PROPOSED CONTRACTOR STORAGE BUILDING FOR

33 MIDDLEBUSH ROAD LLC

TOWN OF WAPPINGER, DUTCHESS COUNTY, NY





TOWN OF WAPPINGER PLANNING BOARD SITE PLAN APPROVAL WAPPINGERS FALLS, NEW YORK

THE SITE PLAN FOR THE PROPERTY AS DEPICTED HEREON WAS APPROVED BY THE TOWN OF WAPPINGER PLANNING BOARD AT A MEETING HELD ON _______, AND THE CONDITIONS OF THE SITE PLAN APPROVAL HAVE BEEN SATISFIED OR ARRANGEMENTS HAVE BEEN MADE TO ENSURE THE COMPLETION OF ANY OUTSTANDING OR INCOMPLETE CONDITIONS.

CHAIRMAN

OWNER / APPLICANT SIGNATURES

THE UNDERSIGNED APPLICANT(S) FOR THE PROPERTY AND THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON, CERTIFY THAT THEY ARE FAMILIAR WITH THIS MAP, ITS NOTES AND ITS CONTENTS AS STATED HEREON INCLUDING ALL CONDITIONS OF APPROVAL. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN TO KEEP THIS PREMISES AS PER PLAN APPROVAL BY THE TOWN PLANNING BOARD UNTIL A NEW OR REVISED PLAN FOR DEVELOPMENT OR USE OF THE SITE IS APPROVED BY THE PLANNING BOARD. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE TOWN FOR THE OCCUPANCY AS APPROVED HEREON.

OWNER APPLICANT

DATE

TW ENGINEERING, P.C

P.O.BOX 913 WAPPINGER FALLS, NY 12590 845-594-1529

IS A VIOLATION OF NEW YORK STAUCATION LAW FOR ANY PERSON, UNLE I IS ACTING UNDER THE DIRECTION OF

EDUCATION LAW FOR ANY PERSON, UNLE
HE IS ACTING UNDER THE DIRECTION OF
LICENSED PROFESSIONAL ENGINEER,
ALTER THIS DOCUMENT IN ANY WAY. IF T
DOCUMENT IS ALTERED, THE ALTER
ENGINEER SHALL AFFIX TO THE ITEM
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FOLLOWED BY HIS SIGNATURE, THE DATE
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S3 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD
33 MIDDLEBUSH ROAD

DESCRIPTION

2.07.22 PER CONSULTANT COMMENTS

9.06.23 PER CONSULTANT COMMENTS

DATE:

2/7/2023

PROJECT NO.

2022-20

SCALE:

2022-20

SCALE:

N.T.S.

DRAWING NO.

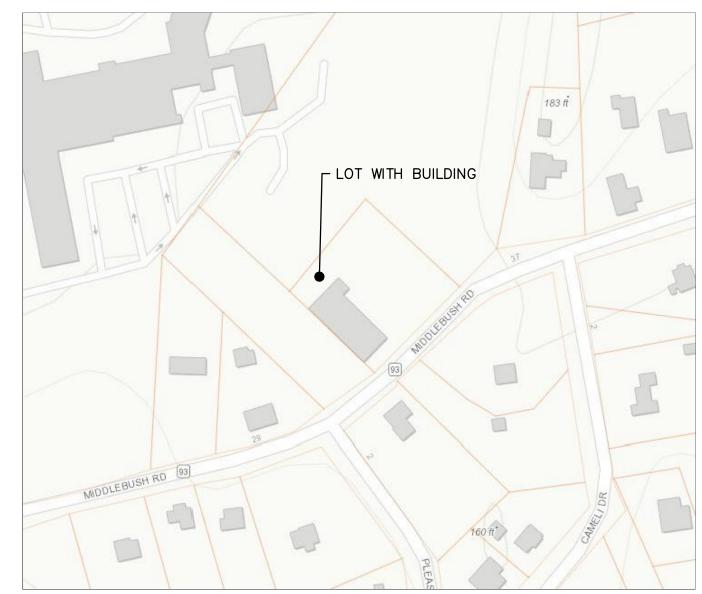
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SCALE: 1" = 50'-0"

MIDDLEBUSHRD

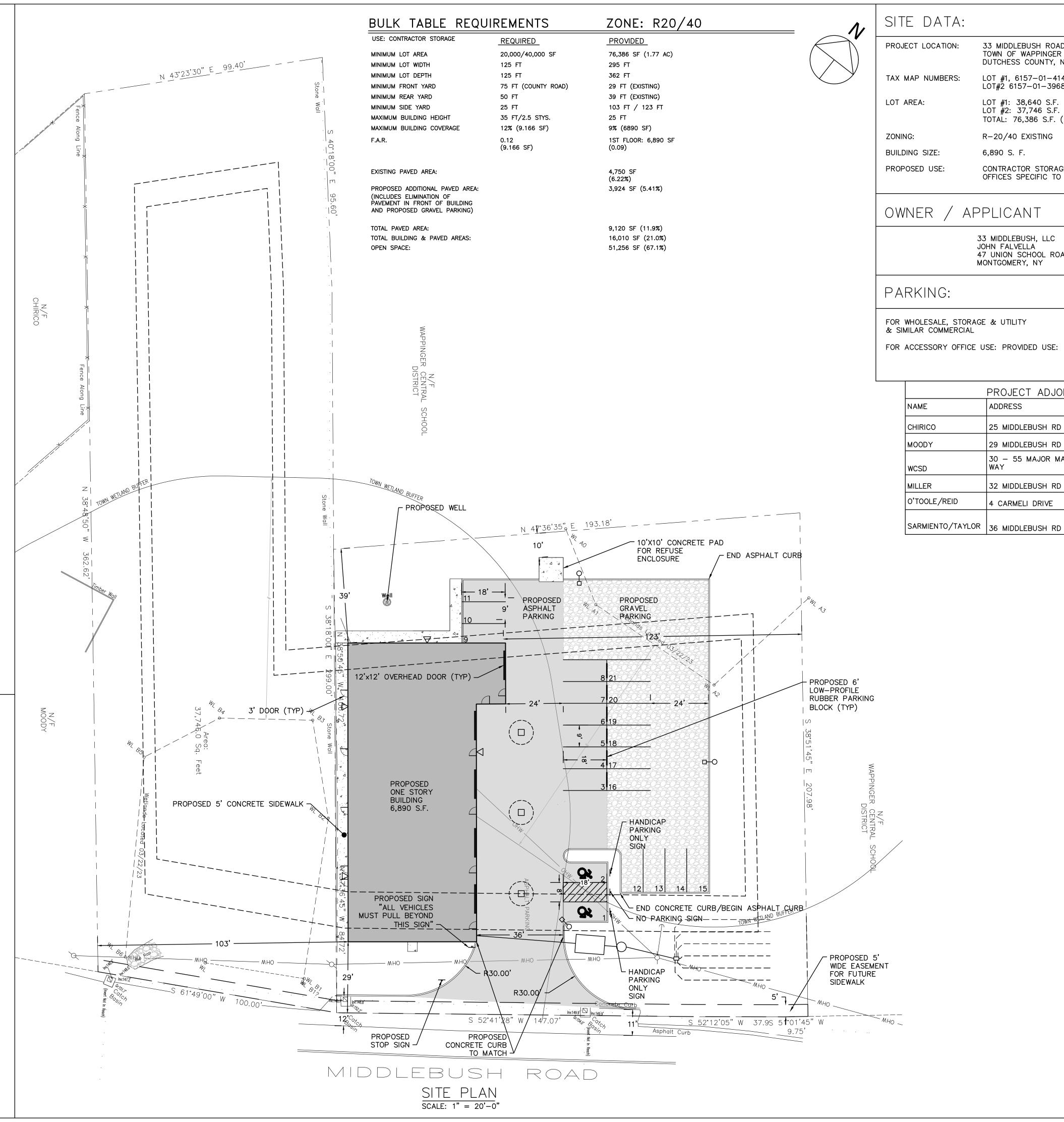
LOCATION MAP:

AREA MAP:



SITE NOTES:

- 1. EXISTING CONDITIONS TAKEN FROM SURVEY AS PREPARED BY ROBERT OICLE, LLS. DATED NOVEMBER 7, 2017, LAST REVISED MARCH 22, 2023. WETLANDS WERE FLAGGED BY MIKE NOWICKI, ECOLOGICAL SOLUTIONS ON MARCH 15, 2023.
- 2. T/O WAPPINGER ZONING BOARD OF APPEALS GRANTED A USE VARIANCE FOR THE PROPERTY AND BUILDING WITH THE FOLLOWING CONDITIONS:
- 2.1. NO COMMERCIAL BUILDING MAY BE CONSTRUCTED ON THE VACANT LOT 6157-01-396837. SUCH LOT MAY BE USED TO CONSTRUCT A SEPTIC SYSTEM. TO PROVIDE STORM WATER FACILITIES DESIGNED IN ACCORDANCE WITH NYS DEC GUIDELINES. IF NECESSARY OR TO PROVIDE LANDSCAPING AND BUFFERING.
- 2.2. ANY CONSTRUCTION ACTIVITIES ON THE PREMISES ARE SUBJECT TO SITE PLAN APPROVAL BY THE T/O WAPPINGER PLANNING BOARD IN ACCORDANCE WITH ARTICLE IX OF THE ZONING CODE. THE PLANNING BOARD MAY WAIVE A PUBLIC HEARING ON THE SITE PLAN REVIEW IF IT CHOOSES TO DO SO.
- 2.3. THE WAREHOUSE SHALL NOT BE PHYSICALLY DIVIDED INTO MORE THAN THREE (3) TENANT SPACES.
- 2.4. THERE SHALL BE NO OUTDOOR STORAGE OF ANY EQUIPMENT OR MATERIALS.
- 2.5. "NOT MORE THAN ONE LIGHT-DUTY COMMERCIALLY REGISTERED VEHICLE AND ONE TRAILER MAY BE PARKED OR STORED OUTDOORS ON ANY RESIDENTIALLY USED OR RESIDENTIALLY ZONED LOT AT ANY TIME. FOR THE PURPOSES OF THIS SECTION, A "LIGHT-DUTY COMMERCIALLY REGISTERED VEHICLE" SHALL EXCLUDE VEHICLES WHICH EXCEED 9,500 POUNDS IN REGISTERED GROSS VEHICLE WEIGHT. THE FOLLOWING EXPRESSLY PROHIBITED EXAMPLES INCLUDE BUT ARE NOT LIMITED TO TRACTORS, TRACTOR-TRAILERS, SEMITRAILERS, ROLLERS, TRACTOR AND TRUCK CRANES, POWER SHOVELS, ROAD BUILDING MACHINES, SNOWPLOWS, ROAD SWEEPERS, SAND SPREADERS, TRAILERS, EXCAVATORS, TANK TRAILERS, TOW TRUCKS AND BUSES, AND ANY OTHER SIMILAR VEHICLE."
- 3. T/O WAPPINGER ZONING BOARD OF APPEALS GRANTED REAR AND FRONT YARD SETBACK VARIANCES AUGUST 2023 FOR THE SETBACKS SHOWN.
- 4. PRIOR TO A CERTIFICATE OF OCCUPANCY ALL DISTURBED AREAS SHALL BE FINAL GRADED, SEEDED/STABILIZED AND MULCHED TO THE SATISFACTION OF THE ZONING ADMINISTRATOR AND TOWN OF WAPPINGER BUILDING DEPARTMENT PROTECTIVE EROSION CONTROL MEASURES MUST BE IN PLACE AT THE ONSET OF CONSTRUCTION.
- 5. ALL TREES SHALL BE REMOVED BETWEEN NOVEMBER 1 AND MARCH 31 UNLESS SITE IS CLEARED TO NOT POSE HABITAT FOR ENDANGERED BATS.



SITE DATA:

PROJECT LOCATION: 33 MIDDLEBUSH ROAD

TOWN OF WAPPINGER DUTCHESS COUNTY, NY

LOT #1, 6157-01-414840 LOT#2 6157-01-396837

LOT #1: 38,640 S.F.

LOT #2: 37,746 S.F. TOTAL: 76,386 S.F. (1.75 ACRES)

R-20/40 EXISTING

6,890 S. F.

CONTRACTOR STORAGE FACILITY WITH ACCESSORY OFFICES SPECIFIC TO THOSE USES

OWNER / APPLICANT

33 MIDDLEBUSH, LLC JOHN FALVELLA 47 UNION SCHOOL ROAD MONTGOMERY, NY

FOR WHOLESALE, STORAGE & UTILITY 1 SP./1,000 S.F. = 7 SPACES

4 CARMELI DRIVE

FOR ACCESSORY OFFICE USE: PROVIDED USE: 1 SP./1,000 S.F. = 0 SPACES

TOTAL REQUIRED. = 7 SPACES TOTAL = 21 SPACES

441815.00

438825.00

PROJECT ADJOINERS ADDRESS TAX ID 25 MIDDLEBUSH RD 384826.00 29 MIDDLEBUSH RD 394824.00 30 - 55 MAJOR MACDONALD 423875.00 32 MIDDLEBUSH RD 426814.00

TW ENGINEERING, P.C. P.O. BOX 913 WAPPINGER FALLS, NY 12590

845-594-1529 TROY A. WOJCIEKOFSKY, P.E., LEED - AF

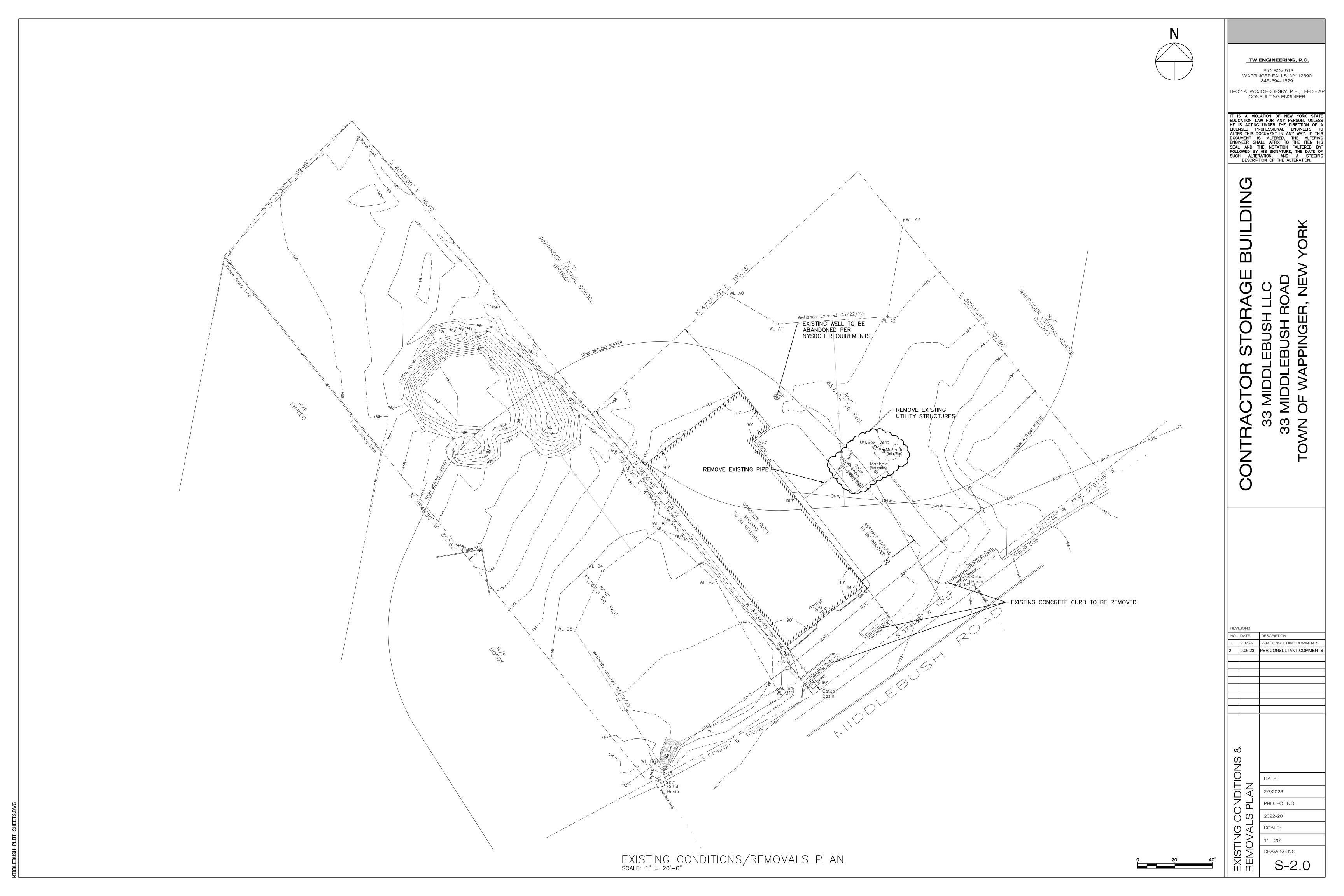
CONSULTING ENGINEER

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D. DATE DESCRIPTION 2.07.22 PER CONSULTANT COMMENTS 9.06.23 PER CONSULTANT COMMENTS

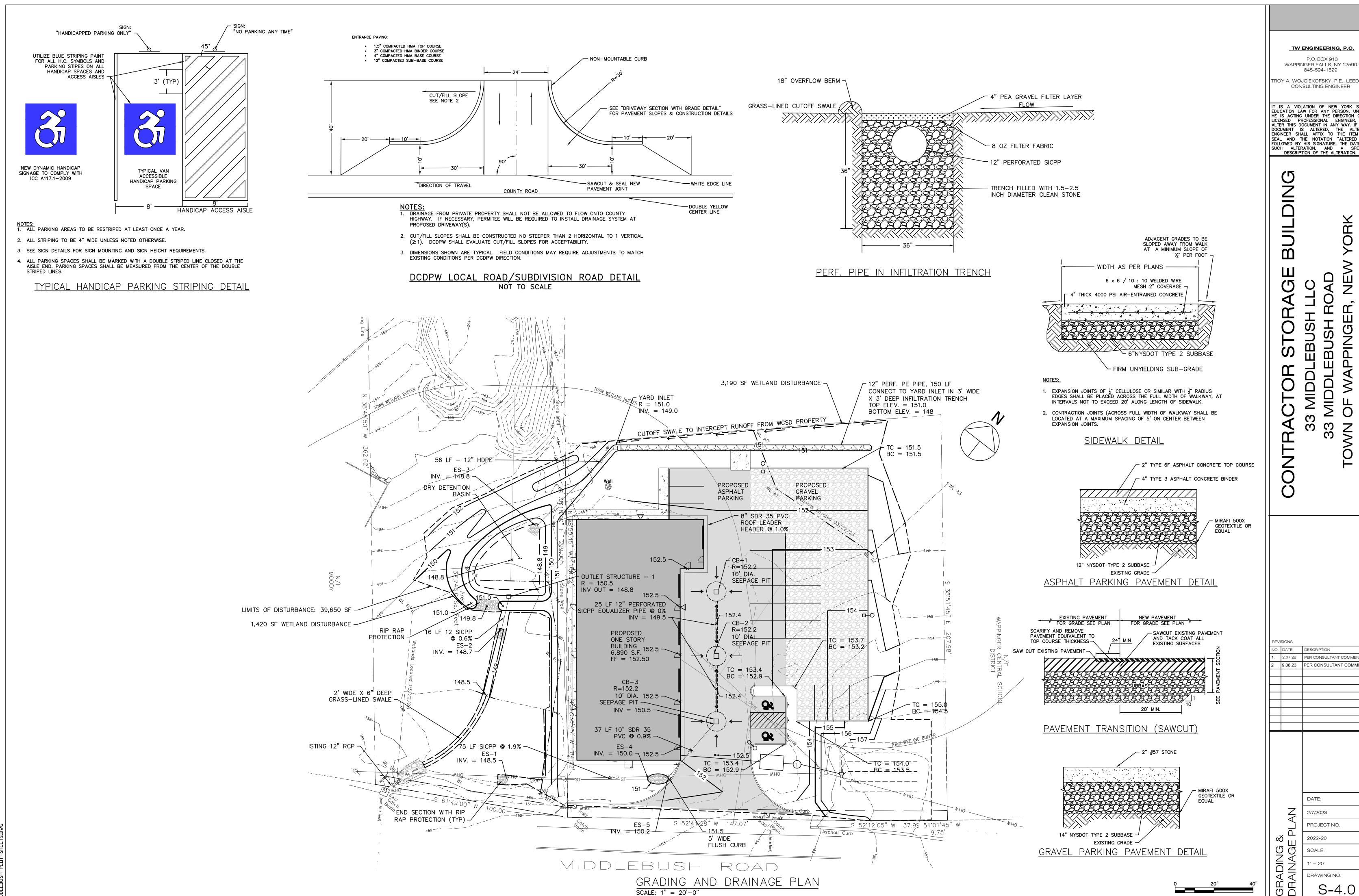
PROJECT NO.

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LANDSCAPING NOTES BASE POST SIGN POST -1. THE WORK OF FURNISHING AND PLANTING TREES, SHRUBS AND VINES AS SHOWN ON THE PLANS AND AS APPROVED BY THE PLANNING BOARD WILL BE LOCKWASHER -ACCOMPLISHED IN ACCORDANCE WITH ACCEPTED, ESTABLISHED HORTICULTURAL N 43°23'30" E 99.40' - - - -SIGN SCHEDULE HEXNUT -PRACTICES. ANY CHANGE IN PLAN TYPE, ETC., OR LOCATION REQUIRES THE TW ENGINEERING, P.C. - INSTALL ONLY NYSDOT WRITTEN APPROVAL OF THE PLANNING BOARD. SPACER -SIZE BCK GRND LEGENE NUMBER APPROVED TRAFFIC P.O. BOX 913 SECTION C-C CONTROL SIGNS WAPPINGER FALLS, NY 12590 - CENTROID OF SIGN 2. PLANTS: COMMON AND SCIENTIFIC NAMES OF PLANTS SHALL BE IN 845-594-1529 ASSEMBLY 12"x24" | BLUE |WHITE CONFORMITY WITH SPN (STANDARDIZED PLANT NAMES). PLANTS INCLUDING ROOT SPREAD AND BALL SIZE SHALL BE IN ACCORDANCE WITH THE CURRENT TROY A. WOJCIEKOFSKY. P.E., LEED - AF CONSULTING ENGINEER EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". MOUNTING 30" NO ARROWS) 12"x18" WHITE ANCHOR BOLTS TO BE 4" APART, 5" TO 3. PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH AND BE TYPICALLY 6" OVERLAP WITH BASE POST AND SIGN T IS A VIOLATION OF NEW YORK STATE CHARACTERISTIC OF THEIR RESPECTIVE KINDS. EDUCATION LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A 30"x30" RED 4. PLANTS SHALL BE FREE FROM INJURY, INSECT DAMAGE, AND DISEASE. ^L ANCHOR BOLT, HEXNUT, BRACKETS FOR ALTER THIS DOCUMENT IN ANY WAY. IF THIS MINIMUM WASHER, SPACER AND 2-3/8" O.D. DOCUMENT IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS 5. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN LONG ENOUGH FOR **EMBEDMENT** ROUND POSTS LOCKWASHER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE OF 12"x18" | WHITE |BLACK CUSTOM DEPTH NEW FIBROUS ROOTS TO HAVE DEVELOPED. SHRUBS AND VINES SHALL HAVE - ANCHOR BACK VIEW GOOD FIBROUS ROOT SYSTEMS. SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. BREAK-AWAY POSTS REQUIRED AT ALL FREE STANDING ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT 6. NO PLANTING WILL BE DONE WHEN THERE ARE UNSATISFACTORY CONDITIONS STANDARD SPECIFICATIONS, SECTION 640 AND THE CODES AND AS DETERMINED BY THE ARCHITECT. REGULATIONS OF THE STATE OF NEW YORK (NYCRR) TITLE TYPICAL SIGN BREAKAWAY DETAIL 17-TRANSPORTATION VOLUME B-CHAPTER V " UNFORM TRAFFIC CONTROL 7. ROCK OR OTHER UNDERGROUND OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH AS DIRECTED BY THE ARCHITECT. 1. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'-0" MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN "NYSCRR, CHAPTER 8. ALL PLANTS SHALL BE PROTECTED FROM DRYING OUT. V-UNIFORM TRAFFIC CONTROL DEVICES". 2. SIGN POSTS SHALL BE IN ACCORDANCE W/NYSDOT STANDARD SPECS. SECTION 730. 9. LOCATIONS OF PLANTINGS SHALL BE MARKED OUT ON THE GROUND BY THE 3. SIGN SUPPORTS SHALL BE BREAKAWAY TYPE. CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT. SINGLE POST SIGN DETAIL 10. ALL PLANTS WILL BE SET IN ACCORDANCE WITH GOOD ESTABLISHED HORTICULTURAL PRACTICE. 11. ALL PLANTS SHALL BE SET PLUMB AT SUCH A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATIONSHIP TO THE LEVEL OF THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. 12. BACKFILL SHALL BE THOROUGHLY SETTLED BY TAMPING. BACKFILL IS TO BE PLACED INTO PLANT PITS IN LAYERS NOT TO EXCEED 4" AND TAMPED. 13. THOROUGH WATERING SHOULD ACCOMPANY BACKFILL UNLESS OTHERWISE PAPER TREE WRAP DIRECTED BY THE ARCHITECT. A SAUCER CAPABLE OF HOLDING WATER TO A DEPTH AS SHOWN ON THE PLANS SHALL BE FORMED ABOUT EACH PLANT PIT. ALL PLANTS SHALL BE WATERED TO PROVIDE NOT LESS THAN FIVE GALLONS TURNBUCKLE Q CEDAR STAKE 2" OF WATER PER SQUARE YARD OF PLANT PIT OR BED AREAS. 14 GAUGE GALWANIZED DEADMAN 14. ALL CLOTH ROPES, ETC., SHALL BE REMOVED FROM THE TOPS OF BALLS, BUT NOT PULLED OUT FROM UNDER THE BALLS. 15. ALL TRUNKS OF DECIDUOUS TREES SHALL BE WRAPPED WITH A MATERIAL AS APPROVED BY THE ARCHITECT IMMEDIATELY AFTER PLANTING. 16. ALL TREES SHALL BE FIRMLY GUYS, STAKED, OR ANCHORED UNLESS COMPACTED SOIL MIX TO 12" ALL OTHERWISE APPROVED. PREVENT SETTLEMENT AROUND AROUND 17. PRUNING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED GOOD HORTICULTURAL PRACTICE AS DIRECTED BY THE ARCHITECT. EVERGREEN TREES 18. MULCHING SHALL COVER THE PLANT PIT OR PLANTING BED TO A DEPTH AS SHRUBS DECIDUOUS TREES SPECIFIED ON THE PLANS. 19. THE AREA DISTURBED BY THE PLANTING OPERATION SHALL BE RESTORED TO PLANTING AND GUYING DETAIL AN ORDERLY CONDITION AS APPROVED BY THE ARCHITECT. 20. ANTI-DESICCANTS SHALL BE APPLIED TO ALL PLANTINGS ACCORDING TO THE MANUFACTURER'S DIRECTIONS. THIS MATERIAL SHALL BE APPLIED TO EVERGREENS WITHIN TWO WEEKS OF PLANTING AND TO DECIDUOUS PLANTINGS PLACED IN THE FALL WHEN AIR TEMPERATURE IS ABOVE 40 DEGREES F OR IN PROPOSED PROPOSED THE SPRING WHEN LEAVES HAVE REACHED 75% OF MATURE SIZE. ASPHALT GRAVEL PARKING PARKING 21. ALL DEAD, UNHEALTHY OR BADLY IMPAIRED PLANTS, AS DETERMINED BY THE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE PROJECT. ∇ 22. IN THE EVENT OF THE THREAT OF SERIOUS DAMAGE FROM INSECTS, DISEASE, OR RODENTS, THE PLANTS WILL BE TREATED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AS APPROVED BY THE ARCHITECT. 23. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED LAWN RESTORATION SCHEDULE & NOTES WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT PERMANENT SEED MIXTURE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS GROWING SEASON. 24. ALL PLANTED AREAS WHERE THREES AND/OR SHRUBS ARE INDICATED, TO HAVE BEDS OF WHITEWASHED STONE OR PINE BARK CHIPS AS NOTED ON NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: 25. ALL REMAINING AND DISTURBED AREAS NOT PAVED OR BEING PLANTED WITH SPRING OR EARLY FALL TREES OR SHRUBS SHALL BE SEEDED AND MULCHED. 1. REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA. AND PREPARE 26. CONTRACTOR TO BE RESPONSIBLE FOR BRINGING TOPSOIL TO SITE AS PROPOSED SOIL BY TILLING TO A DEPTH OF 3" TO 4" NECESSARY FOR PROPER SEEDING AND PLANTING. ONE STORY BUILDING 2. RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. 27. ALL PLANTING SHALL BE GUARANTEED BY CONTRACTOR A MINIMUM OF ONE 6,890 S.F. $(\ \square\)$ AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH YEAR AND BE REPLACED AS NECESSARY. 2.07.22 PER CONSULTANT COMMENTS CONTOURS TO PREVENT MOISTURE RUN-OFF. 9.06.23 PER CONSULTANT COMMENTS 28. FERTILIZE AND/OR FEED ALL PLANTINGS AS RECOMMENDED. FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT THE RATE OF 6 LBS. PER 1,000 SQ. FT. FERTILIZER SHALL BE A COMMERCIAL 5-10-10 29. AFTER SEEDING GERMINATES, CONTRACTOR TO BE RESPONSIBLE FOR RAKING, MULCHING, RE-SEEDING AS NECESSARY AND CUTTING AND MAINTAINING LAWN FOR A PERIOD OF ONE MONTH AFTER GERMINATION AND TO ARCHITECT'S 4. AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SATISFACTION. SETTLE. 30. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER (□≝) AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE (3) CI OR MECHANICAL SEEDER. (AS APPROPRIATE FOR SIZE OF AREA) AT A PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE RATE OF 5 LBS. OF SEED MIXTURE PER 1,000 SQ.FT. DO NOT OVER-SEED, 9 REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEW CONIFEROUS TREESAND BUFF OR OVER CROWDING OFTHE SEEDLING MAY OCCUR, AND HAMPER PROPER NEXT GROWING SEASON ALONG DRIVEWAY POR LAWN GROWTH. TO BE PLANTED A MINIMUM OF 6'-0" FROM THE EDGE OF 6. LIGHTLY COVER SEEDED AREA WITH 1/4" TO 3/4" OF SOIL. (ROLLING OF *** PAVEMENT SEEDBED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH MULCH OR HAY OR STRAW AT A RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F. 7. SEEDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 LBS. (APPROX. 2 BALES PER 1,000 S.F. TO HELP LANDSCAPING SCHEDULE MAINTAIN SOIL MOISTURE LEVEL. 2/7/2023 MARK QUANTITY BOTANICAL NAME COMMON NAME SIZE $^-$ 8. LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE \mid \mid S 52°41'28" W 14¹7.07' PROJECT NO. $2\frac{1}{2}$ "-3" CAL <u>S 52</u>°12'05" W 37.9S 51°01'45" W ACER RUBRUM BUXUS RED MAPLE NOT TO SATURATE. Ar SEMPERVIRENS DWARF ENGLISH BOXWOOD 1 GAL 9. NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2" - 2 1/2" CUPRESSUS LEYLANDI LEYLAND CYPRUS 6'HT CI 6 Pa PICEA ABIES PYRUS NORWAY SPRUCE 6'HT 10. PRACTICE REGULAR MAINTENANCE AND WATER REGULARLY AS CONDITIONS MIDDLEBUSH ROAD 1" = 20' $2\frac{1}{2}$ "-3" CAL Pcb CALLERVANA PINUS BRADFORD PEAR DRAWING NO. LANDSCAPING & SIGNAGE PLAN STROBUS THUJA WHITE PINE Ps 6'HT 6 S-3.0 OCCIDENTALIS EMERALD GREEN ARBORVITAE То 6'HT SCALE: 1" = 20'-0"

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TW ENGINEERING, P.C.

TROY A. WOJCIEKOFSKY, P.E., LEED - AF CONSULTING ENGINEER

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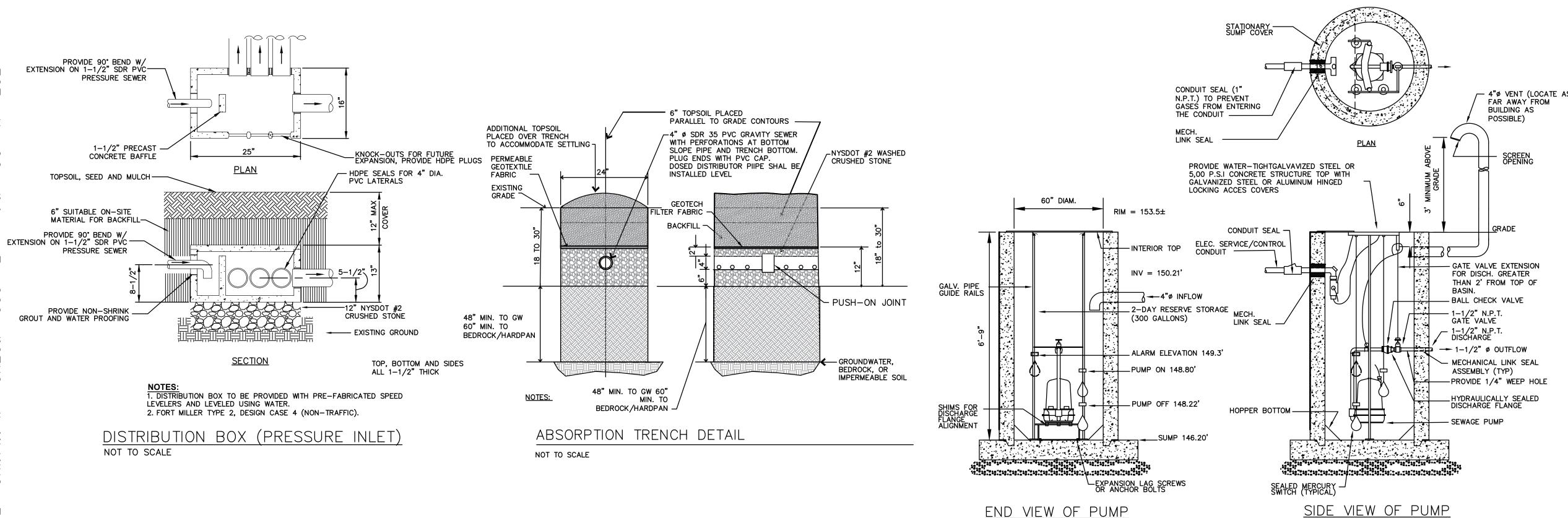
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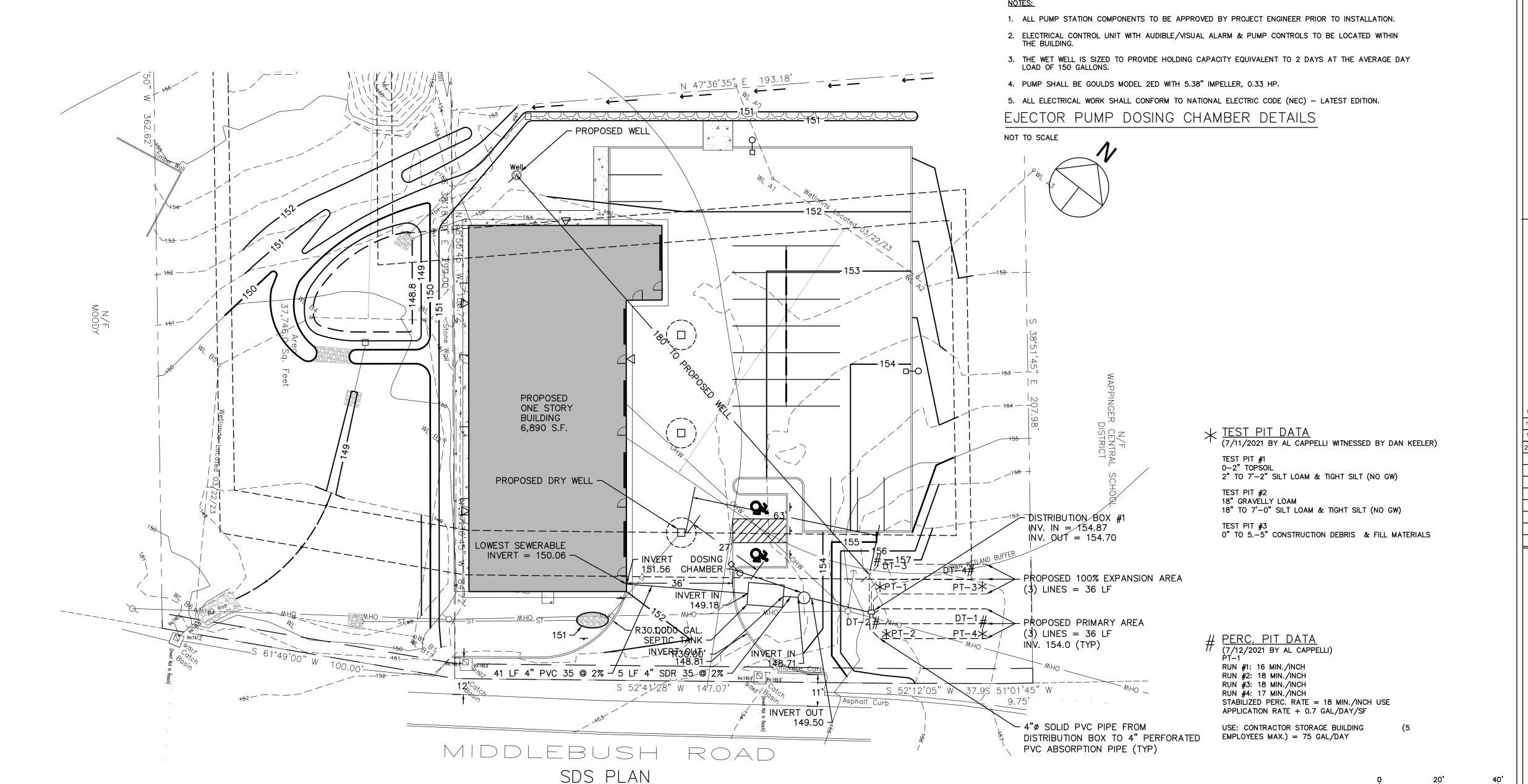
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DRAWING NO. S-4.0

STANDARD NOTES FOR COMMERCIAL PROJECTS (ONSITE WATER SOURCE AND SEWAGE DISPOSAL) W/NO PWS

- 1. THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
- 2. "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDEC
- 3. APPENDIX 75-A, WASTE TREATMENT INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE. "RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (TEN STATES)."
- 4. "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."
- 5. "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."
- 6. "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."
- 7. THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES.
- 8. UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC EHSD BY THE NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC EHSD.
- 9. APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OF ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
- 10. ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM EXISTING OR APPROVED WITHIN 300 FEET OF THE PROPOSED WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.
- 11. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHSD FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.
- 12. ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.
- 13. NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM OR WITHIN 50 FEET OF ANY WELL.
- 14. ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.
- 15. THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE ONSITE WASTEWATER TREATMENT SYSTEM. PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED AND FENCED
- 16. ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.
- 17. THE DC EHSD SHALL BE NOTIFIED PRIOR TO THE BACKFILLING OF ANY COMPLETED ONSITE WASTEWATER TREATMENT SYSTEM SO THAT A FINAL INSPECTION MAY BE PERFORMED.
- 18. THE DC EHSD SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE-APPROVAL BY THE DC EHSD.
- 19. ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
- 20. THE UNDERSIGNED OWNERS OF THE PROPERTY HERON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HERON.
- 21. ONSITE WASTEWATER TREATMENT SYSTEM IS DESIGNED FOR SANITARY SEWAGE ONLY. NO WASTES FROM RESTAURANTS, TAVERNS, DINERS, PIZZERIAS, FOOD SERVICE ESTABLISHMENTS, BAKERIES, DOCTOR'S OFFICES, DENTISTS, HAIR DRESSERS, SALONS, BEAUTY PARLORS, DRY CLEANERS, LAUNDROMATS, LAUNDRIES, PHOTOFINISHERS, METAL PLATERS, OR ANY OTHER PROCESS WASTES ARE ALLOWED.





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TW ENGINEERING, P.C. P.O. BOX 913

WAPPINGER FALLS, NY 12590 845-594-1529 ROY A. WOJCIEKOFSKY, P.E., LEED - AF CONSULTING ENGINEER

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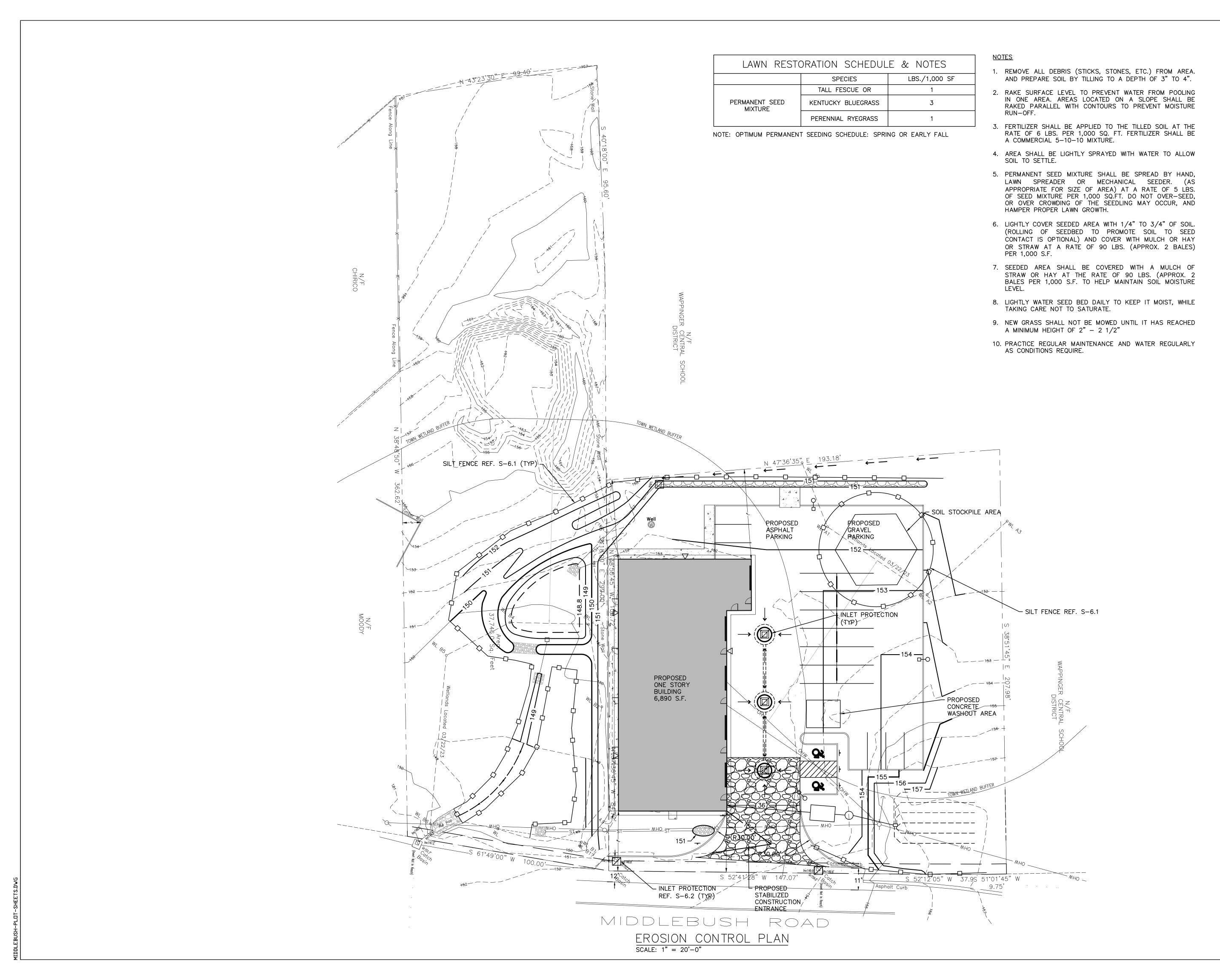
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1" = 20' DRAWING NO. S-5.0





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P.O. BOX 913 WAPPINGER FALLS, NY 12590 845-594-1529

TROY A. WOJCIEKOFSKY, P.E., LEED - AP CONSULTING ENGINEER

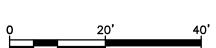
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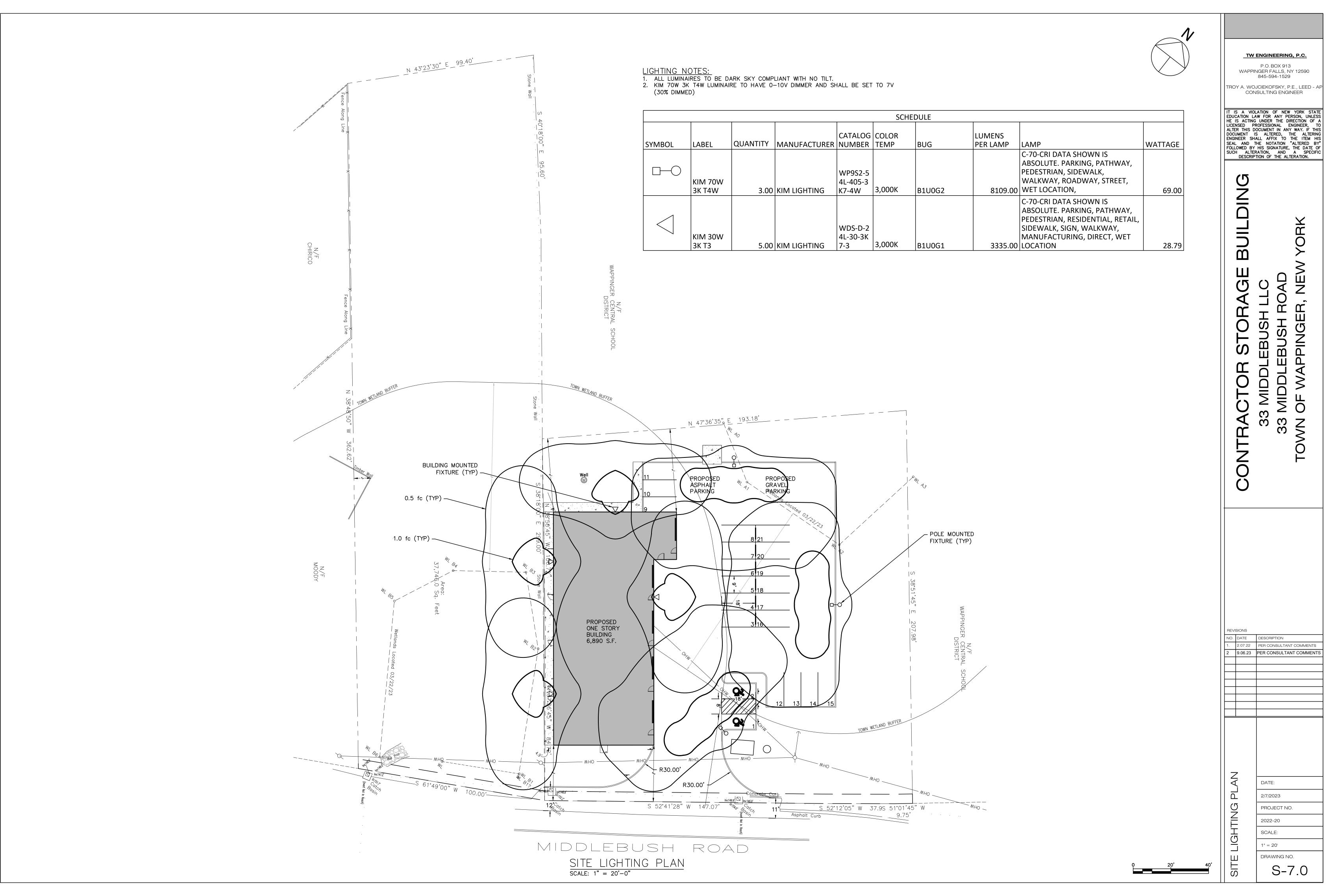
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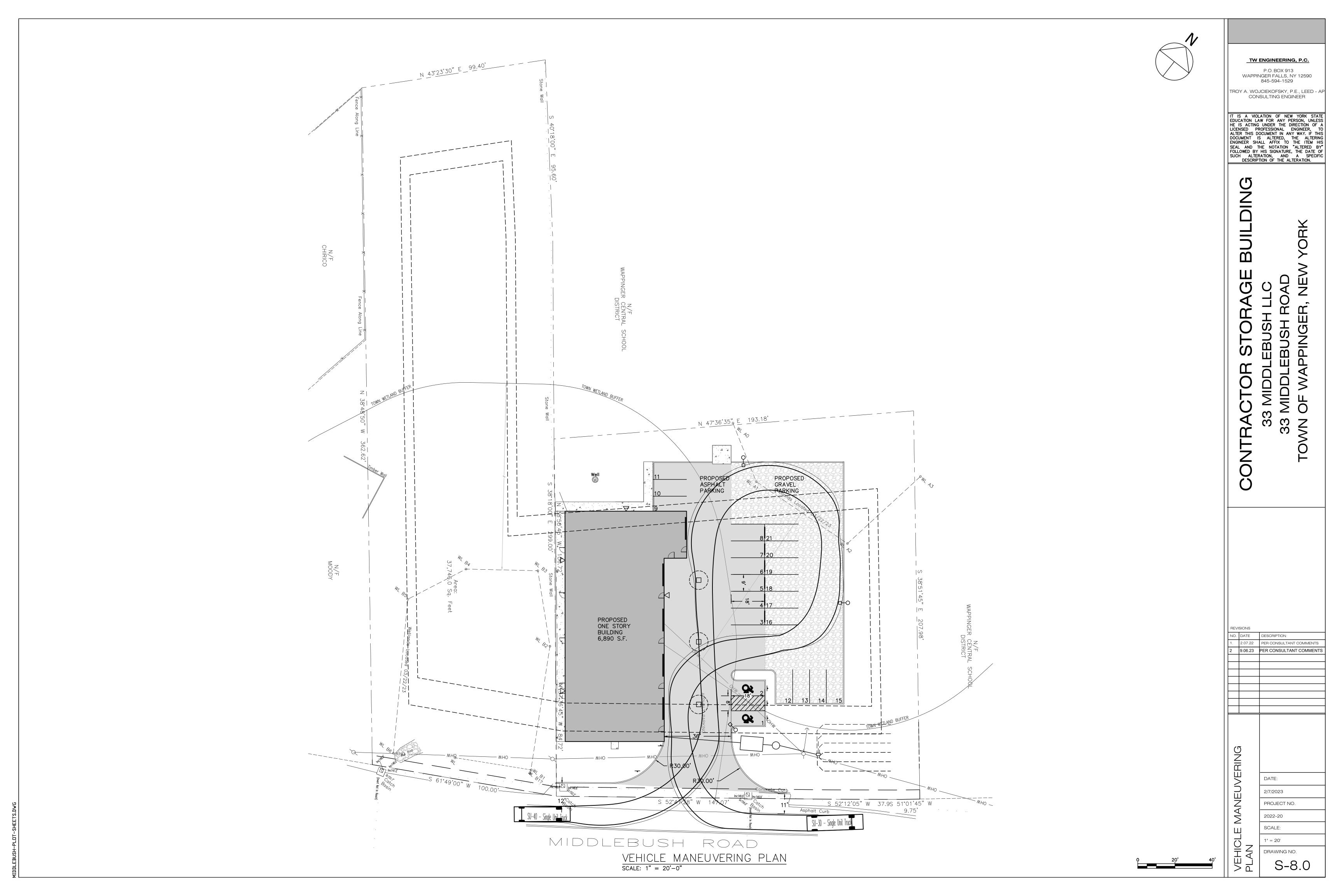
PROJECT NO.

DRAWING NO. S-6.0





9.06.23 PER CONSULTANT COMMENTS

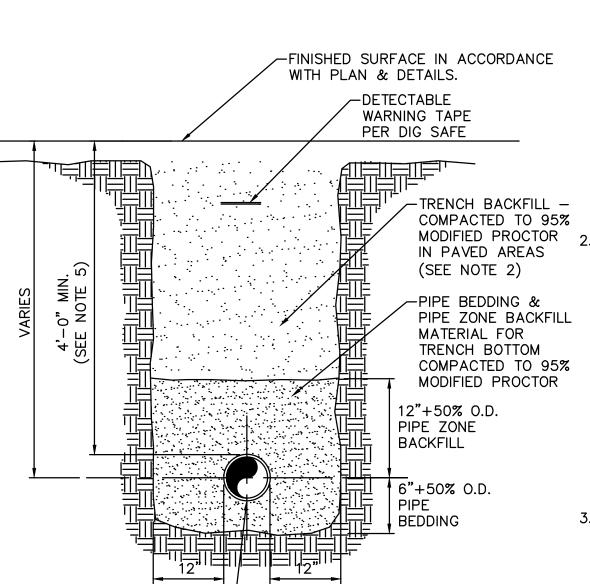


NOTES:

1. IF 18" VERTICAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:

- A. CONSTRUCT SEWER OF PVC PRESSURE PIPE MATERIAL 10' ON EACH SIDE OF THE WATER MAIN/SEWER.
- B. ENCASE SEWER PIPE IN CONCRETE, 4' DISTANCE ON EACH SIDE OF WATER MAIN/SEWER CROSSING. CONCRETE ENCASEMENT SHALL BE MINIMUM 6" ALL AROUND PROPOSED SEWER PIPE.
- 1. IF 10' HORIZONTAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS. THE CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
- A. THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THE 10' HORIZONTAL SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM THE SEWER AS POSSIBLE (REFER TO THE WATER LINE OFFSET DETAIL ON SHEET C-530).
- B. BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CAST IRON PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS, OR ENCASED IN CONCRETE IN ACCORDANCE WITH THE NYS HEALTH DEPARTMENT REQUIREMENTS.

WATER/SEWER SEPARATION REQUIREMENTS NOT TO SCALE



NOTES:

1. PIPE BEDDING & PIPE ZONE BACKFILL
SHALL BE A NATURAL RUN-OF-BANK
(R.O.B.) SAND OR A MIXTURE OF CRUSHED
STONE AND GRAVEL, FREE OF SOFT,
NONDURABLE PARTICLES, ORGANIC
MATERIALS AND ELONGATED PARTICLES,
AND SHALL BE WELL GRADED FROM FINE TO
COARSE PARTICLES. BEDDING GRADATIONS
SHALL BE APPROVED BY THE ENGINEER
AND SHALL MEET THE FOLLOWING
GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NÓ. 40	0-70%
NO. 200	0-10%

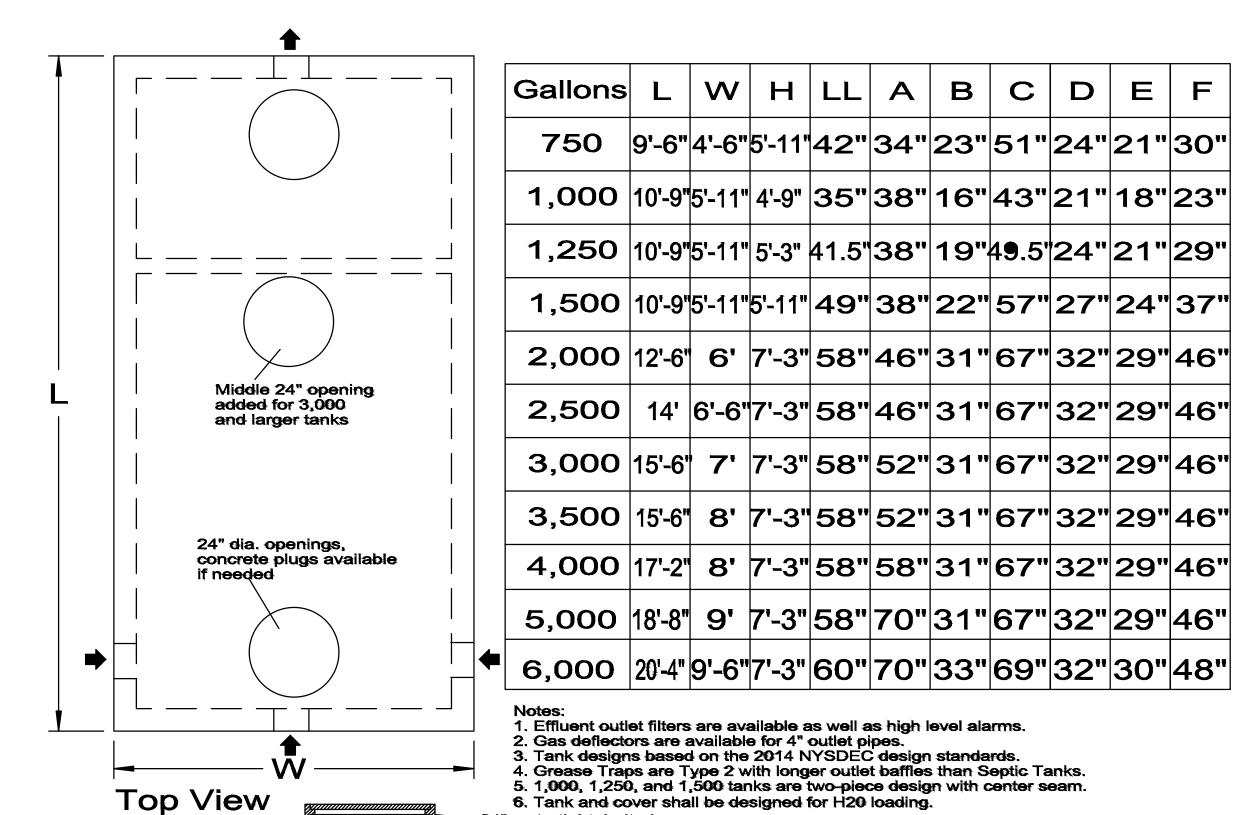
MODIFIED PROCTOR
IN PAVED AREAS
(SEE NOTE 2)

-PIPE BEDDING &
PIPE ZONE BACKFILL
MATERIAL FOR
TRENCH BOTTOM
COMPACTED TO 95%
MODIFIED PROCTOR

2. TRENCH BACKFILL SHALL BE A NATURAL
RUN-OF-BANK (R.O.B.) OR PROCESSED
GRAVEL, OR EXCAVATED MATERIAL FREE OF
SOFT, NONDURABLE PARTICLES, ORGANIC
MATERIALS AND ELONGATED PARTICLES,
AND SHALL BE WELL GRADED FROM FINE TO
COARSE PARTICLES. TRENCH BACKFILL
GRADATIONS SHALL BE APPROVED BY THE
ENGINEER AND SHALL MEET THE FOLLOWING
GRADATION REQUIREMENTS:

IEVE DESIGNATION	% PASSING
2"	100%
<i>1</i> /4"	30-65%
NO. 40	5-40%
NO. 200	0-15%

- 3. INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
- 4. TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.
- 5. SEE THE SHALLOW SANITARY TRENCH DETAIL FOR WHEN COVER IS LESS THAN 4'-0".



6. Tank and cover shall be designed for H20 loading. -24" watertight, bolted cast iron frame & cover over all roof openings 4" Pipe connections are standard; -24" ID Risers as needed larger openings available on request 8" (9" for 3,000 & up) 🕴 🔯 🛭 Outlet **PVC Tee Baffles** E=Septic B 4"x24" slot on inlet & outlet F=Grease by others. *5-1/2" for 1,000, Joint on 3000 & larger 1,250 & 1,500 tanks walls Side View Minimum 4" layer of leveled #2 stone, pea gravel or sand

CLASS "B" CONCRETE

SQUARE

SQUARE

FLOOR BOX FRAME AND LID,
OR EQUAL W/ S.S. CAP SCREW
LID CLOSURE.

GRASS

CLEAN—OUT W/
SCREW—IN PLUG

WYE

45° ELBOW

NOTES:

1. SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034

SDR-35.

2. TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

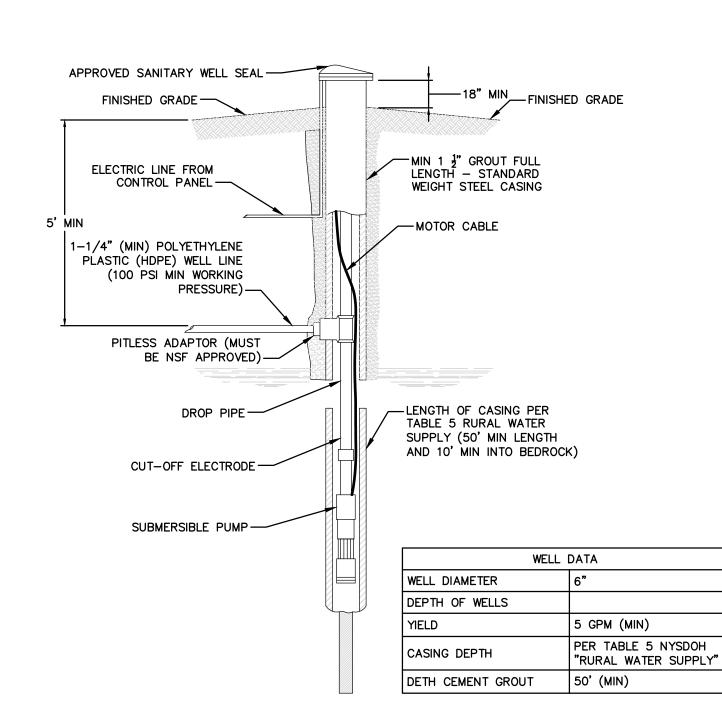
4

CLEAN OUT DETAIL

1000 GALLON SEPTIC TANK

NOT TO SCALE

NOT TO SCALE



NOTES:

1. SUBMERSIBLE PUMP AND PRE—CHARGED HYDROPNEUMATIC TANK SHALL BE PROVIDED. PRESSURE TANK DRAW DOWN SHALL NOT BE LESS THAN 20 GALLONS FOR A PRESSURE RANGE OF 30 TO 50 PSI. PUMP DISCHARGE CAPACITY SHALL NOT EXCEED THE DEPENDABLE YIELD OF THE WELL AT THE HIGH END OF THE PRESSURE

- 2. THE DRILLED WELL SHALL BE COMPLETED WITH A DEPENDABLE YIELD OF NOT LESS THAN 5 GPM. PROVIDE WATER TREATMENT AS REQUIRED.
- 3. UPON COMPLETION OF CONSTRUCTION, DISINFECT WITH CHLORINE SOLUTION IN ACCORDANCE WITH NYS HEALTH
- DEPARTMENT SPECIFICATIONS.
 L CASING TO BE 50' MINIMUM LENGTH AND 10' MINIMUM INTO BEDROCK
- 4. CASING TO BE 50' MINIMUM LENGTH AND 10' MINIMUM INTO BEDROCK.
 5. THE WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 5 OF THE RURAL WATER SUPPLY HANDBOOK —
- NYS DEPARTMENT OF HEALTH REVISED 1995.

 6. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPENDIX 5—B OF PUBLIC HEALTH LAW 206 (18).

5 TYPICAL DRILLED WELL IN ROCK NOT TO SCALE

ONTRACTOR STORAGE B
33 MIDDLEBUSH LLC
33 MIDDLEBUSH ROAD

TW ENGINEERING, P.C.

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YORK

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REVISIONS

NO. DATE DESCRIPTION

1. 2.07.22 PER CONSULTANT COMMENTS

2 9.06.23 PER CONSULTANT COMMENTS

DATE:

2/7/2023

PROJECT NO.

2022-20

PROJECT NO.

2022-20

SCALE:

1" = 20'

DRAWING NO.

S-5.

SEWER PIPE TRENCH

NOT TO SCALE

SIZE VARIES. SEE PLAN-

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OR HARDWOOD. 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND

MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING. 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE 5. MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET

-10 MIL PLASTIC

WOOD OR METAL

STAKE (2 PER BALE).

SECTION

10' MIN

CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF

THE TEMPORARY CONCRETE WASHOUT FACILITY.

ANY DAMAGE SHALL BE REPAIR PROMPTLY.

2. REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF

3. CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE

4. LINERS, HAYBALES, ET.C SHALL BE INSPECTED FOR DAMAGE.

BINDING

-HAY BALE

-STAKE (TYP)

WIRE (TYP)

6. SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION. 7. SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER. 8. MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE: SLOPE STEEPNESS MAXIMUM SLOPE LENGTH(FT)

5:1 OR FLATTER

T FENCE INSTALLATION

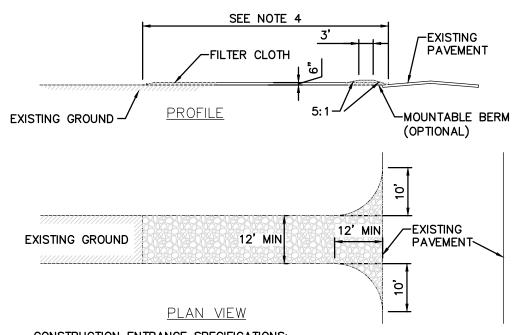
"U" STAPLES

(2 PER BALE)-

NATIVE MATERIAL

LINING —

(OPTIONAL)-



CONSTRUCTION ENTRANCE SPECIFICATIONS: 1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE

2. THICKNESS - NOT LESS THAN SIX (6) INCHES.

3. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET (24) FOOT IF SINGLE ENTRANCE TO SITE.

4. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).

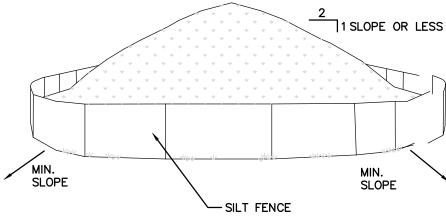
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF

6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED. WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.

2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V: 2H.

3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

5. HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

EMPORARY SOIL STOCKPILE

STABILIZED CONSTRUCTION ENTRANCE

E&S CONTROL NOTES:

- 1. THE OPERATOR (SITE CONTRACTOR) SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- 2. CONSTRUCTION VEHICLES AND EQUIPMENT ENTERING AND EXITING THE SITE MUST ENTER AND EXIT AT THE STABILIZED CONSTRUCTION ENTRANCE ONLY MEASURES MUST BE TAKEN TO PREVENT SOIL AND SEDIMENT FROM A VEHICLE'S TIRES FROM BEING DEPOSITED ONTO PUBLIC ROADS.
- 3. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTION OF ALL BEST PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE TOWN OF HYDE PARK COMPLETE WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING, AND RE-STABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- 4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- 5. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE TOWN OF WAPPINGER.
- 6. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED. AND APPROVED BY THE TOWN OF WAPPINGER. AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- 7. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- 8. EROSION AND SEDIMENT BMPS (BEST MANAGEMENT PRACTICES) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS.
- 9. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- 10. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK. INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 11. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- 12. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

BMPS - AFTER DISTURBANCE

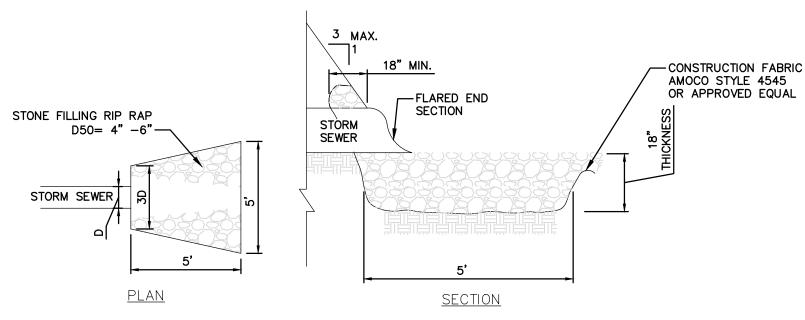
- 1. WITHIN FOURTEEN (14) DAYS OF DISTURBANCE, WHEN FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPS MUST BE STABILIZED IMMEDIATELY.
- 2. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

	PERMANENT	STABILIZATION SE	ED MIXTURE
		SPECIES	
		TALL FESCUE OR	44
	PERMANENT SEED MIXTURE	KENTUCKY BLUEGRASS	130
		PERENNIAL RYEGRASS	44

PERMANENT SEEDING SCHEDULE:

TOPSOIL SHALL BE SPREAD TO A COMAPACTED UNIFORM THICKNESS OF 4". TOPSOIL SURFACE SEHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.

3. FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SF



RIP-RAP OUTLET PROTECTION DETAIL

TYPICAL SLAB SECTION PER 1-FT. MIN CLEARANCE <u>Plan</u> TIE BEAM WITH 1-#5 BAR CONTINUOÜS-MIN CLEARANCE — DROP PIN GRADE GRADE

2-#5 REBAR (TYP)-

-6" CLASS A CONCRETE 8" NYSDOT TYP 2 SUBBASE NOTE: 1. TOP OF SLAB TO BE FLUSH WITH PAVEMENT BOLLARDS CONC FILLED (TYP) -6" CONC SLAB -SWING GATE (TYP) -DROP PIN HOLE (TYP) —SWING GATE (TYP) `—1-#5 AT 4' CENTER -8" CMU WALL W/ BLOCK TO MATCH BUILDING -8" COMPACTED NYSDOT TYPE 2 SUBBASE 8"x16" CONC FOOTING WITH 4000 PSI CLASS A CONC SLAB WITH

DUMPSTER ENCLOSURE NOTES: 1.) WALLS

USED IN THE CONSTRUCTION OF AND ARCHITECTURAL SPECIFIED IN UBC, SECTION 2404 (F), DURING GROUTED STYLE OF THE PRINCIPAL BUILDING.

8"X16" CONCRETE W/2-#5 CONTINUOUS REBAR IMBEDDED.

3.) CONCRETE SLAB MONOLITHIC, MIN. 6" THICKNESS W/IMBEDDED 6"X6"/10X10 WELDED WIRE FABRIC (W.W.F.), 3000 P.S.I. WITH FIBER MESH REINFORCING.

4.) CONCRETE FILLED CELLS WITH 1-#5 VERTICAL REBAR TIED TO FOOTER STEEL TRUSS TYPE DUR-O-WALL (OR EQUIVALENT) AT 16° O.C.. AT EACH CORNER AND EVERY 4' O.C.

5.) GATES CONSTRUCTED OF MIN. 1-1/2" DIAMETER GALVANIZED TUBULAR STEEL W/PRIVACY-TYPE SLATS INSERTED IN GALVANIZED STEEL MESH FABRIC, HINGE-MOUNTED ON 5. MORTAR SHALL BE TYPE M OR S, IN ACCORDANCE WITH MIN. 3" DIAMETER GALVANIZED STEEL POST. (GATES ASTM C-270. PLACE ALL MASONRY IN RUNNING BOND WITH MIN. 3" DIAMETER GALVANIZED STEEL POST. (GATES AND POST CONSTRUCTED AND INSTALLED PER APPLICABLE BUILDING CODE BY LICENSED FENCE CONTRACTOR).

6.) DROP PIN 1/2" DIA. 18" LONG METAL ROD GATE LATCH. PROVIDE 3/4" DIA. HOLE 6" INTO CONCRETE FOR RODS. IN ASPHALT PROVIDE A 3/4" P.V.C. SLEEVE, 6" LONG, OR

SOIL BEARING CAPACITY TO BE AT LEAST 2,500 P.S.F.

8.) BOLLARD 3'-6" HIGH, 6" DIAMETER STEEL PIPE BOLLARD FILLED WITH CONCRETE, PAINTED TRAFFIC YELLOW, IMBEDDED 3'-0" DEEP IN 18" CONCRETE FOUNDATION. (SEE

CONCRETE MASONRY WALL CONSTRUCTION
MATERIALS, CONSTRUCTION AND QUANTITY CONTROL OF A.) NEW CONSTRUCTION: MAXIMUM 6'-0' HIGH AND MASONRY SHALL BE IN ACCORDANCE WITH UNIFORM BUILDING CONSTRUCTED OF CONCRETE BLOCK (8"X8"X16"). CODE (UBC), CHAPTER 24. GENERAL CONDITIONS AND MATERIALS USED SHOULD BE CONSISTENT WITH THOSE CONSTRUCTION REQUIREMENTS SHALL BE APPLIED AS

MASONRY WORK.

1. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60. VERTICAL REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL, AND SHALL BE HELD IN POSITION AT

2. IF A SLAB DOWEL DOES NOT LINE-UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICALS (1:6). 3. HORIZONTAL WALL REINFORCEMENT SHALL BE STANDARD

4. HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C-90, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI.

3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING, HORIZONTAL AND VERTICAL. 6. COARSE GROUT SHALL CONFORM TO ASTM C-476, WITH A MAXIMUM AGGREGATE SIZE OF 3/8", 8" TO 10" SLUMP, AND A MINIMUM COMPRESSIVE STRENGTH OF 2.500 PSI AT

MINIMUM 3" X 3" CLEAN-OUT HOLES (SAW-CUT) ARE REQUIRED AT THE BOTTOM COURSE OF ALL CELLS TO VERIFY GROUT PLACEMENT. CLEAN-OUTS SHALL BE SEALED AFTER MASONRY INSPECTION-PROVIDED IN ACCORDANCE WITH ACI 531-4.6, AND BEFORE GROUTING.

8. PRIOR TO GROUTING, THE GROUT SPACE SHALL BE CLEAN, WITH NO MORTAR PROJECTIONS GREATER THE 1/2", MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. ALL CELLS SHALL BE IN VERTICAL ALIGNMENT, AND SHALL SOLIDLY BE FILLED WITH COARSE GROUT AS SPECIFIED.

9. DURING PLACING, GROUT SHALL BE CONSOLIDATED WITH FLEXIBLE CABLE VIBRATOR. FIRST GROUT POUR SHALL BE STOPPED A MINIMUM OF 1 - 1/2" BELOW THE TOP OF THE MIDDLE BOND BEAM MASONRY.

STRUCTURE.

TWO-THIRDS FULL.

DUMPSTER ENCLOSURE WITH CONCRETE PAD

ELEVATION

FIBER MESH REINFORCING - MONOLITHIC,

MIN 6" THICKNESS, 6"x6"/10"x10" W.W.F.

845-594-1529

TROY A. WOJCIEKOFSKY, P.E., LEED - AF CONSULTING ENGINEER

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DATE DESCRIPTION

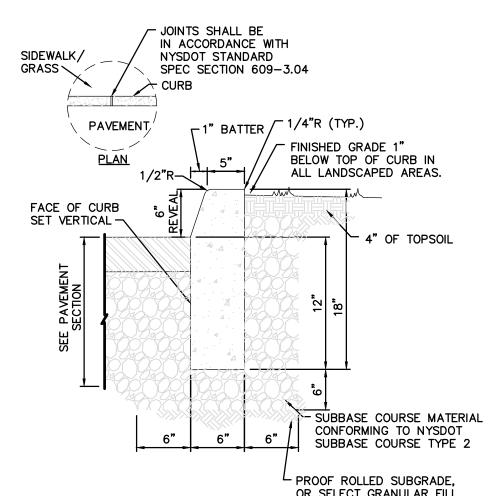
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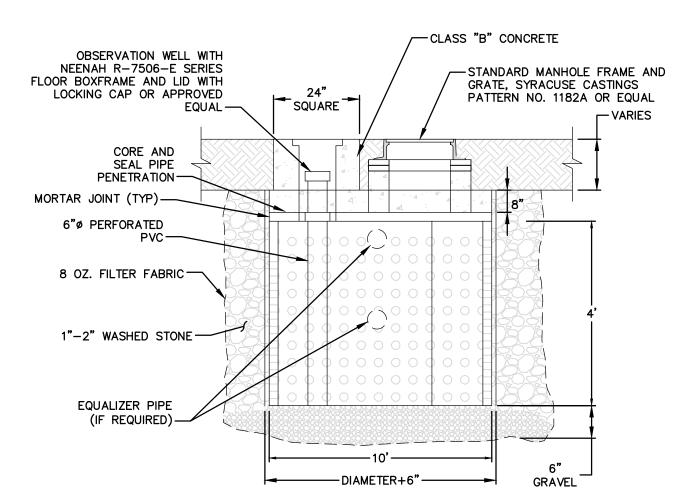


OR SELECT GRANULAR FILL NOTES:

1. CONCRETE CURB SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.

2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

SITE CAST IN PLACE CONCRETE CURB



1. DRY WELLS SHALL BE PROVIDED WITH STEPS (SEE STEP DETAIL). STEPS SHALL BE SPACED AT 12" O.C.

- 2. DRY WELLS SHALL BE MAINTAINED AS NECESSARY.
- 3. EQUALIZATION PIPES (IF REQUIRED FOR MULTIPLE DRY WELL UNITS) SHALL BE SET AT MID AND TOP OF STRUCTURE AND PITCH TO ADJACENT DRY

-SECURE SILT SOCK WITH

TO A MINIMUM DEPTH OF

OAK STAKES OR 1/2"

STEEL BAR, EMBEDDED

- 4. OBSERVATION WELL SHALL BE 6" SDR 35 AND SHALL BE PERFORATED WITHIN DRY WELL INTERIOR.
- 5. YARD DRAINS FOR ROOF LEADERS CONNECTION SHALL HAVE SOLID LIDS.
- 6. ROOF LEADER DRAIN PIPES AND UNDERDRAIN PIPES SHALL BE PITCHED AWAY FROM BUILDINGS AT A MINIMUM 1.0% SLOPE.

PRECAST CONCRETE DRY WELL

'SILT SOXX' SEDIMENT FILTER. FOR SWALES -

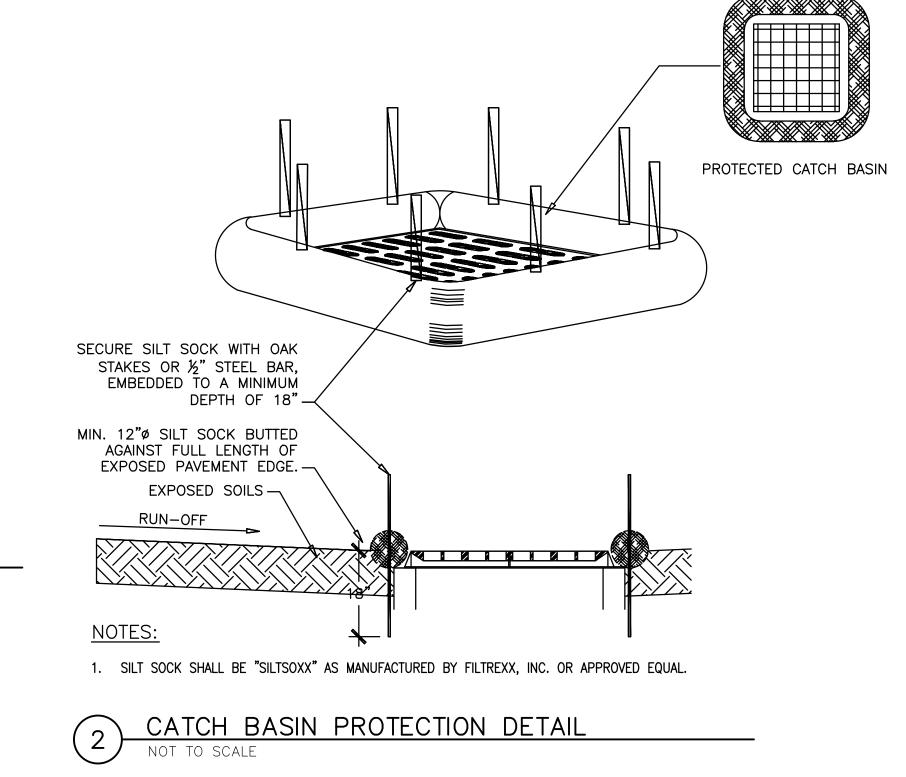
12" DEEP OR LESS, 'SILT SOXX' SHALL BE

MINIMUM 8"ø. FOR ALL SWALES DEEPER

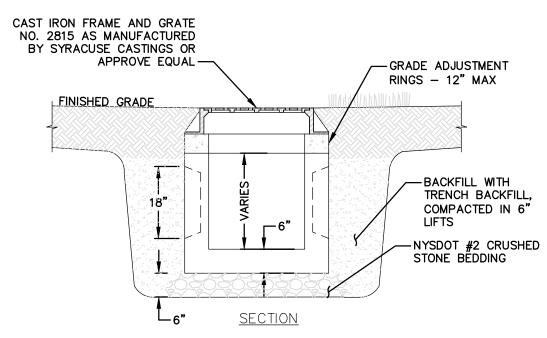
THAN 12", 'SILT SOXX" SHALL BE 12"ø.

SECTION A-A

NOTES:



<u>PLAN</u>



1. MAX STORM SEWER PIPE FOR YARD INLET DRAIN IS 12". 2. YARD INLET BASINS HAVING A DEPTH GREATER THAN 48"

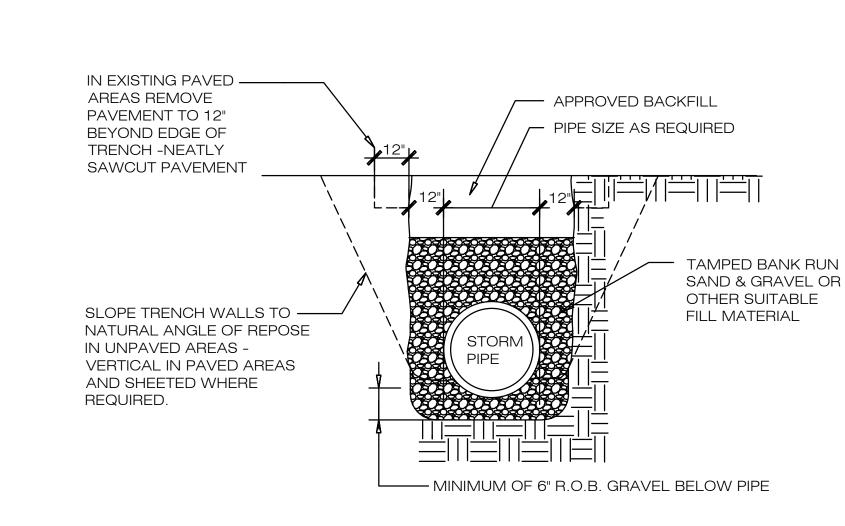
FROM FINISHED SURFACE TO THE TOP OF THE CONCRETE BASE,

SHALL BE PROVIDED WITH STEPS. 3. YARD INLET BASINS SHALL BE PRECAST CONCRETE.

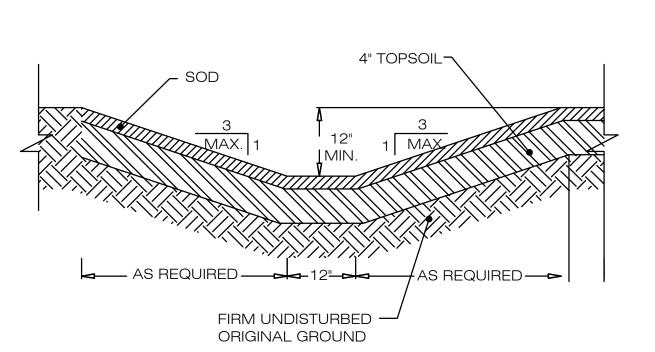
TO SCALE (SURFACE TREATMENT AND GRATE STYLE DETAIL)

— AS REQUIRED BY FILTER BAG DIMENSIONS — 🔏 DISCHARGE HOSE FILTER BAG DISCHARGE H PLAN VIEW MIN. 12"ø SILT SOCK PLACED AROUND ENTIRE PERIMETER FILTER BAG GRAVEL BED (TYP.)_ INTAKE HOSE DIRECTION OF FLOW - ¾" WASHED CRUSHED STONE GRAVEL ELEVATION VIEW

- FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEO-TEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
- 2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME ½ FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
- 3. BAGS SHALL BE LOCATED ON GRAVEL BEDS CONSTRUCTED OF A MINIMUM THICKNESS OF 12" OF ¾" WASHED CRUSHED STONE GRAVEL, LOCATED A MINIMUM OF 20' FROM ANY DRAINAGE STRUCTURE RECIEVING THE WATER FROM THE DEWATERING PROCESS, SUCH DRAINAGE STRUCTURE ALSO BEING PROTECTED AS REQUIRED AND SHOWN IN DETAILS ELSEWHERE IN THESE PLANS. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
- 4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
- 5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR ½ THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD
- 6. SILT SOCKS SHALL BE "SILTSOXX" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.



TYPICAL TRENCH - STORM DRAINAGE



TYPICAL SWALE CROSS SECTION



- FLARED END SECTION

- CONTRACTOR SHALL REMOVE SEDIMENT WHEN IT REACHES A DEPTH OF 1/2" THE HEIGHT OF

ACCORDING TO ALL APPLICABLE MUNICIPAL

CODES AND LAWS.

SECTION B-B

THE 'SILT SOXX', AND DISPOSE OF SEDIMENT

- DRAINAGE PIPE

PROTECTED CATCH BASIN

- 7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEADIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

SWALE AND PIPE ENTRANCE SEDIMENT PROTECTION DETAIL

1. SILT SOCK SHALL BE "SILTSOXX" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.



DESCRIPTION 2.07.22 PER CONSULTANT COMMENTS 9.06.23 PER CONSULTANT COMMENTS

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DESCRIPTION OF THE ALTERATION.

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LICENSED PROFESSIONAL ENGINEER, ALTER THIS DOCUMENT IN ANY WAY. IF THIS DOCUMENT IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS

DATE: 2/7/2023 PROJECT NO.

2022-20 SCALE: SIC 1" = 20' DRAWING NO. S-6.2