	5-40%
NO. 200	0-15%
 - INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
 - TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.
 - SEE THE SHALLOW SANITARY TRENCH DETAIL FOR WHEN COVER IS LESS THAN 4'-0".

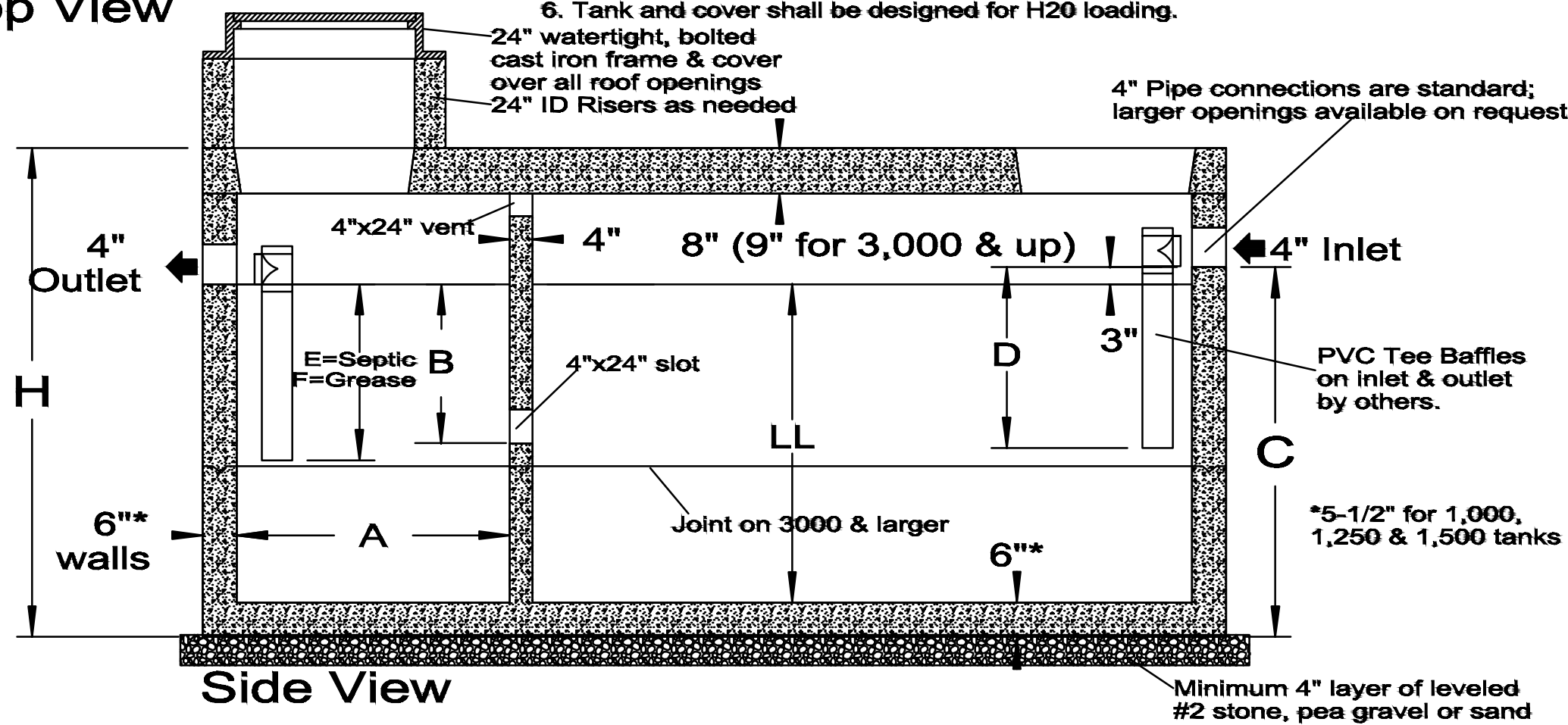
3 SEWER PIPE TRENCH

NOT TO SCALE



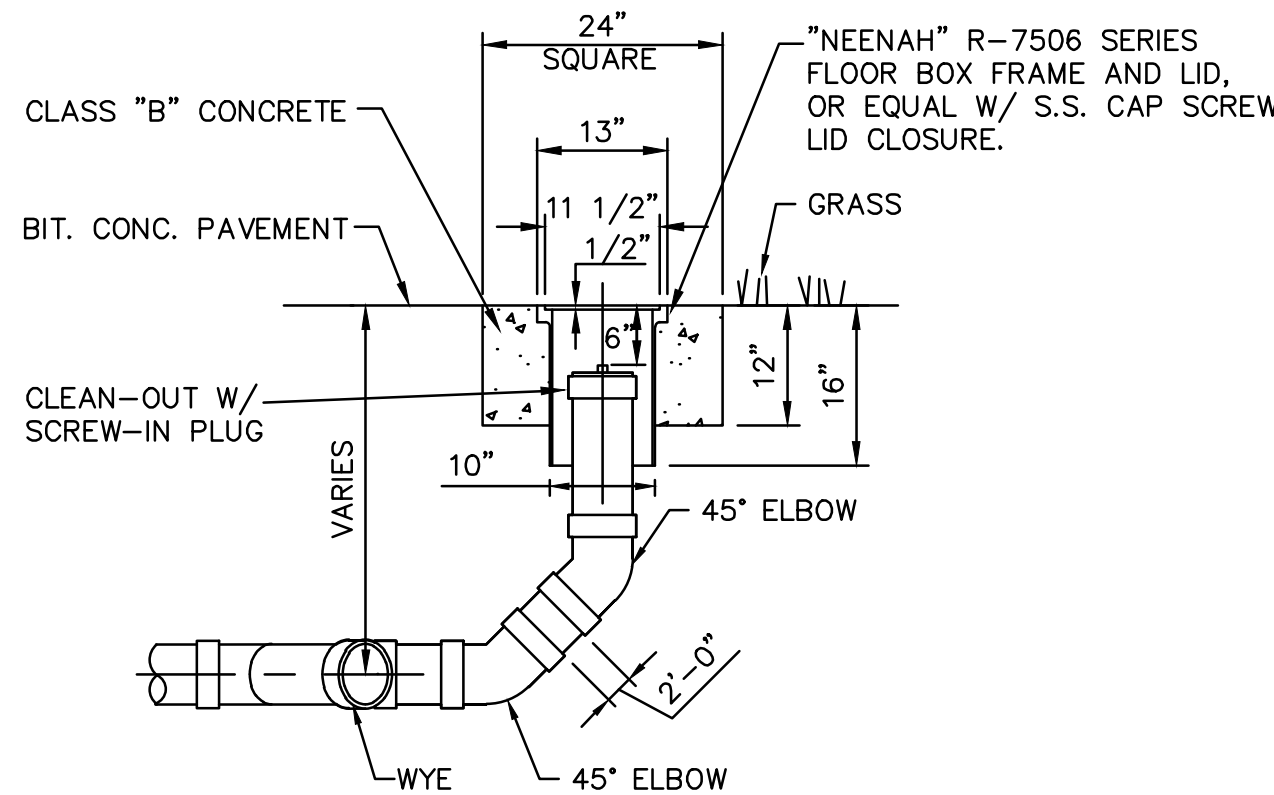
Gallons	L	W	H	LL	A	B	C	D	E	F
750	9'-6"	4'-6"	5'-11"	42"	34"	23"	51"	24"	21"	30"
1,000	10'-9"	5'-11"	4'-9"	35"	38"	16"	43"	21"	18"	23"
1,250	10'-9"	5'-11"	5'-3"	41.5"	38"	19"	49.5"	24"	21"	29"
1,500	10'-9"	5'-11"	5'-11"	49"	38"	22"	57"	27"	24"	37"
2,000	12'-6"	6'	7'-3"	58"	46"	31"	67"	32"	29"	46"
2,500	14'	6'-6"	7'-3"	58"	46"	31"	67"	32"	29"	46"
3,000	15'-6"	7'	7'-3"	58"	52"	31"	67"	32"	29"	46"
3,500	15'-6"	8'	7'-3"	58"	52"	31"	67"	32"	29"	46"
4,000	17'-2"	8'	7'-3"	58"	58"	31"	67"	32"	29"	46"
5,000	18'-8"	9'	7'-3"	58"	70"	31"	67"	32"	29"	46"
6,000	20'-4"	9'-6"	7'-3"	60"	70"	33"	69"	32"	30"	48"

- Notes:**
- Effluent outlet filters are available as well as high level alarms.
 - Gas deflectors are available for 4" outlet pipes.
 - Tank designs based on the 2014 NYSDEC design standards.
 - Grease Traps are Type 2 with longer outlet baffles than Septic Tanks.
 - 1,000, 1,250, and 1,500 tanks are two-piece design with center seam.
 - Tank and cover shall be designed for H20 loading.



2 1000 GALLON SEPTIC TANK

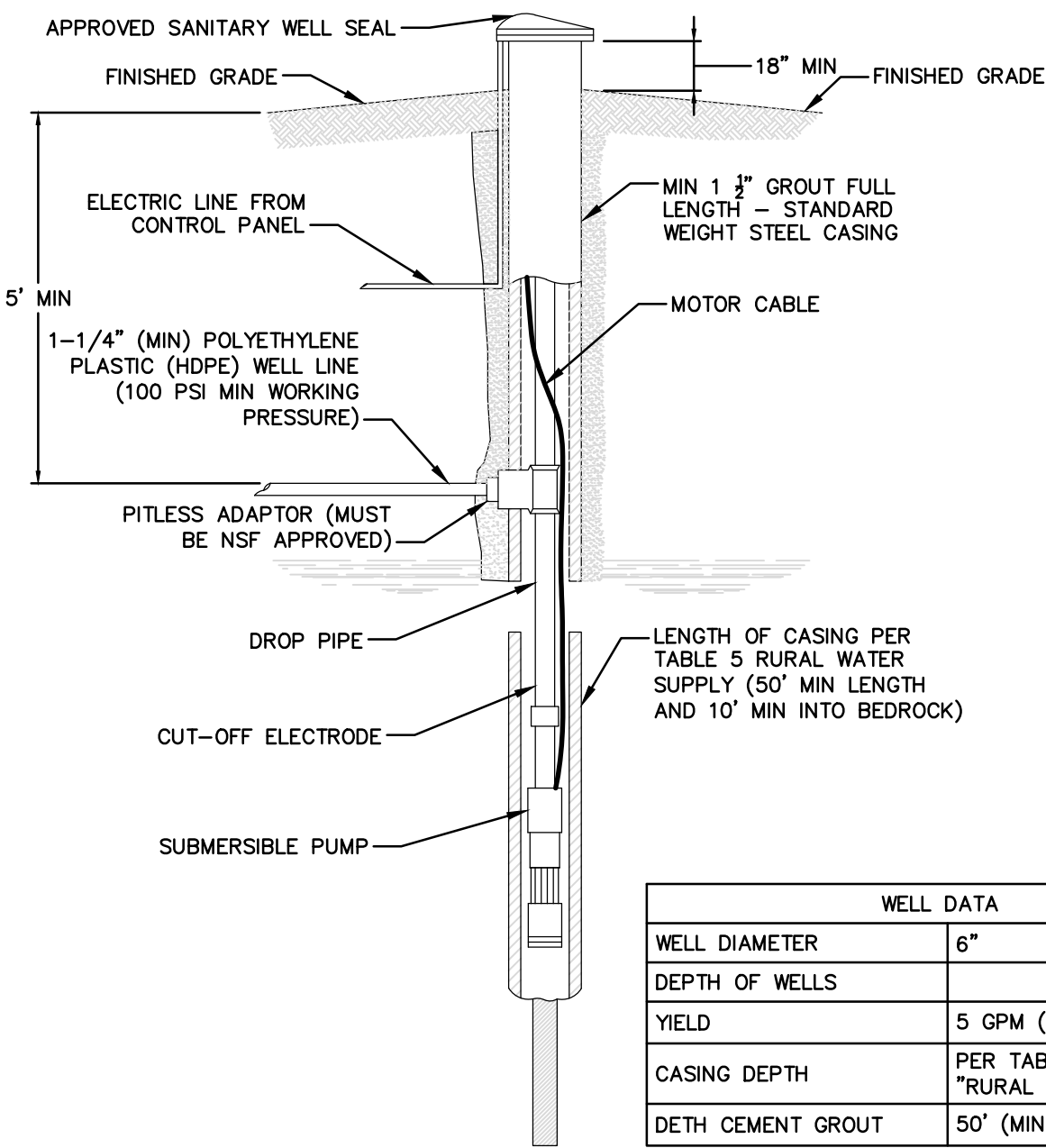
NOT TO SCALE



- NOTES:**
- SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35.
 - TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

4 CLEAN OUT DETAIL

NOT TO SCALE



WELL DATA	
WELL DIAMETER	6"
DEPTH OF WELLS	
YIELD	5 GPM (MIN)
CASING DEPTH	PER TABLE 5 NYSDOH "RURAL WATER SUPPLY"
DETH CEMENT GROUT	50' (MIN)

- NOTES:**
- SUBMERSIBLE PUMP AND PRE-CHARGED HYDRO-PNEUMATIC TANK SHALL BE PROVIDED. PRESSURE TANK DRAW DOWN SHALL NOT BE LESS THAN 20 GALLONS FOR A PRESSURE RANGE OF 30 TO 50 PSI. PUMP DISCHARGE CAPACITY SHALL NOT EXCEED THE DEPENDABLE YIELD OF THE WELL AT THE HIGH END OF THE PRESSURE RANGE.
 - THE DRILLED WELL SHALL BE COMPLETED WITH A DEPENDABLE YIELD OF NOT LESS THAN 5 GPM. PROVIDE WATER TREATMENT AS REQUIRED.
 - UPON COMPLETION OF CONSTRUCTION, DISINFECT WITH CHLORINE SOLUTION IN ACCORDANCE WITH NYS HEALTH DEPARTMENT SPECIFICATIONS.
 - CASING TO BE 50' MINIMUM LENGTH AND 10' MINIMUM INTO BEDROCK.
 - THE WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 5 OF THE RURAL WATER SUPPLY HANDBOOK - NYS DEPARTMENT OF HEALTH - REVISED 1995.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPENDIX 5-B OF PUBLIC HEALTH LAW 206 (18).

5 TYPICAL DRILLED WELL IN ROCK

NOT TO SCALE

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CONTRACTOR STORAGE BUILDING
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
TOWN OF WAPPINGER, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION
1	2.07.22	PER CONSULTANT COMMENTS
2	9.06.23	PER CONSULTANT COMMENTS

SSDS DETAILS
(DOH APPROVAL)

DATE:	2/7/2023
PROJECT NO.	2022-20
SCALE:	1" = 20'
DRAWING NO.	S-5.1



1. THE OPERATOR/SITE CONTRACTOR) SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
2. CONSTRUCTION VEHICLES AND EQUIPMENT ENTERING AND EXITING THE SITE MUST ENTER AND EXIT AT THE STABILIZED CONSTRUCTION ENTRANCE ONLY. MEASURES MUST BE TAKEN TO PREVENT SOIL AND SEDIMENT FROM A VEHICLE'S TIRES FROM BEING DEPOSITED ONTO PUBLIC ROADS.
3. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTION OF ALL BEST PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE TOWN OF HYDE PARK COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING, AND RE-STABILIZATION SHALL BE PERFORMED IMMEDIATELY.
4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
5. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE TOWN OF WAPPINGER.
6. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND APPROVED BY THE TOWN OF WAPPINGER, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND ROCK SPOILS AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
7. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
8. EROSION AND SEDIMENT BMPs (BEST MANAGEMENT PRACTICES) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
9. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
10. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL VEGETATIVE, MEDIAL, MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
11. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
12. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

PERMANENT STABILIZATION SEED MIXTURE		
PERMANENT SEED MIXTURE	SPECIES	
	TALL FESCUE OR	44
	KENTUCKY BLUEGRASS	130
	PERENNIAL RYEGRASS	44

PERMANENT SEEDING SCHEDULE:

1. TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
2. TOPSOIL SURFACE SEHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
3. FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER /1000 SF



CONCRETE MASONRY WALL CONSTRUCTION

MATERIALS, CONSTRUCTION AND QUANTITY CONTROL OF MASONRY SHALL BE ACCORDING TO THE UNIFORM BUILDING CODE (UBC), CHAPTER 24. GENERAL CONDITIONS AND CONSTRUCTION REQUIREMENTS SHALL BE APPLIED AS SPECIFIED IN UBC, SECTION 2404 (F), DURING GROUTED MASONRY WORK.

1. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60. VERTICAL REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL, AND SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM.
2. IF A SLAB DOWEL DOES NOT LINE-UP WITH A VERTICAL CORNER, THE DOWEL SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICALS (1:6).
3. HORIZONTAL WALL REINFORCEMENT SHALL BE STANDARD TRUSS TYPE DUR-O-WALL (OR EQUIVALENT) AT 16" O.C.
4. HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS SHALL BE CONFORMING TO ASTM C-90, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI.
5. MORTAR SHALL BE TYPE M OR S, IN ACCORDANCE WITH ASTM C-270. JOIN ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR PLACES. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING, HORIZONTAL AND VERTICAL.
6. COARSE GROUT SHALL CONFORM TO ASTM C-476, WITH A MAXIMUM AGGREGATE SIZE OF 3/8", 8" TO 10" SLUMP, AND A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS.
7. MINIMUM 3" X 3" BOTTOM-CLEAN-OUT HOLES (SAW-CUT) ARE REQUIRED AT THE BOTTOM COURSE OF ALL CELLS TO VERIFY GROUT PLACEMENT. CLEAN-OUTS SHALL BE SEALED AFTER MASONRY INSPECTION-PROVIDED IN ACCORDANCE WITH AC 531-4.6, AND BEFORE GROUTING.
8. PRIOR TO GROUTING, THE GROUT SPACE SHALL BE CLEAN, WITH NO MORTAR PROJECTIONS OR MATERIAL. THE 1/2" MORTAR DROPPINGS OR MORTAR REMAINING ON THE CELL WALL SHALL BE IN VERTICAL ALIGNMENT, AND SHALL SOULD BE FILLED WITH COARSE GROUT AS SPECIFIED.
9. DURING PLACING, GROUT SHALL BE CONSOLIDATED WITH FLEXIBLE CABLE VIBRATOR. FIRST GROUT POUR SHALL BE PLACED TO THE TOP OF THE FORM, AND THE SECOND BELOW THE TOP OF THE MIDDLE BOND BEAM MASONRY.

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33 MIDDLEBUSH ROAD
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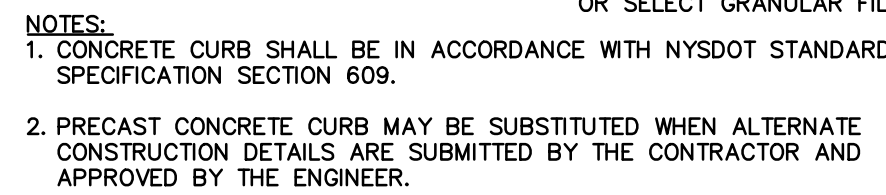
EROSION CONTROL DETAILS

DATE:
2/7/2023

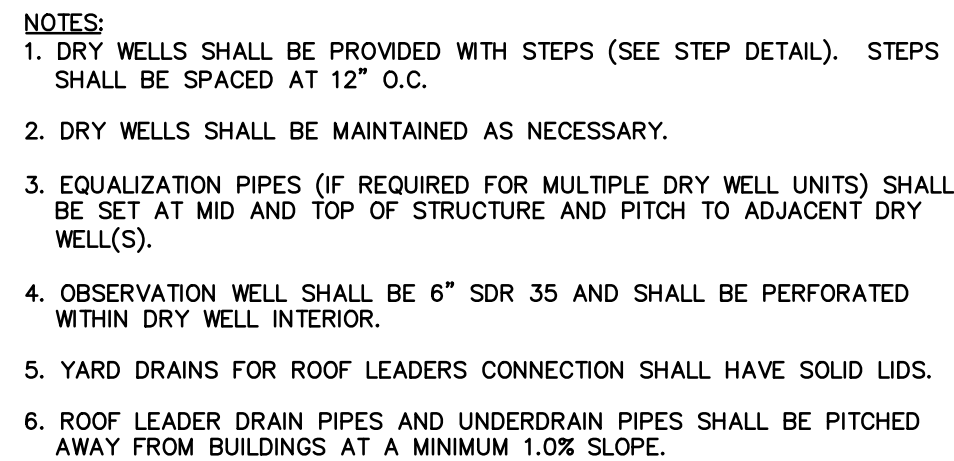
PROJECT NO.
2022-20

SCALE:
1" = 20'

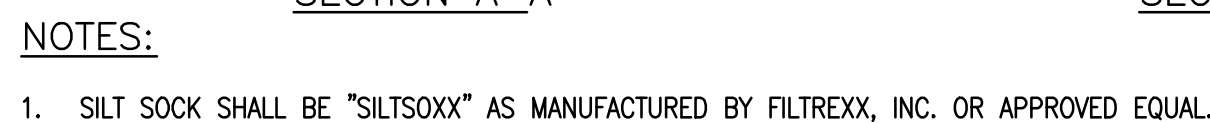
DRAWING NO.
S-6.1



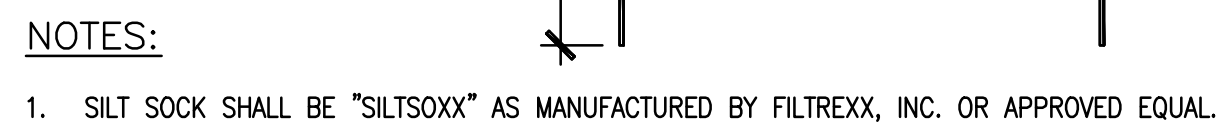
1 SITE CAST IN PLACE CONCRETE CURB
NOT TO SCALE



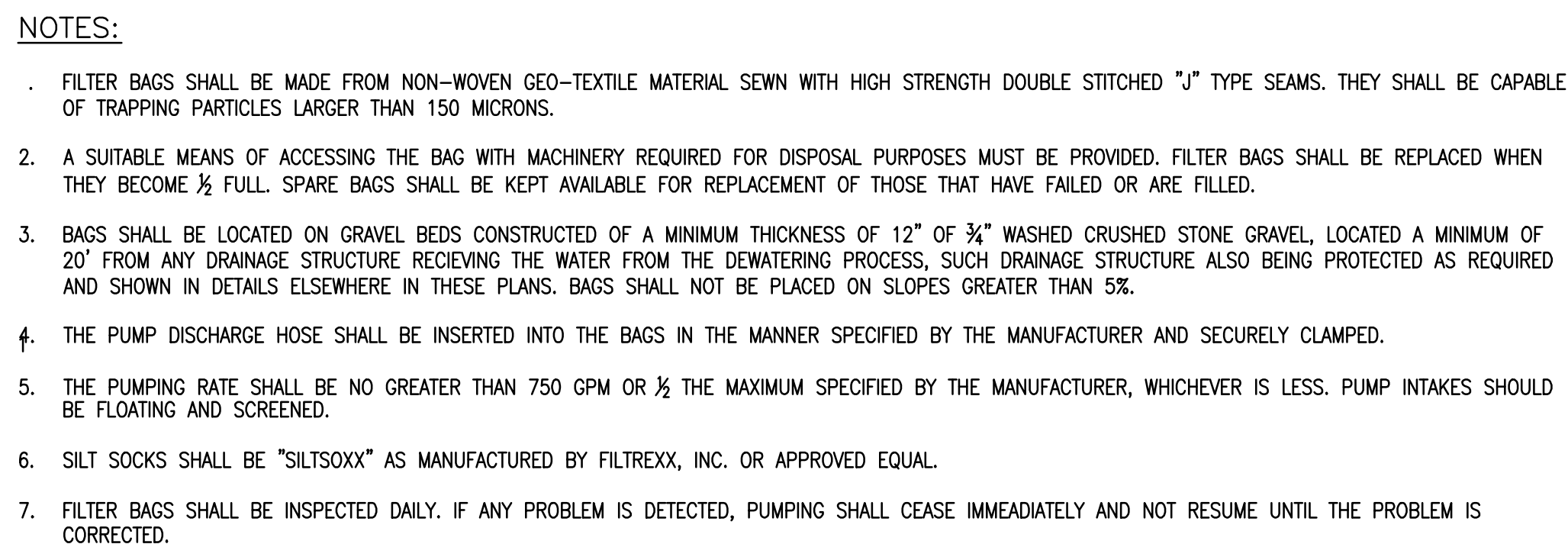
4 PRECAST CONCRETE DRY WELL
NOT TO SCALE



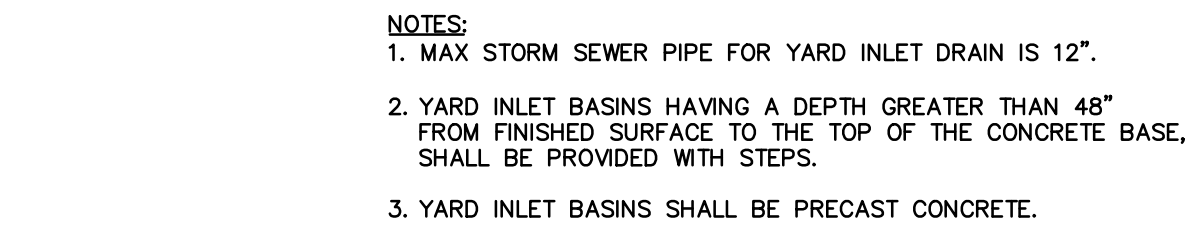
5 SWALE AND PIPE ENTRANCE SEDIMENT PROTECTION DETAIL
NOT TO SCALE



2 CATCH BASIN PROTECTION DETAIL

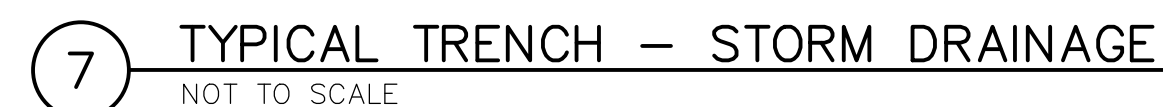


6 DEWATERING – FILTER BAG DETAIL
NOT TO SCALE

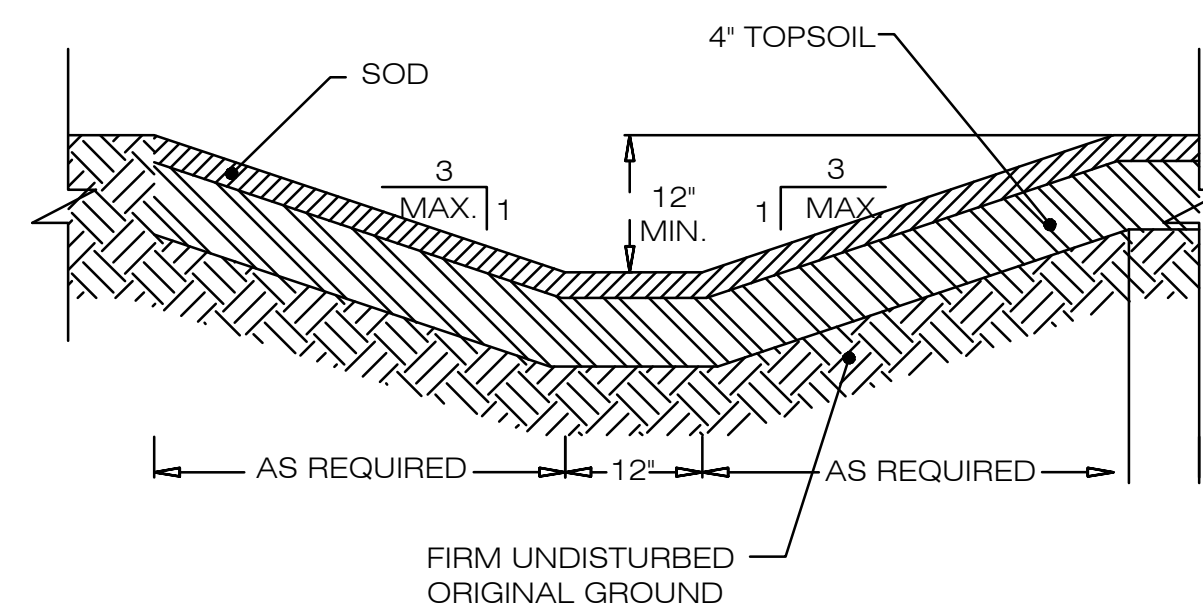


3 YARD INLET BASIN

NOT TO SCALE (SURFACE TREATMENT AND GRATE STYLE DETAIL)



8 TYPICAL SWALE CROSS SECTION
NOT TO SCALE



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TOWN OF WAPPINGER, NEW YORK

<div> <div> EROSION CONTROL DETAILS 2 </div> </div>	DATE:	2/7/2023
	PROJECT NO.	
	2022-20	
	SCALE:	
	1" = 20'	
	DRAWING NO.	S-6.2

EROSION CONTROL