

PROPOSED CONTRACTOR STORAGE BUILDING  
FOR  
33 MIDDLEBUSH ROAD LLC  
TOWN OF WAPPINGER, DUTCHESS COUNTY, NY

TW ENGINEERING, P.C.  
P.O. BOX 913  
WAPPINGER FALLS, NY 12590  
845-994-1529  
TROY A. WOJCIKOWSKY, P.E., LEED - AP  
CONSULTING ENGINEER

IT IS A VIOLATION OF NEW YORK STATE  
EDUCATION LAW FOR ANY PERSON, UNLESS  
HE IS ACTING UNDER THE DIRECTION OF A  
LICENSED PROFESSIONAL ENGINEER, TO  
ALTER THIS DOCUMENT IN ANY WAY. IF THIS  
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ENGINEER SHALL AFFIX TO THE ITEM HIS  
SEAL AND THE NOTATION "ALTERED BY"  
FOLLOWED BY HIS SIGNATURE, THE DATE OF  
SUCH ALTERATION, AND A SPECIFIC  
DESCRIPTION OF THE ALTERATION.

CONTRACTOR STORAGE BUILDING  
33 MIDDLEBUSH LLC  
33 MIDDLEBUSH ROAD  
TOWN OF WAPPINGER, NEW YORK

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S-6.2	EROSION CONTROL DETAILS 2



OVERALL SITE AREA  
SCALE: 1" = 50'-0"  
0 50 100'

TOWN OF WAPPINGER  
PLANNING BOARD SITE PLAN APPROVAL  
WAPPINGERS FALLS, NEW YORK

THE SITE PLAN FOR THE PROPERTY AS DEPICTED HEREON WAS APPROVED BY THE TOWN OF WAPPINGER PLANNING BOARD AT A MEETING HELD ON \_\_\_\_\_ AND THE CONDITIONS OF THE SITE PLAN APPROVAL HAVE BEEN SATISFIED OR ARRANGEMENTS HAVE BEEN MADE TO ENSURE THE COMPLETION OF ANY OUTSTANDING OR INCOMPLETE CONDITIONS.

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

OWNER / APPLICANT SIGNATURES

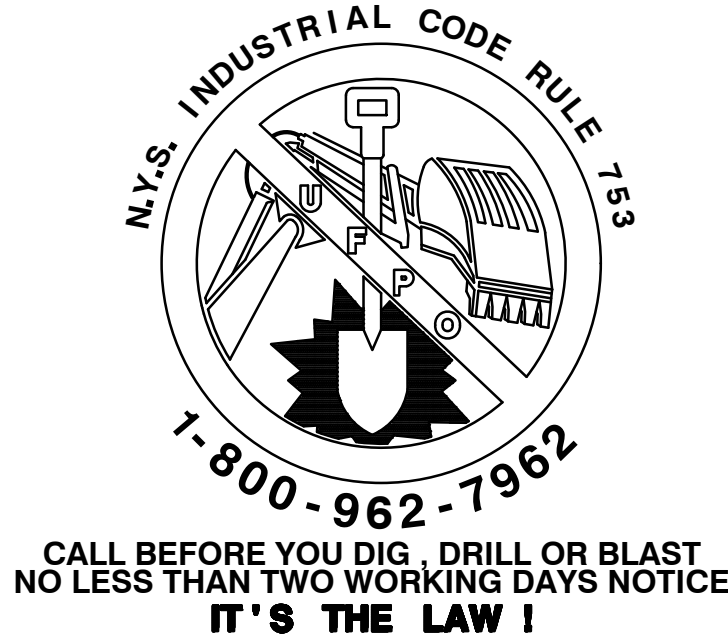
THE UNDERSIGNED APPLICANT(S) FOR THE PROPERTY AND THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON, CERTIFY THAT THEY ARE FAMILIAR WITH THIS MAP, ITS NOTES AND ITS CONTENTS AS STATED HEREON INCLUDING ALL CONDITIONS OF APPROVAL. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN TO KEEP THIS PREMISES AS PER PLAN APPROVAL BY THE TOWN PLANNING BOARD UNTIL A NEW OR REVISED PLAN FOR DEVELOPMENT OR USE OF THE SITE IS APPROVED BY THE PLANNING BOARD. THE APPLICANT(S) AND OWNER(S) UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE TOWN FOR THE OCCUPANCY AS APPROVED HEREON.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

APPLICANT \_\_\_\_\_

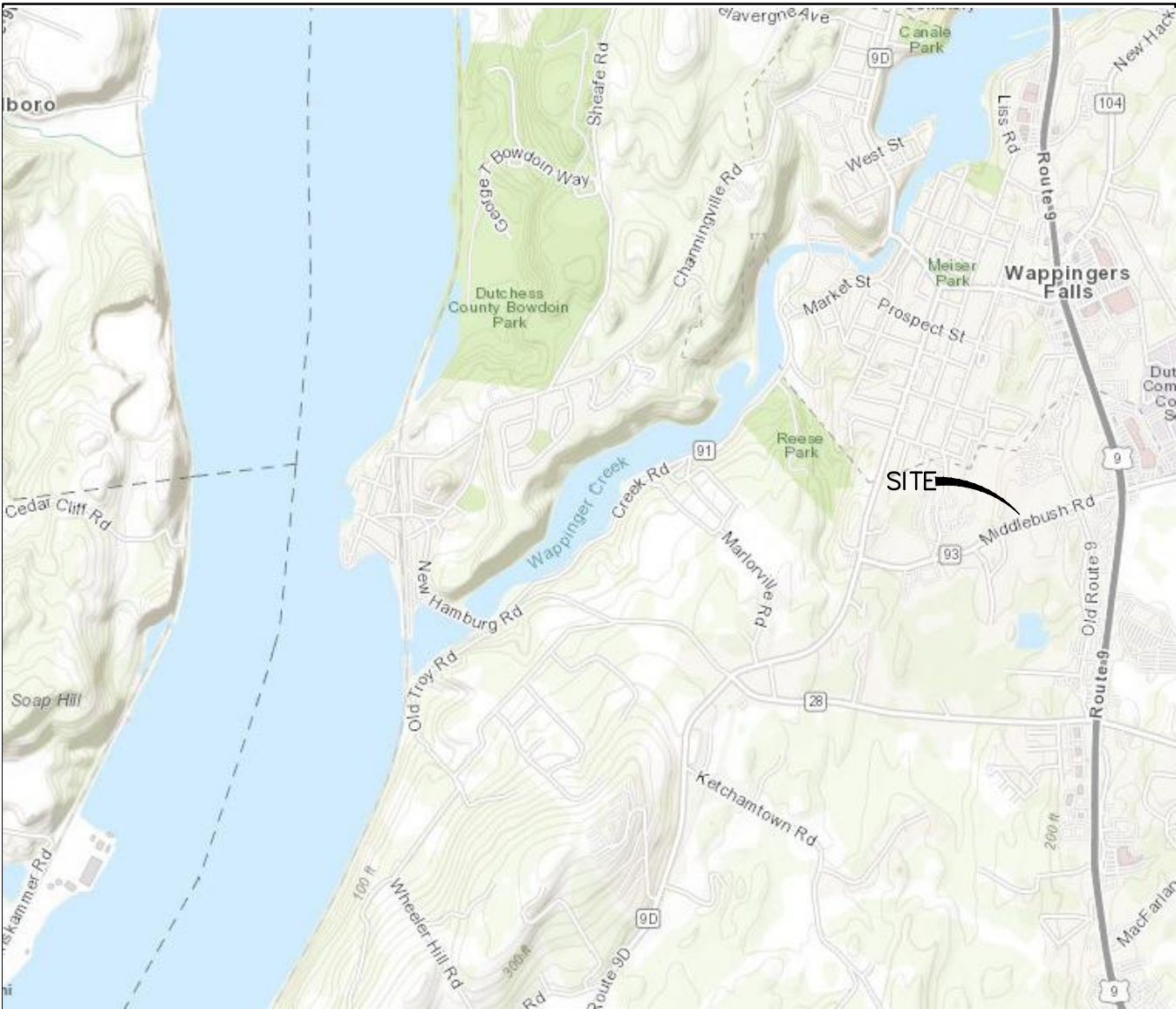
REVISIONS		
NO.	DATE	DESCRIPTION
1.	2.07.22	PER CONSULTANT COMMENTS
2.	9.06.23	PER CONSULTANT COMMENTS
3.	10.14.23	PER CONSULTANT COMMENTS

COVER SHEET  
DATE:  
2/7/2023  
PROJECT NO.  
2022-20  
SCALE:  
N.T.S.  
DRAWING NO.  
S-0.0





LOCATION MAP:



AREA MAP:



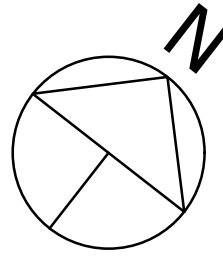
SITE NOTES:

- EXISTING CONDITIONS TAKEN FROM SURVEY AS PREPARED BY ROBERT OICLE, LLS. DATED NOVEMBER 7, 2017, LAST REVISED MARCH 22, 2023. WETLANDS WERE FLAGGED BY MIKE NOWICKI, ECOLOGICAL SOLUTIONS ON MARCH 15, 2023.
- T/O WAPPINGER ZONING BOARD OF APPEALS GRANTED A USE VARIANCE FOR THE PROPERTY AND BUILDING WITH THE FOLLOWING CONDITIONS:
  - NO COMMERCIAL BUILDING MAY BE CONSTRUCTED ON THE VACANT LOT 6157-01-396837. SUCH LOT MAY BE USED TO CONSTRUCT A SEPTIC SYSTEM, TO PROVIDE STORM WATER FACILITIES DESIGNED IN ACCORDANCE WITH NYS DEC GUIDELINES. IF NECESSARY OR TO PROVIDE LANDSCAPING AND BUFFERING.
  - ANY CONSTRUCTION ACTIVITIES ON THE PREMISES ARE SUBJECT TO SITE PLAN APPROVAL BY THE T/O WAPPINGER PLANNING BOARD IN ACCORDANCE WITH ARTICLE IX OF THE ZONING CODE. THE PLANNING BOARD MAY WAIVE A PUBLIC HEARING ON THE SITE PLAN REVIEW IF IT CHOOSES TO DO SO.
  - THE WAREHOUSE SHALL NOT BE PHYSICALLY DIVIDED INTO MORE THAN THREE (3) TENANT SPACES.
  - THERE SHALL BE NO OUTDOOR STORAGE OF ANY EQUIPMENT OR MATERIALS.
  - "NOT MORE THAN ONE LIGHT-DUTY COMMERCIALY REGISTERED VEHICLE AND ONE TRAILER MAY BE PARKED OR STORED OUTDOORS ON ANY RESIDENTIALLY USED OR RESIDENTIALLY ZONED LOT AT ANY TIME. FOR THE PURPOSES OF THIS SECTION, A "LIGHT-DUTY COMMERCIALY REGISTERED VEHICLE" SHALL EXCLUDE VEHICLES WHICH EXCEED 9,500 POUNDS IN REGISTERED GROSS VEHICLE WEIGHT. THE FOLLOWING EXPRESSLY PROHIBITED EXAMPLES INCLUDE BUT ARE NOT LIMITED TO TRACTORS, TRACTOR-TRAILERS, SEMITRAILERS, ROLLERS, TRACTOR AND TRUCK CRANES, POWER SHOVELS, ROAD BUILDING MACHINES, SNOWPLOW, ROAD SWEEPERS, SAND SPREADERS, TRAILERS, EXCAVATORS, TANK TRAILERS, TOW TRUCKS AND BUSES, AND ANY OTHER SIMILAR VEHICLE."
- T/O WAPPINGER ZONING BOARD OF APPEALS GRANTED REAR AND FRONT YARD SETBACK VARIANCES AUGUST 2023 FOR THE SETBACKS SHOWN.
- PRIOR TO A CERTIFICATE OF OCCUPANCY ALL DISTURBED AREAS SHALL BE FINAL GRADED, SEEDED/STABILIZED AND MULCHED TO THE SATISFACTION OF THE ZONING ADMINISTRATOR AND TOWN OF WAPPINGER BUILDING DEPARTMENT PROTECTIVE EROSION CONTROL MEASURES MUST BE IN PLACE AT THE ONSET OF CONSTRUCTION.
- ALL TREES SHALL BE REMOVED BETWEEN NOVEMBER 1 AND MARCH 31 UNLESS SITE IS CLEARED TO NOT POSE HABITAT FOR ENDANGERED BATS.

BULK TABLE REQUIREMENTS

ZONE: R20/40

USE: CONTRACTOR STORAGE	REQUIRED	PROVIDED
MINIMUM LOT AREA	20,000/40,000 SF	76,386 SF (1.77 AC)
MINIMUM LOT WIDTH	125 FT	295 FT
MINIMUM LOT DEPTH	125 FT	362 FT
MINIMUM FRONT YARD	75 FT (COUNTY ROAD)	29 FT (EXISTING)
MINIMUM REAR YARD	50 FT	39 FT (EXISTING)
MINIMUM SIDE YARD	25 FT	103 FT / 123 FT
MAXIMUM BUILDING HEIGHT	35 FT/2.5 STYS.	25 FT
MAXIMUM BUILDING COVERAGE	12% (9.166 SF)	9% (6890 SF)
F.A.R.	0.12 (9.166 SF)	1ST FLOOR: 6,890 SF (0.09)
EXISTING PAVED AREA:		4,750 SF (6.22%)
PROPOSED ADDITIONAL PAVED AREA: (INCLUDES ELIMINATION OF PAVEMENT IN FRONT OF BUILDING AND PROPOSED GRAVEL PARKING)		3,924 SF (5.41%)
TOTAL PAVED AREA:		9,120 SF (11.9%)
TOTAL BUILDING & PAVED AREAS:		16,010 SF (21.0%)
OPEN SPACE:		51,256 SF (67.1%)



SITE DATA:

PROJECT LOCATION:	33 MIDDLEBUSH ROAD TOWN OF WAPPINGER DUTCHESS COUNTY, NY
TAX MAP NUMBERS:	LOT #1, 6157-01-414840 LOT#2 6157-01-396837
LOT AREA:	LOT #1: 38,640 S.F. LOT #2: 37,746 S.F. TOTAL: 76,386 S.F. (1.75 ACRES)
ZONING:	R-20/40 EXISTING
BUILDING SIZE:	6,890 S. F.
PROPOSED USE:	CONTRACTOR STORAGE FACILITY WITH ACCESSORY OFFICES SPECIFIC TO THOSE USES

OWNER / APPLICANT

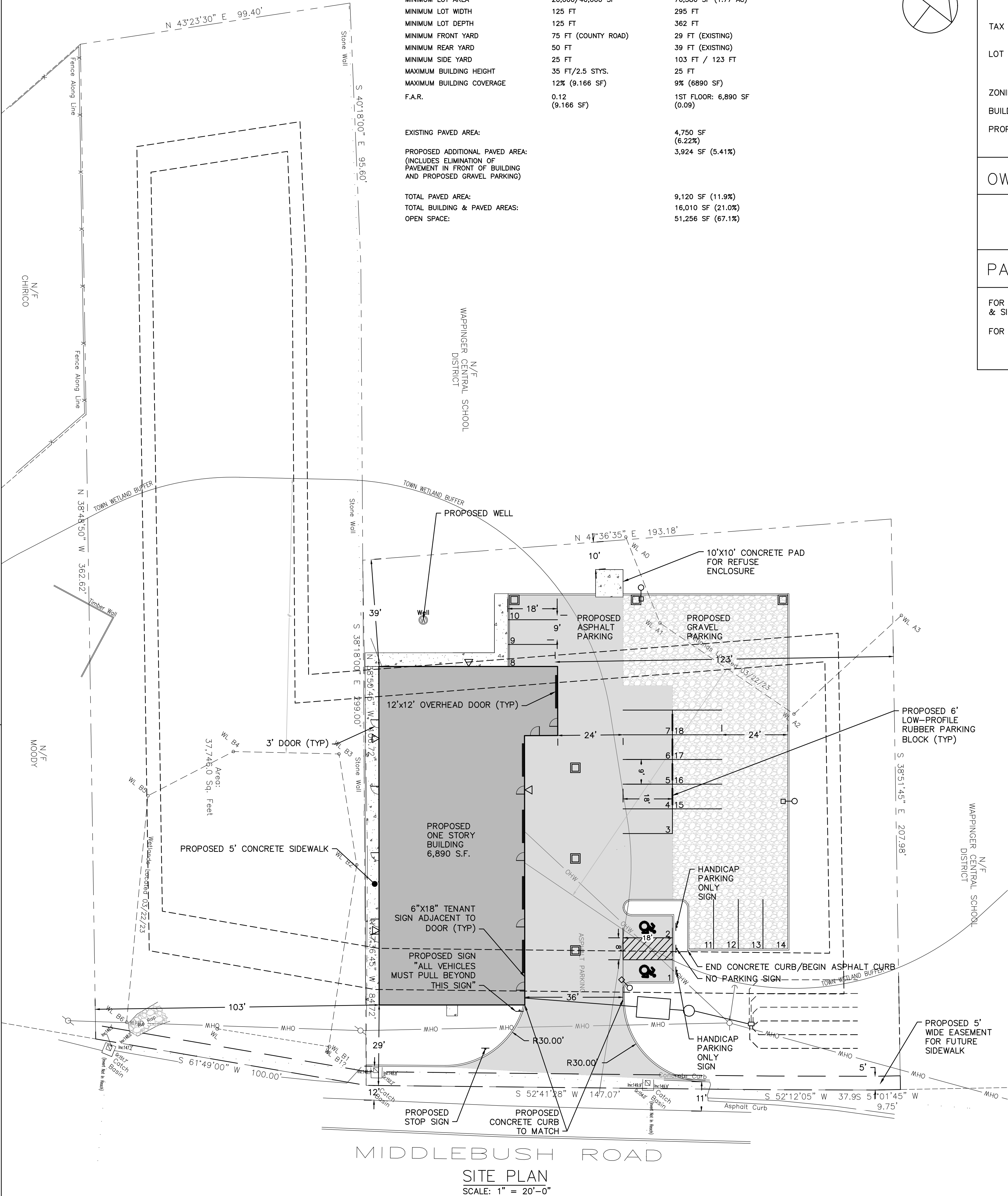
33 MIDDLEBUSH, LLC  
JOHN FALVELLA  
47 UNION SCHOOL ROAD  
MONTGOMERY, NY

PARKING:

FOR WHOLESALE, STORAGE & UTILITY & SIMILAR COMMERCIAL	1 SP./1,000 S.F.	= 7 SPACES
FOR ACCESSORY OFFICE USE: PROVIDED USE:	1 SP./1,000 S.F.	= 0 SPACES
TOTAL REQUIRED:		= 7 SPACES
TOTAL		= 18 SPACES

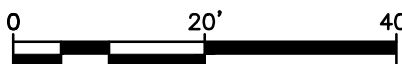
PROJECT ADJOINERS

NAME	ADDRESS	TAX ID
CHIRICO	25 MIDDLEBUSH RD	384826.00
MOODY	29 MIDDLEBUSH RD	394824.00
WCSD	30 - 55 MAJOR MACDONALD WAY	423875.00
MILLER	32 MIDDLEBUSH RD	426814.00
O'TOOLE/REID	4 CARMELI DRIVE	441815.00
SARMENTO/TAYLOR	36 MIDDLEBUSH RD	438825.00



MIDDLEBUSH ROAD

SITE PLAN  
SCALE: 1" = 20'-0"



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TOWN OF WAPPINGER, NEW YORK

NO.	DATE	DESCRIPTION
1	2/07/23	PER CONSULTANT COMMENTS
2	9/06/23	PER CONSULTANT COMMENTS
3	10/14/23	PER CONSULTANT COMMENTS

DATE:	2/7/2023
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DRAWING NO.	S-1.0





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[illegible]

## EXISTING CONDITIONS & REMOVALS PLAN

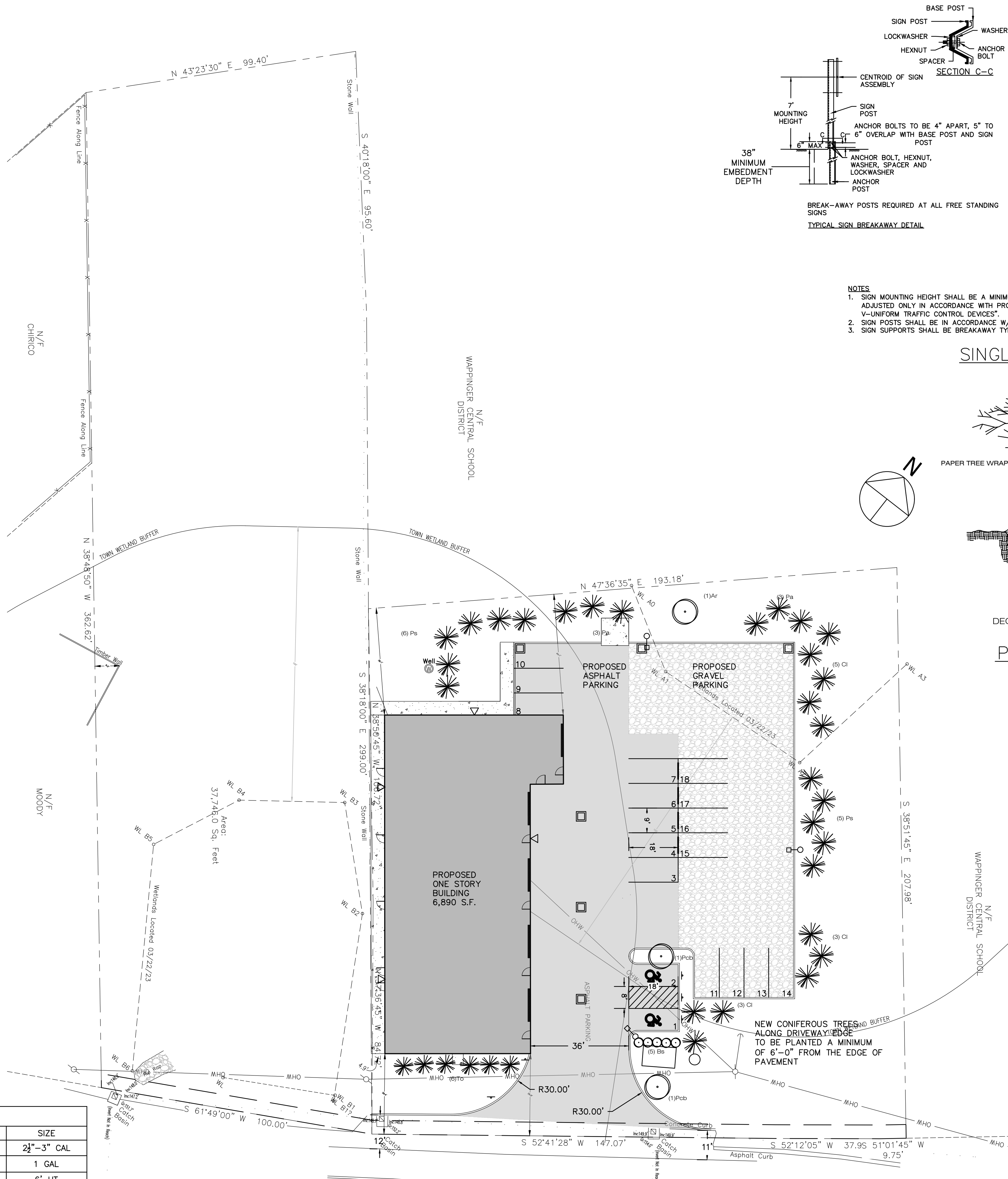
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DRAWING NO.	S-2.0









1. THE WORK OF FURNISHING AND PLANTING TREES, SHRUBS AND VINES AS SHOWN ON THE PLANS AND AS APPROVED BY THE PLANNING BOARD WILL BE ACCOMPLISHED IN ACCORDANCE WITH ACCEPTED, ESTABLISHED HORTICULTURAL PRACTICES. ANY CHANGE IN PLAN TYPE, ETC., OR LOCATION REQUIRES THE WRITTEN APPROVAL OF THE PLANNING BOARD.
2. PLANTS: COMMON AND SCIENTIFIC NAMES OF PLANTS SHALL BE IN CONFORMITY WITH SPN (STANDARDIZED PLANT NAMES). PLANTS INCLUDING ROOT SPREAD AND BALL SIZE SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
3. PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH AND BE TYPICALLY CHARACTERISTIC OF THEIR RESPECTIVE KINDS.
4. PLANTS SHALL BE FREE FROM INJURY, INSECT DAMAGE, AND DISEASE.
5. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN LONG ENOUGH FOR NEW FIBROUS ROOTS TO HAVE DEVELOPED. SHRUBS AND VINES SHALL HAVE GOOD FIBROUS ROOT SYSTEMS.
6. NO PLANTING WILL BE DONE WHEN THERE ARE UNSATISFACTORY CONDITIONS AS DETERMINED BY THE ARCHITECT.
7. ROCK OR OTHER UNDERGROUND OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH AS DIRECTED BY THE ARCHITECT.
8. ALL PLANTS SHALL BE PROTECTED FROM DRYING OUT.
9. LOCATIONS OF PLANTINGS SHALL BE MARKED OUT ON THE GROUND BY THE CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT.
10. ALL PLANTS WILL BE SET IN ACCORDANCE WITH GOOD ESTABLISHED HORTICULTURAL PRACTICE.
11. ALL PLANTS SHALL BE SET PLUMB AT SUCH A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATIONSHIP TO THE LEVEL OF THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
12. BACKFILL SHALL BE THOROUGHLY SETTLED BY TAMPING. BACKFILL IS TO BE PLACED INTO PLANT PITS IN LAYERS NOT TO EXCEED 4" AND TAMPED.
13. THOROUGH WATERING SHOULD ACCOMPANY BACKFILL UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. A SAUCER CAPABLE OF HOLDING WATER TO A DEPTH AS SHOWN ON THE PLANS SHALL BE FORMED ABOUT EACH PLANT PIT. ALL PLANTS SHALL BE WATERED TO PROVIDE NOT LESS THAN FIVE GALLONS OF WATER PER SQUARE YARD OF PLANT PIT OR BED AREAS.
14. ALL CLOTH ROPES, ETC., SHALL BE REMOVED FROM THE TOPS OF BALLS, BUT NOT PULLED OUT FROM UNDER THE BALLS.
15. ALL TRUNKS OF DECIDUOUS TREES SHALL BE WRAPPED WITH A MATERIAL AS APPROVED BY THE ARCHITECT IMMEDIATELY AFTER PLANTING.
16. ALL TREES SHALL BE FIRMLY GUYS, STAKED, OR ANCHORED UNLESS OTHERWISE APPROVED.
17. PRUNING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED GOOD HORTICULTURAL PRACTICE AS DIRECTED BY THE ARCHITECT.
18. MULCHING SHALL COVER THE PLANT PIT OR PLANTING BED TO A DEPTH AS SPECIFIED ON THE PLANS.
19. THE AREA DISTURBED BY THE PLANTING OPERATION SHALL BE RESTORED TO AN ORDERLY CONDITION AS APPROVED BY THE ARCHITECT.
20. ANTI-DESICCANTS SHALL BE APPLIED TO ALL PLANTINGS ACCORDING TO THE MANUFACTURER'S DIRECTIONS. THIS MATERIAL SHALL BE APPLIED TO EVERGREENS WITHIN TWO WEEKS OF PLANTING AND TO DECIDUOUS PLANTINGS PLACED IN THE FALL WHEN AIR TEMPERATURE IS ABOVE 40 DEGREES F OR IN THE SPRING WHEN LEAVES HAVE REACHED 75% OF MATURE SIZE.
21. ALL DEAD, UNHEALTHY OR BADLY IMPAIRED PLANTS, AS DETERMINED BY THE ARCHITECT, SHALL BE PROMPTLY REMOVED FROM THE PROJECT.
22. IN THE EVENT OF THE THREAT OF SERIOUS DAMAGE FROM INSECTS, DISEASE, OR RODENTS, THE PLANTS WILL BE TREATED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AS APPROVED BY THE ARCHITECT.
23. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
24. ALL PLANTED AREAS WHERE TREES AND/OR SHRUBS ARE INDICATED, TO HAVE BEDS OF WHITEWASHED STONE OR PINE BARK CHIPS AS NOTED ON PLANS.
25. ALL REMAINING AND DISTURBED AREAS NOT PAVED OR BEING PLANTED WITH TREES OR SHRUBS SHALL BE SEEDED AND MULCHED.
26. CONTRACTOR TO BE RESPONSIBLE FOR BRINGING TOPSOIL TO SITE AS NECESSARY FOR PROPER SEEDING AND PLANTING.
27. ALL PLANTING SHALL BE GUARANTEED BY CONTRACTOR A MINIMUM OF ONE YEAR AND BE REPLACED AS NECESSARY.
28. FERTILIZE AND/OR FEED ALL PLANTINGS AS RECOMMENDED.
29. AFTER SEEDING GERMINATES, CONTRACTOR TO BE RESPONSIBLE FOR RAKING, MULCHING, RE-SEEDING AS NECESSARY AND CUTTING AND MAINTAINING LAWN FOR A PERIOD OF ONE MONTH AFTER GERMINATION AND TO ARCHITECT'S SATISFACTION.
30. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.

LANDSCAPING SCHEDULE				
MARK	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
Ar	1	ACER RUBRUM BUXUS	RED MAPLE	2½"–3" CAL
Bs	5	SEMPERVIRENS	DWARF ENGLISH BOXWOOD	1 GAL
Cl	6	CUPRESSUS LEYLANDI	LEYLAND CYPRUS	6' HT
Pa	6	PICEA ABIES PYRUS	NORWAY SPRUCE	6' HT
Pcb	3	CALLERVANA PINUS	BRADFORD PEAR	2½"–3" CAL
Ps	6	STROBUS THUJA	WHITE PINE	6' HT
To	5	OCCIDENTALIS	EMERALD GREEN ARBORVITAE	6' HT



SIGN SCHEDULE						
SIGN NO.	SIGN FACE	NUMBER	SIZE	COLORS		
				BACK	GRND	LEGEND
1.	 A1-1P2G201	M12-1	12"x24"	BLUE	WHITE	
2.	 NO STANDING ANY TIME	P1-1C (NO ARROWS)	12"x18"	WHITE	RED	
3.	 STOP	R1-1	30"x30"	RED	WHITE	
4.	 ALL VEHICLES MUST PULL BEHIND THIS SIGN	CUSTOM	12"x18"	WHITE	BLACK	

1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, SECTION 640 AND THE CODES AND REGULATIONS OF THE STATE OF NEW YORK (NYCRR) TITLE 17-TRANSPORTATION VOLUME B-CHAPTER V " UNIFORM TRAFFIC CONTROL DEVICES".
2. TENANT SIGNS SHALL BE 6" X 18" CUSTOM SIGNS MOUNTED TO THE BUILDING ADJACENT TO THE ENTRY DOORS. SIGNS SHALL BE GENERALLY BALCK LETTERING ON WHITE BACKGROUND UNLESS ALTERNATE IS APPROVED BY THE BUILDING DEPARTMENT.

**NOTES**

1. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'-0" MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN "NYSCRR, CHAPTER V-UNIFORM TRAFFIC CONTROL DEVICES".
2. SIGN POSTS SHALL BE IN ACCORDANCE W/NYSDOT STANDARD SPECS. SECTION 730.
3. SIGN SUPPORTS SHALL BE BREAKAWAY TYPE.

PAPER TREE WRAP

RUBBER HOSE

CEDAR STAKE 2' x 4' DEADMAN

4' MULCH

TURNBUCKLE

14 GAUGE GALVANIZED GUY WIRE

12' ALL AROUND

COMPACTED SOIL MIX TO PREVENT SETTLEMENT

12' ALL AROUND

12' ALL AROUND

DECIDUOUS TREES

EVERGREEN TREES

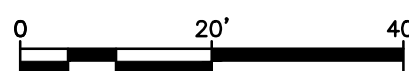
SHRUBS

### LAWN RESTORATION SCHEDULE & NOTES

PERMANENT SEED MIXTURE	SPECIES	LBS./1,000 SQ. FT.
	TALL FESCUE	1
	KENTUCKY BLUEGRASS	3
	PERENNIAL RYEGRASS	1

NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE:  
SPRING OR EARLY FALL

1. REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA. AND PREPARE SOIL BY TILLING TO A DEPTH OF 3" TO 4".
2. RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
3. FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT THE RATE OF 6 LBS. PER 1,000 SQ. FT. FERTILIZER SHALL BE A COMMERCIAL 5-10-10 MIXTURE.
4. AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
5. PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER. (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 LBS. OF SEED MIXTURE PER 1,000 SQ.FT. DO NOT OVER-SEED, OR OVER CROWDING OF THE SEEDLING MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
6. LIGHTLY COVER SEEDBED AREA WITH  $\frac{1}{4}$ " TO  $\frac{3}{4}$ " OF SOIL. (ROLLING OF SEEDBED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH MULCH OR HAY OR STRAW AT A RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F.
7. SEEDBED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 LBS. (APPROX. 2 BALES PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
8. LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
9. NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2" - 2  $\frac{1}{2}$ "
10. PRACTICE REGULAR MAINTENANCE AND WATER REGULARLY AS CONDITIONS REQUIRE.



**TW ENGINEERING, P.C.**  
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TROY A. WOJCIEKOWSKY, P.E., LEED - AP  
CONSULTING ENGINEER

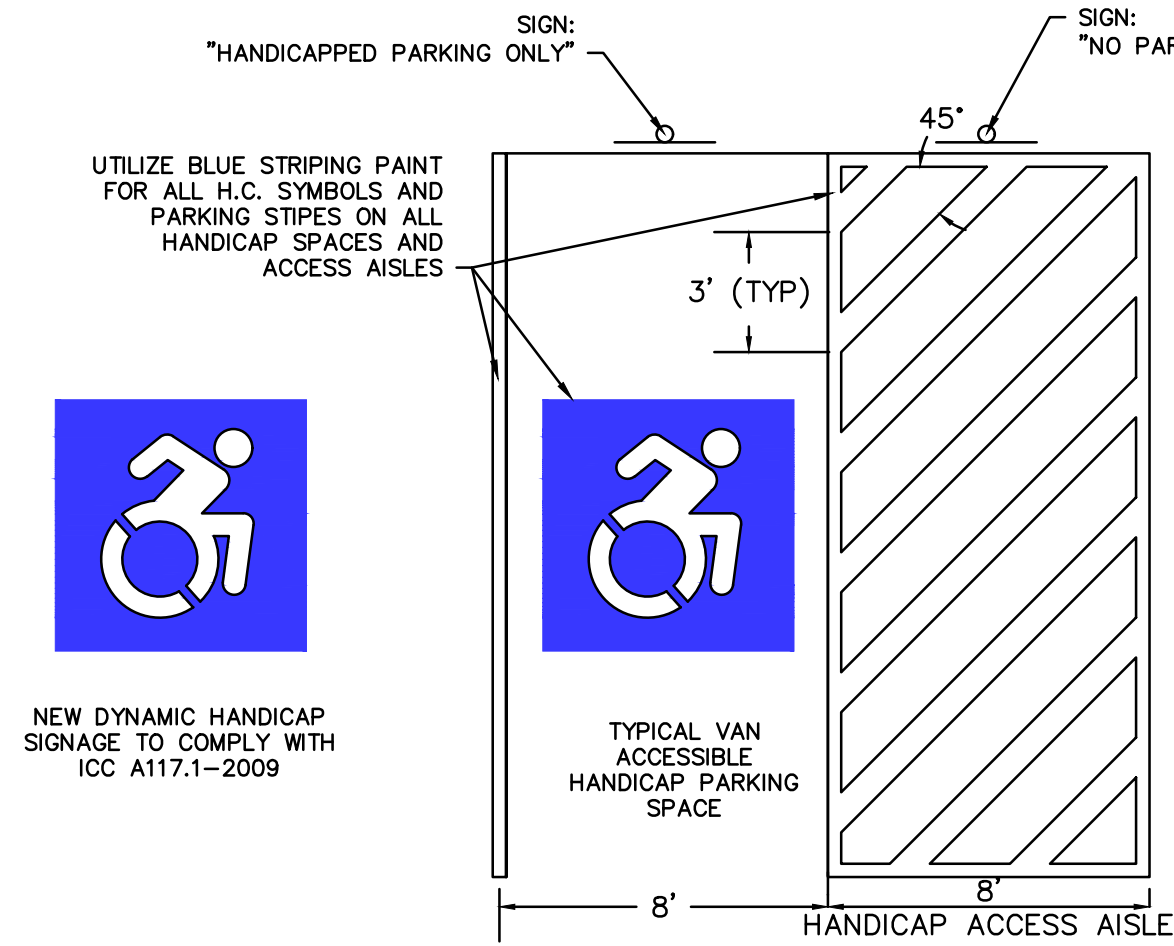
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TOWN OF WAPPINGER, NEW YORK

[illegible]LANDSCAPING &  
SIGNAGE PLAN

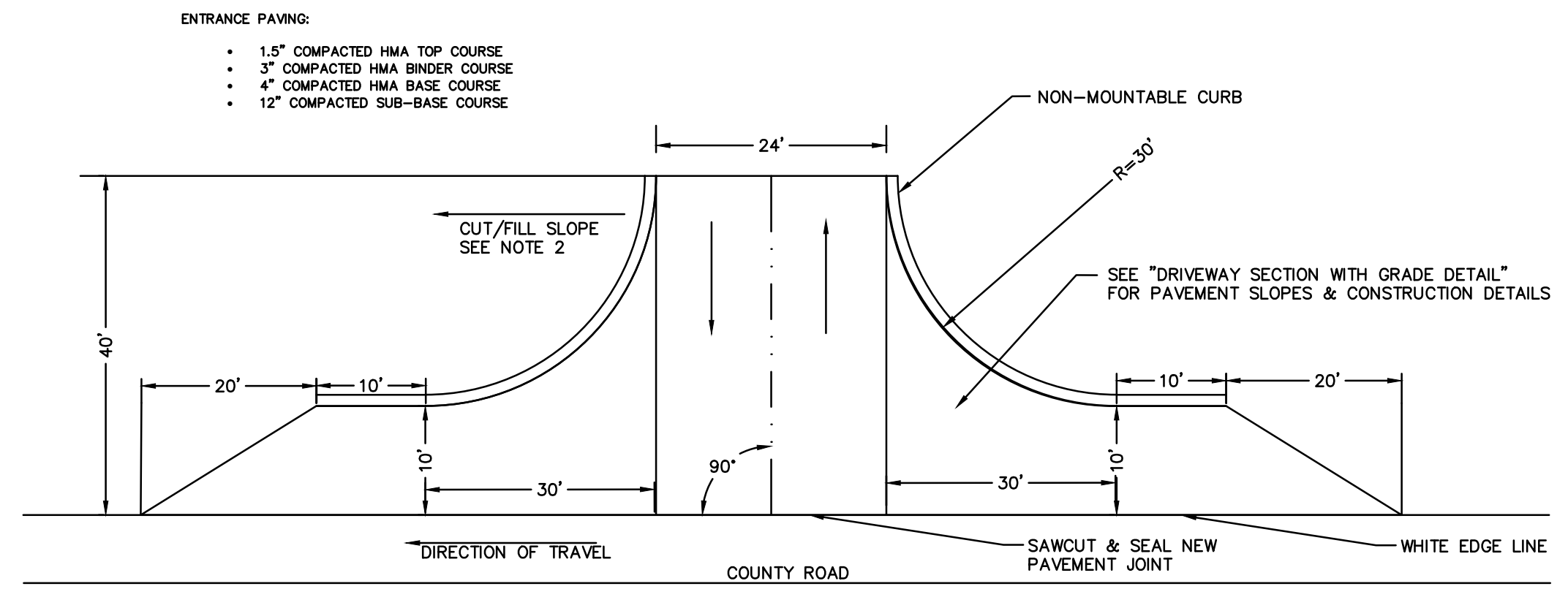
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S-3.0





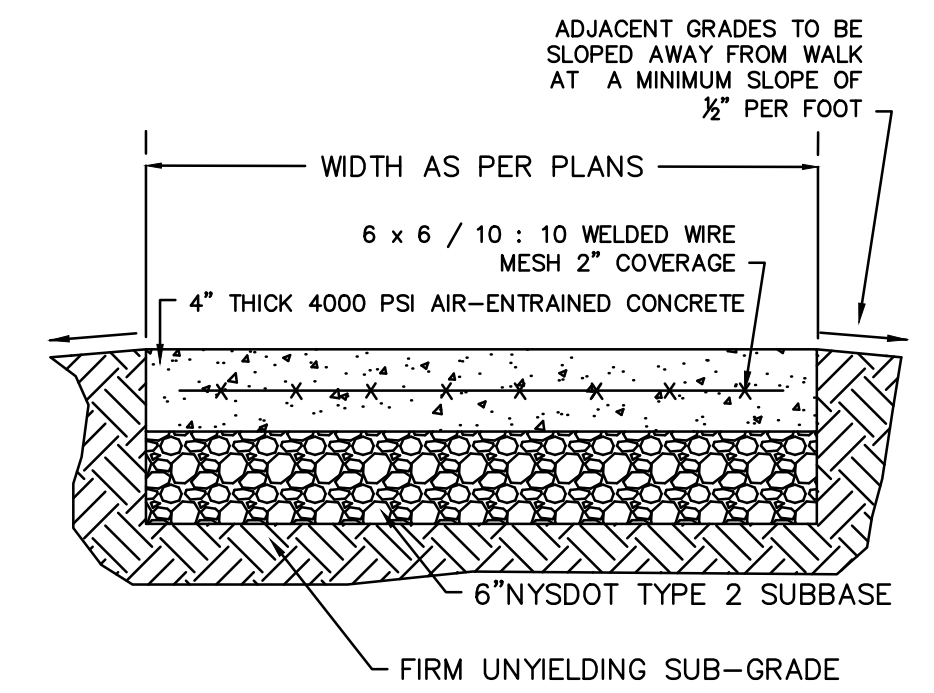
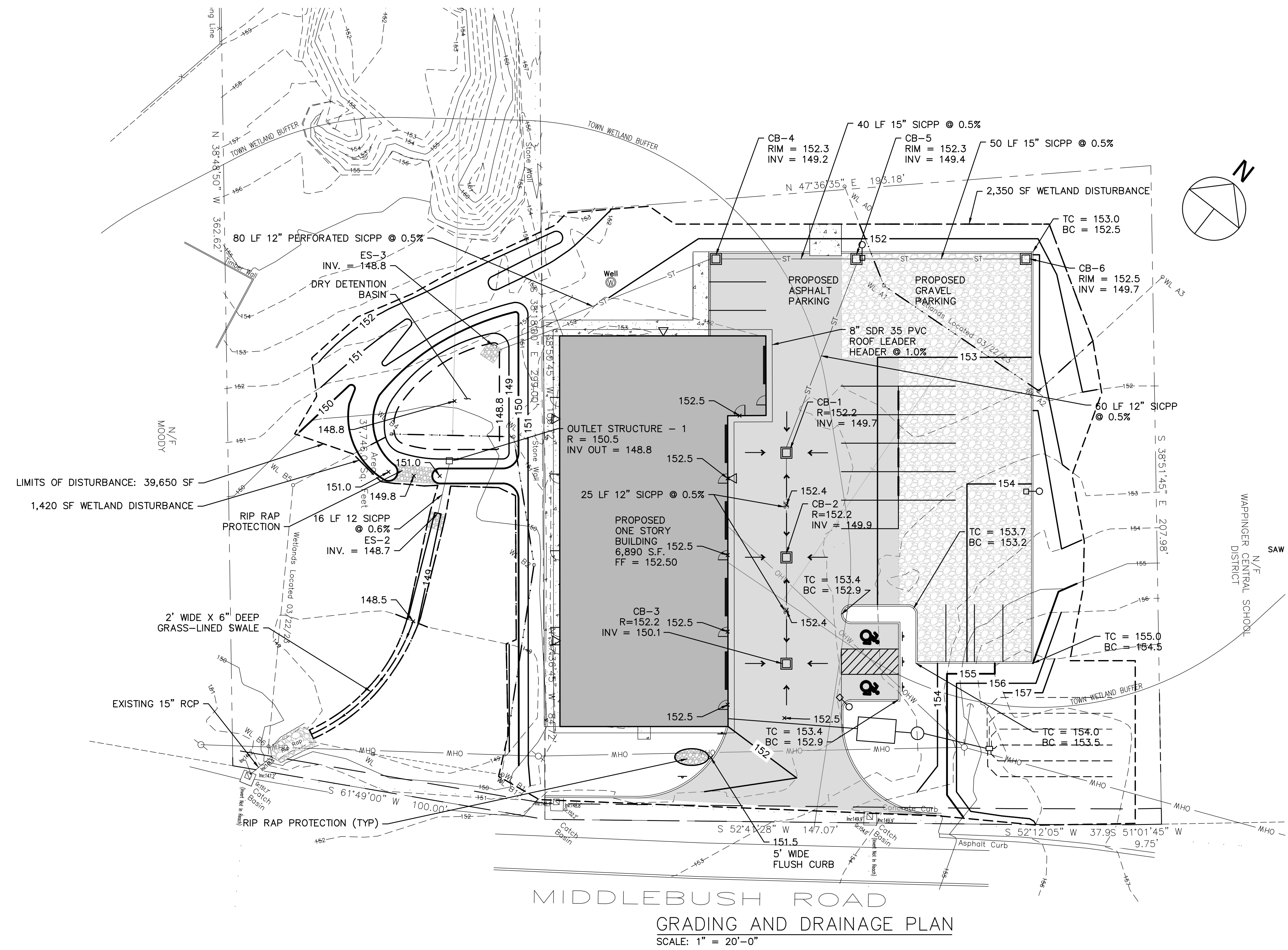
- NOTES:
1. ALL PARKING AREAS TO BE RESTRIPTED AT LEAST ONCE A YEAR.
  2. ALL STRIPING TO BE 4" WIDE UNLESS NOTED OTHERWISE.
  3. SEE SIGN DETAILS FOR SIGN MOUNTING AND SIGN HEIGHT REQUIREMENTS.
  4. ALL PARKING SPACES SHALL BE MARKED WITH A DOUBLE STRIPED LINE CLOSED AT THE AISLE END. PARKING SPACES SHALL BE MEASURED FROM THE CENTER OF THE DOUBLE STRIPED LINES.

TYPICAL HANDICAP PARKING STRIPING DETAIL



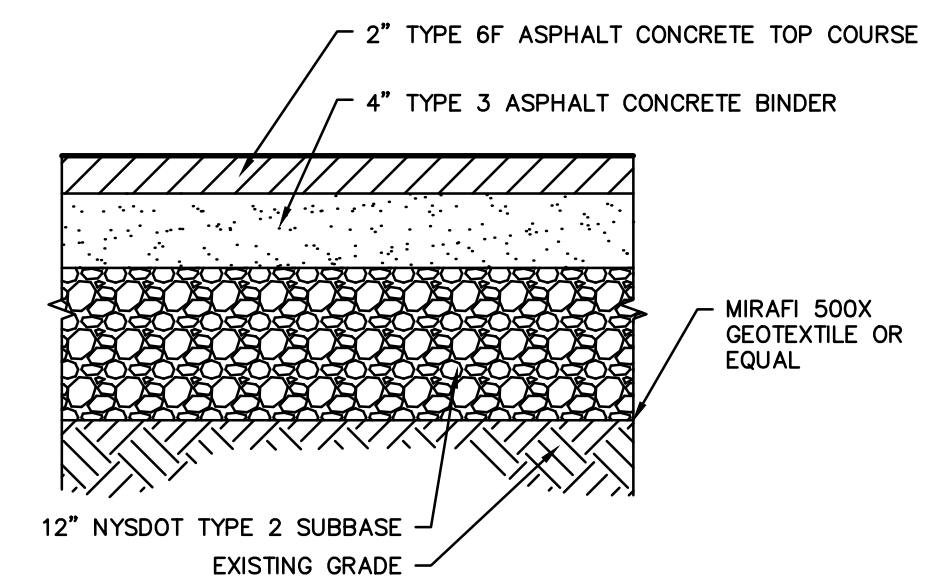
- NOTES:
1. DRAINAGE FROM PRIVATE PROPERTY SHALL NOT BE ALLOWED TO FLOW ONTO COUNTY HIGHWAY. IF NECESSARY, PERMITEE WILL BE REQUIRED TO INSTALL DRAINAGE SYSTEM AT PROPOSED DRIVEWAY(S).
  2. CUT/FILL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL (2:1). DCDPW SHALL EVALUATE CUT/FILL SLOPES FOR ACCEPTABILITY.
  3. DIMENSIONS SHOWN ARE TYPICAL. FIELD CONDITIONS MAY REQUIRE ADJUSTMENTS TO MATCH EXISTING CONDITIONS PER DCDPW DIRECTION.

DCDPW LOCAL ROAD/SUBDIVISION ROAD DETAIL  
NOT TO SCALE

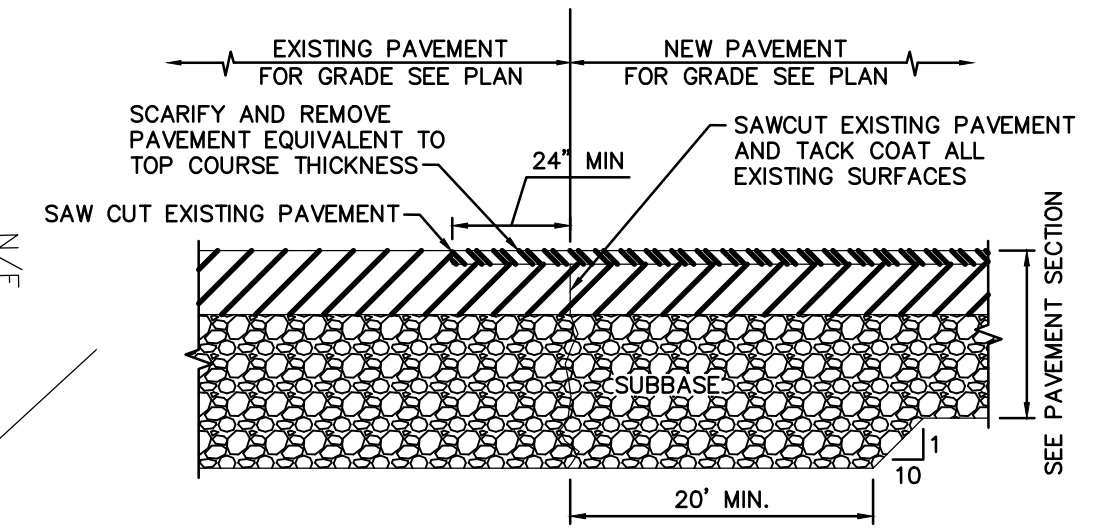


- NOTES:
1. EXPANSION JOINTS OF 3" CELLULOSE OR SIMILAR WITH 3" RADIUS EDGES SHALL BE PLACED ACROSS THE FULL WIDTH OF WALKWAY, AT INTERVALS NOT TO EXCEED 20' ALONG LENGTH OF SIDEWALK.
  2. CONTRACTION JOINTS (ACROSS FULL WIDTH OF WALKWAY SHALL BE LOCATED AT A MAXIMUM SPACING OF 5' ON CENTER BETWEEN EXPANSION JOINTS).

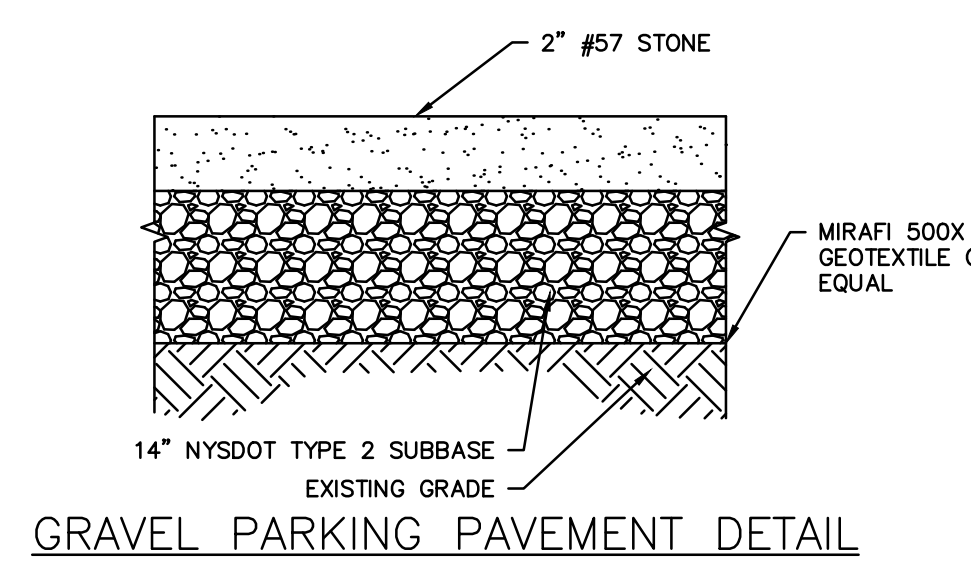
SIDEWALK DETAIL



ASPHALT PARKING PAVEMENT DETAIL



PAVEMENT TRANSITION (SAWCUT)



GRAVEL PARKING PAVEMENT DETAIL



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CONSULTING ENGINEER

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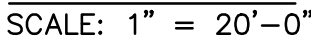
CONTRACTOR STORAGE BUILDING  
33 MIDDLEBUSH LLC  
33 MIDDLEBUSH ROAD  
TOWN OF WAPPINGER, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION
1	2/07/22	PER CONSULTANT COMMENTS
2	9/06/23	PER CONSULTANT COMMENTS
3	10/14/23	PER CONSULTANT COMMENTS

GRADING & DRAINAGE PLAN	DATE:
	2/7/2023
	PROJECT NO.
	2022-20
	SCALE:
	1" = 20'
	DRAWING NO.
	S-4.0

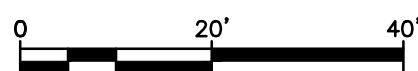


21. ONSITE WASTEWATER TREATMENT SYSTEM IS DESIGNED FOR SANITARY SEWAGE ONLY. NO WASTES FROM RESTAURANTS, TAVERNS, DINERS, PIZZERIAS, FOOD SERVICE ESTABLISHMENTS, BAKERIES, DOCTOR'S OFFICES, DENTISTS, HAIR DRESSERS, SALONS, BEAUTY PARLORS, DRY CLEANERS, LAUNDROMATS, LAUNDRIES, PHOTOFINISHERS, METAL PLATERS, OR ANY OTHER PROCESS WASTES ARE ALLOWED.



SITE SSDS PLAN (DOH APPROVAL)	DATE:
	2/7/2023
	PROJECT NO.
	2022-20
	SCALE:
	1" = 20'
DRAWING NO.	
S-5.0	

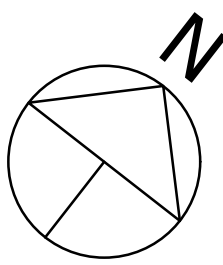




NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: SPRING OR EARLY FALL

## NOTES

1. REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA, AND PREPARE SOIL BY TILLING TO A DEPTH OF 3" TO 4".
2. RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
3. FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT THE RATE OF 6 LBS. PER 1,000 SQ. FT. FERTILIZER SHALL BE A COMMERCIAL 5-10-10 MIXTURE.
4. AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
5. PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER. (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 LBS. OF SEED MIXTURE PER 1,000 SQ.FT. DO NOT OVER-SEED, OR OVER CROWDING OF THE SEEDLING MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
6. LIGHTLY COVER SEEDED AREA WITH 1/4" TO 3/4" OF SOIL. (ROLLING OF SEEDBED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH MULCH OR HAY, OR STRAW AT A RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F.
7. SEEDDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 LBS. (APPROX. 2 BALES) PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
8. LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
9. NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2" - 2 1/2"
10. PRACTICE REGULAR MAINTENANCE AND WATER REGULARLY AS CONDITIONS REQUIRE.



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TOWN OF WAPPINGER, NEW YORK

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## EROSION CONTROL PLAN

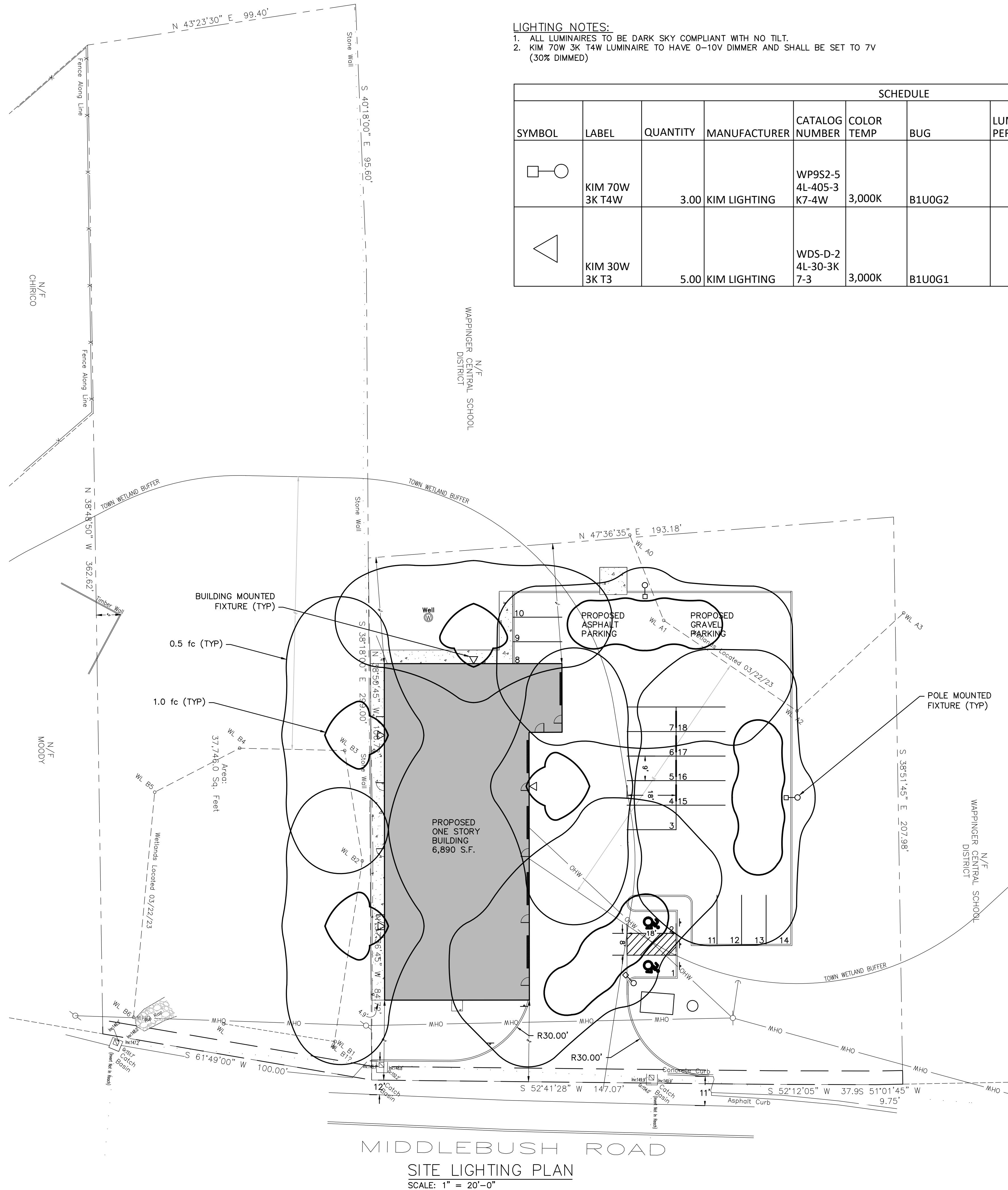
DATE:  
2/7/2023

PROJECT NO.  
2022-20

SCALE:  
1" = 20'

DRAWING NO.  
S-6.0





- LIGHTING NOTES:
1. ALL LUMINAIRES TO BE DARK SKY COMPLIANT WITH NO TILT.
  2. KIM 70W 3K T4W LUMINAIRE TO HAVE 0-10V DIMMER AND SHALL BE SET TO 7V (30% DIMMED)

SCHEDULE									
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	COLOR TEMP	BUG	LUMENS PER LAMP	LAMP	WATTAGE
	KIM 70W 3K T4W	3.00	KIM LIGHTING	WP9S2-5 4L-405-3 K7-4W	3,000K	B1U0G2	8109.00	C-70-CRI DATA SHOWN IS ABSOLUTE. PARKING, PATHWAY, PEDESTRIAN, SIDEWALK, WALKWAY, ROADWAY, STREET, WET LOCATION,	69.00
	KIM 30W 3K T3	5.00	KIM LIGHTING	WDS-D-2 4L-30-3K 7-3	3,000K	B1U0G1	3335.00	C-70-CRI DATA SHOWN IS ABSOLUTE. PARKING, PATHWAY, PEDESTRIAN, RESIDENTIAL, RETAIL, SIDEWALK, SIGN, WALKWAY, MANUFACTURING, DIRECT, WET LOCATION	28.79

CONTRACTOR STORAGE BUILDING

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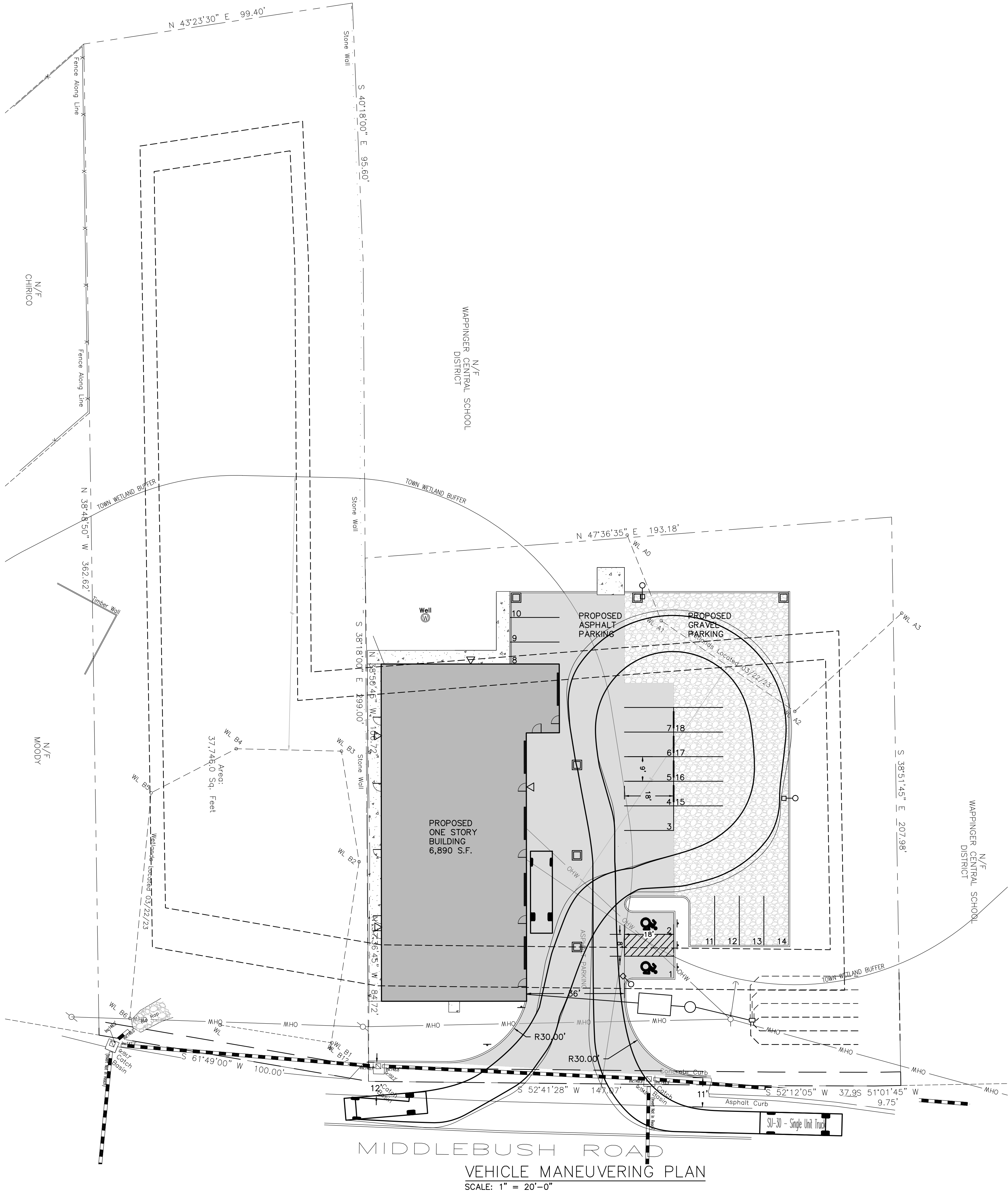
33 MIDDLEBUSH ROAD

TOWN OF WAPPINGER, NEW YORK

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SITE LIGHTING PLAN	DATE:
	2/7/2023
	PROJECT NO.
	2022-20
	SCALE:
	1" = 20'
DRAWING NO.	S-7.0





VEHICLE MANEUVERING  
PLAN (1 OF 2)

DATE:  
2/7/2023  
PROJECT NO.  
2022-20  
SCALE:  
1" = 20'  
DRAWING NO.  
S-8.0

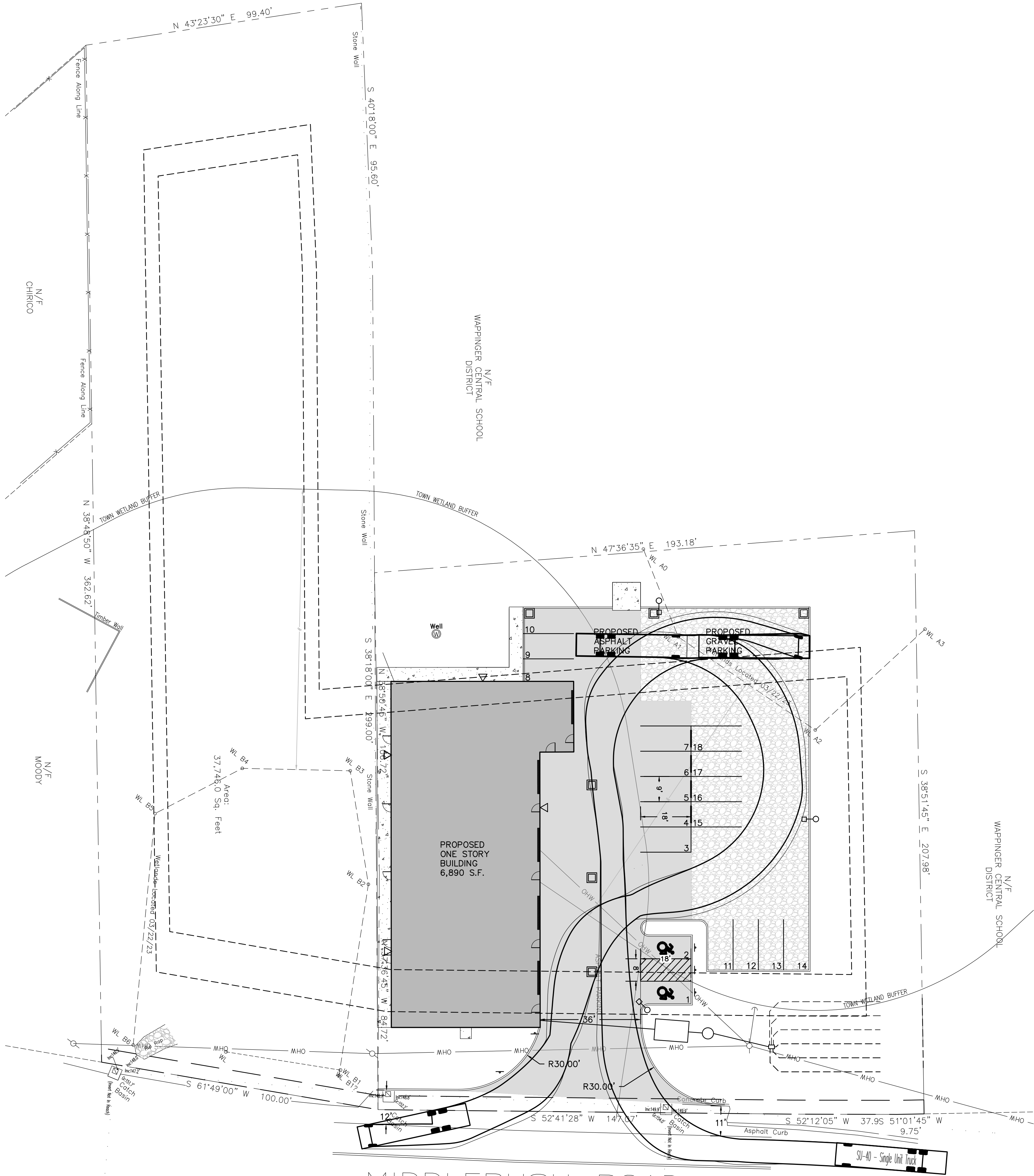
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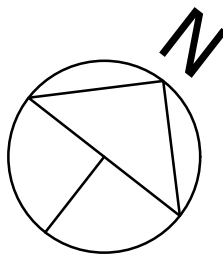
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TROY A. WOJCIKOWSKY, P.E., LEED - AP  
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TOWN OF WAPPINGER, NEW YORK





MIDDLEBUSH ROAD  
VEHICLE MANEUVERING PLAN  
SCALE: 1" = 20'-0"



VEHICLE MANEUVERING  
PLAN (2 OF 2)

REVISIONS		
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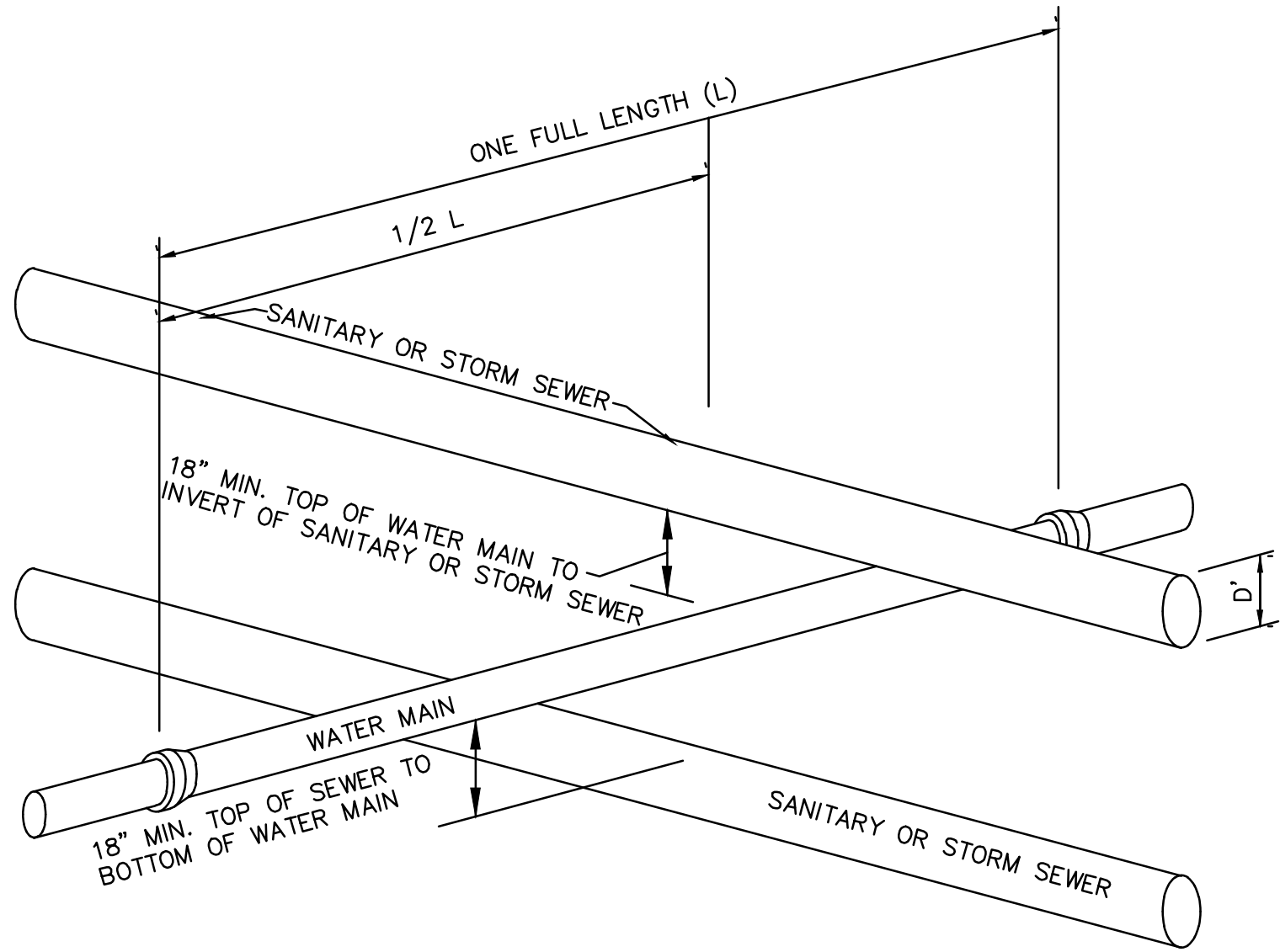
DATE:
2/7/2023
PROJECT NO.
2022-20
SCALE:
1" = 20'
DRAWING NO.
S-8.1

CONTRACTOR STORAGE BUILDING  
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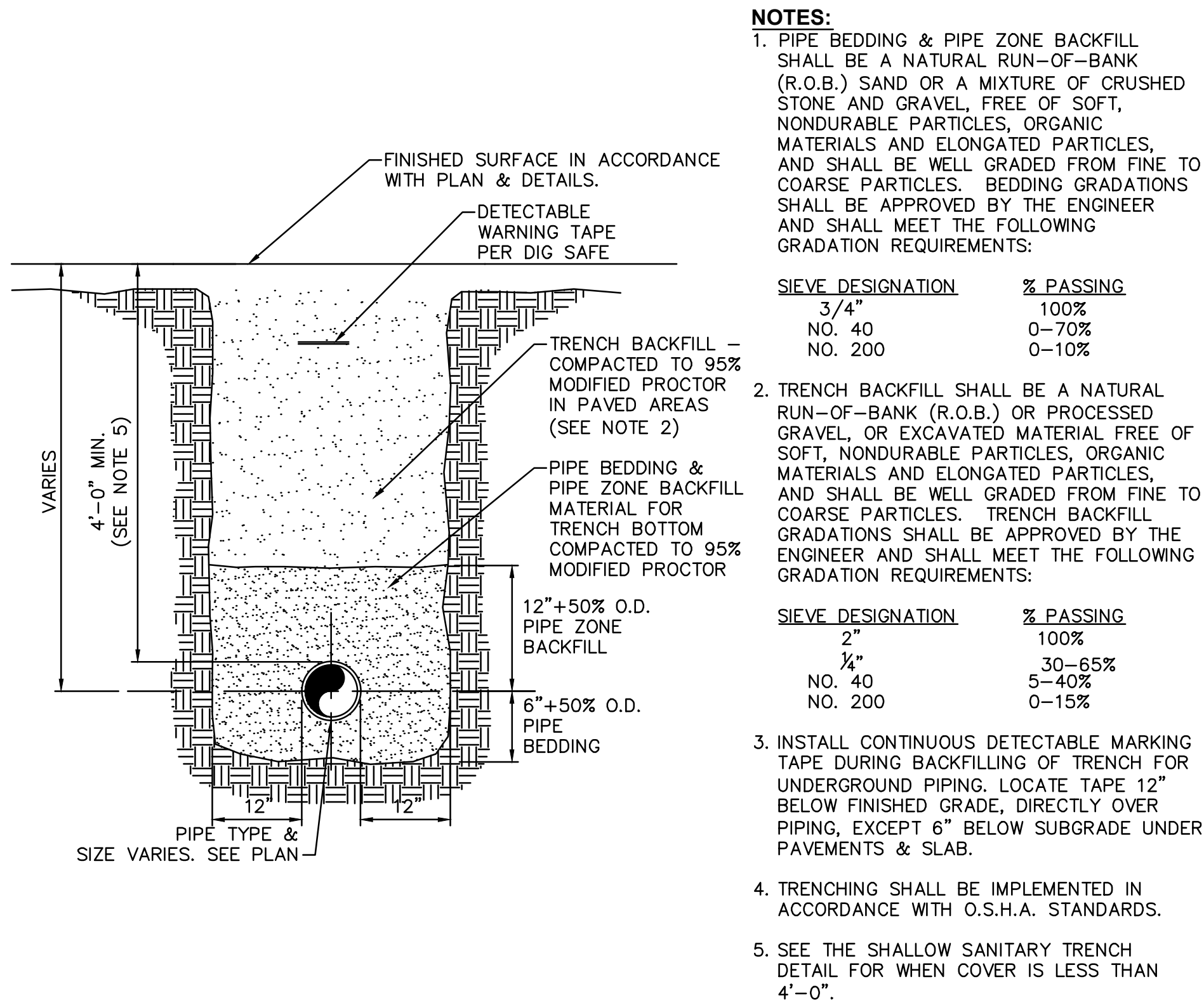




- NOTES:**
- IF 18" VERTICAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
    - CONSTRUCT SEWER OF PVC PRESSURE PIPE MATERIAL 10' ON EACH SIDE OF THE WATER MAIN/SEWER.
    - ENCASE SEWER PIPE IN CONCRETE, 4' DISTANCE ON EACH SIDE OF WATER MAIN/SEWER CROSSING. CONCRETE ENCASEMENT SHALL BE MINIMUM 6" ALL AROUND PROPOSED SEWER PIPE.
  - IF 10' HORIZONTAL SEPARATION CANNOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, THE CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:
    - THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THE 10' HORIZONTAL SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM THE SEWER AS POSSIBLE (REFER TO THE WATER LINE OFFSET DETAIL ON SHEET C-530).
    - BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CAST IRON PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS, OR ENCASED IN CONCRETE IN ACCORDANCE WITH THE NYS HEALTH DEPARTMENT REQUIREMENTS.

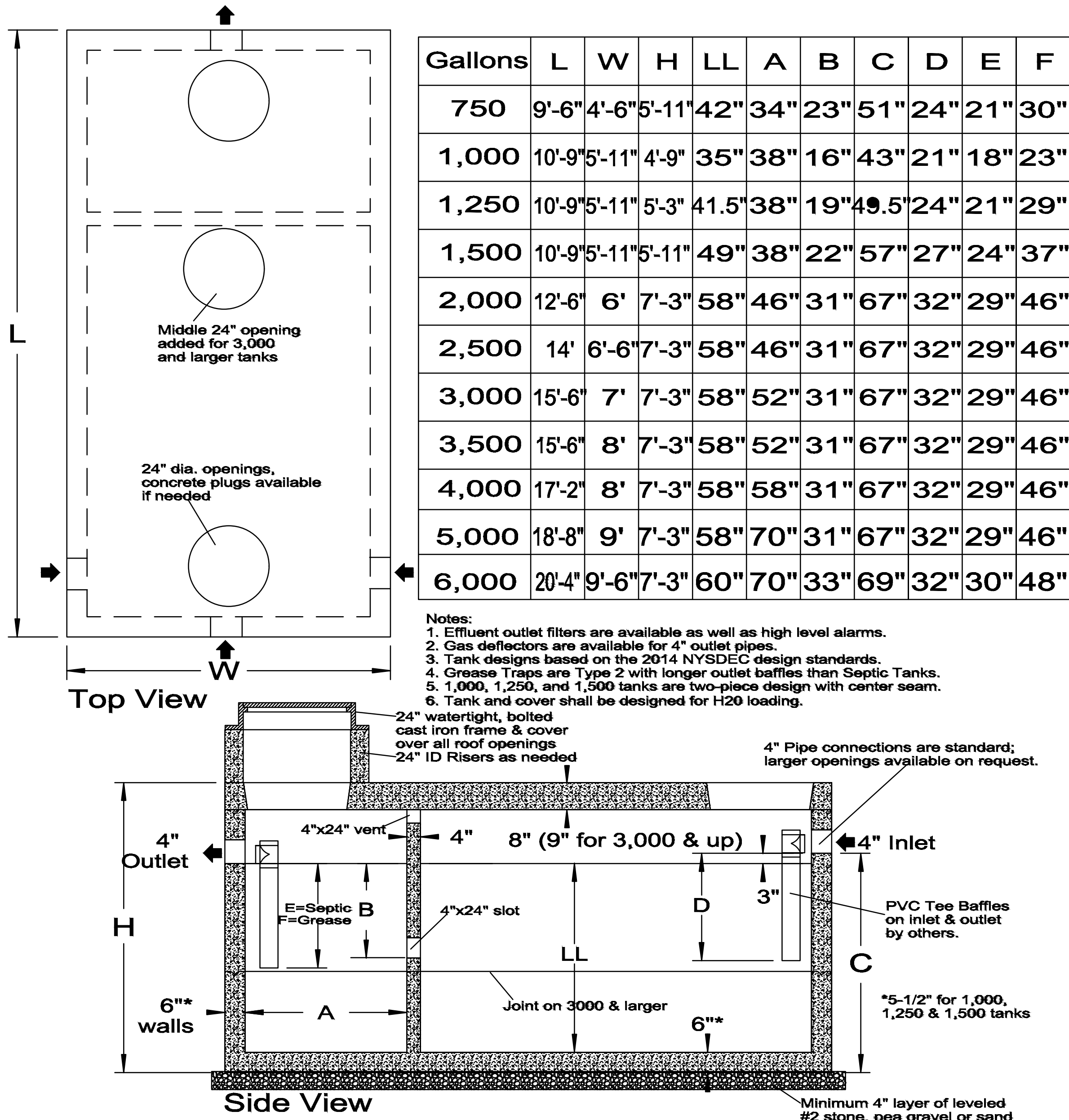
## 1 WATER/SEWER SEPARATION REQUIREMENTS

NOT TO SCALE



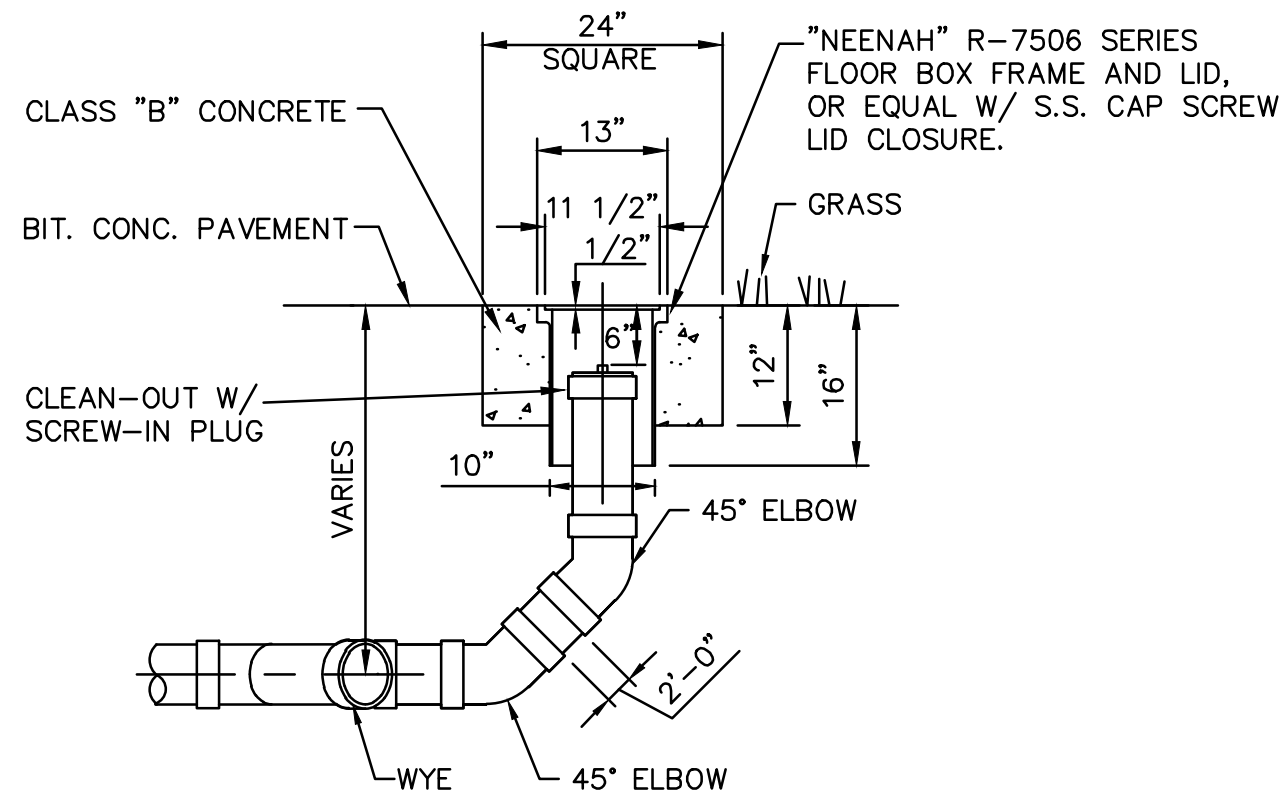
## 3 SEWER PIPE TRENCH

NOT TO SCALE



## 2 1000 GALLON SEPTIC TANK

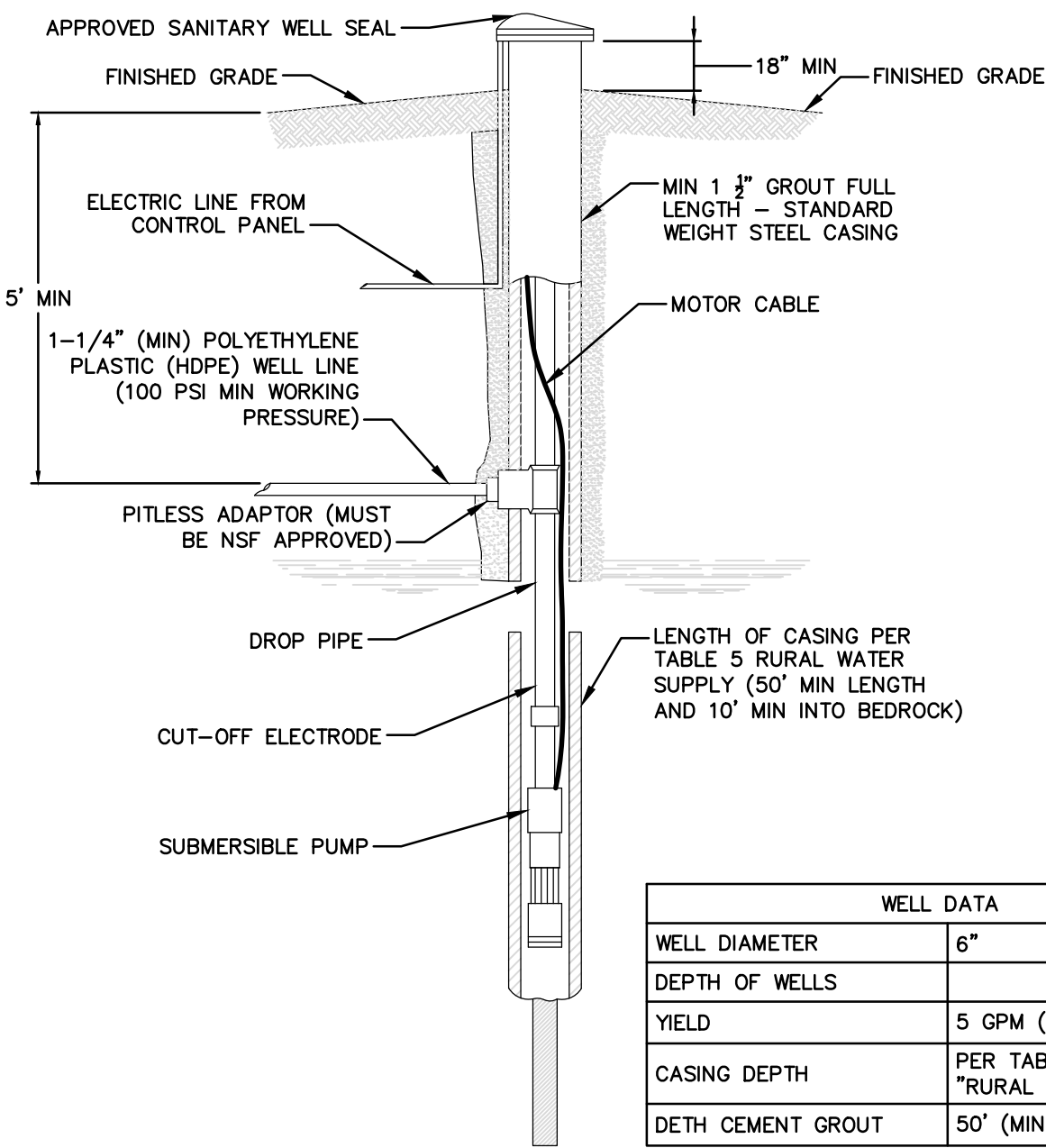
NOT TO SCALE



## 4 CLEAN OUT DETAIL

NOT TO SCALE

Gallons	L	W	H	LL	A	B	C	D	E	F
750	9'-6"	4'-6"	5'-11"	42"	34"	23"	51"	24"	21"	30"
1,000	10'-9"	5'-11"	4'-9"	35"	38"	16"	43"	21"	18"	23"
1,250	10'-9"	5'-11"	5'-3"	41.5"	38"	19"	49.5"	24"	21"	29"
1,500	10'-9"	5'-11"	5'-11"	49"	38"	22"	57"	27"	24"	37"
2,000	12'-6"	6'	7'-3"	58"	46"	31"	67"	32"	29"	46"
2,500	14'	6'-6"	7'-3"	58"	46"	31"	67"	32"	29"	46"
3,000	15'-6"	7'	7'-3"	58"	52"	31"	67"	32"	29"	46"
3,500	15'-6"	8'	7'-3"	58"	52"	31"	67"	32"	29"	46"
4,000	17'-2"	8'	7'-3"	58"	58"	31"	67"	32"	29"	46"
5,000	18'-8"	9'	7'-3"	58"	70"	31"	67"	32"	29"	46"
6,000	20'-4"	9'-6"	7'-3"	60"	70"	33"	69"	32"	30"	48"



## 5 TYPICAL DRILLED WELL IN ROCK

NOT TO SCALE

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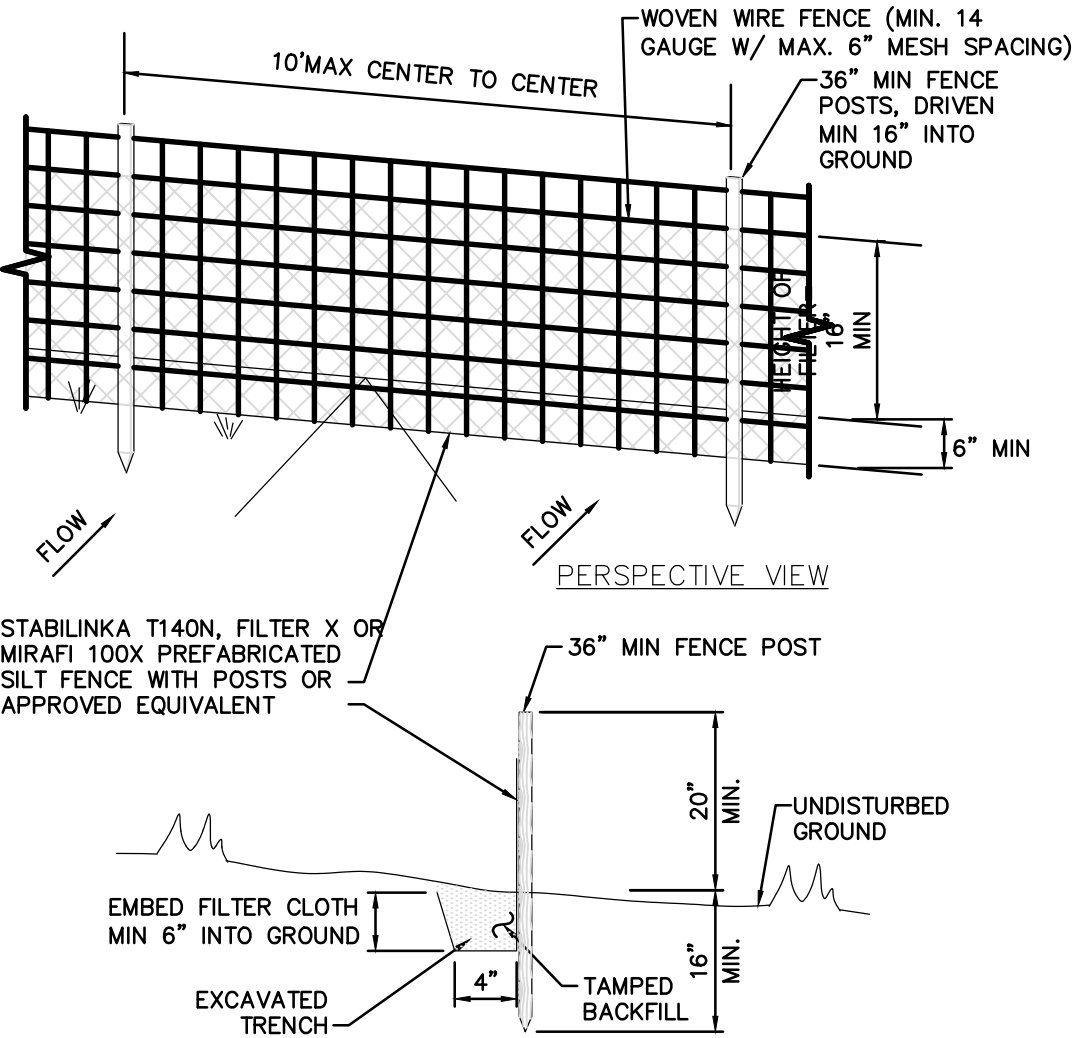
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SSDS DETAILS (DOH APPROVAL)	
DATE:	2/7/2023
PROJECT NO.	2022-20
SCALE:	1" = 20'
DRAWING NO.	S-5.1

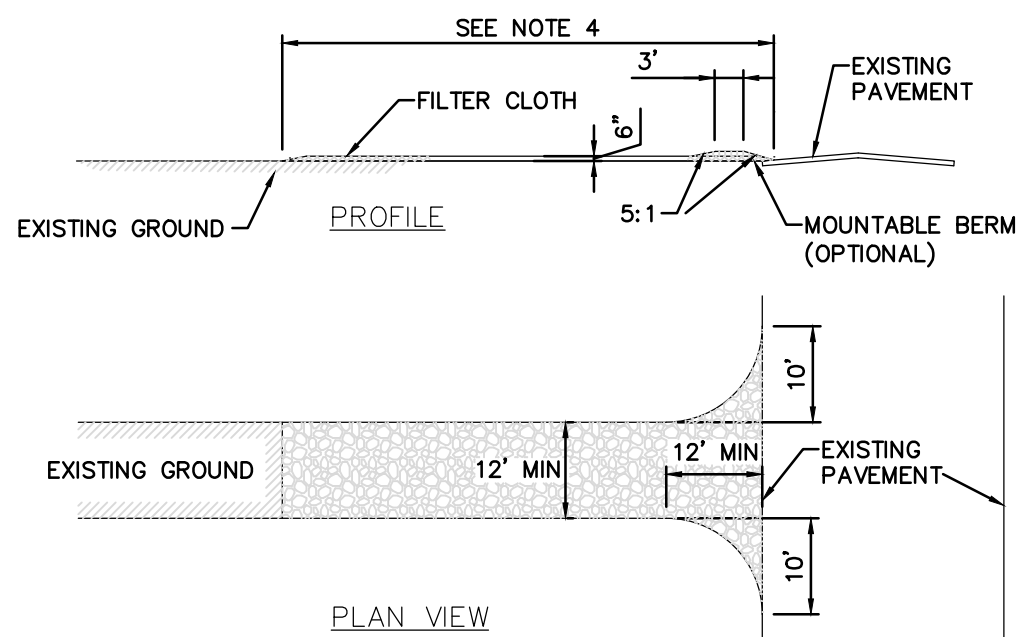




- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OR HARDWOOD.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
  4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  5. MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE.
  6. SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
  7. SILT FENCE SHALL NOT BE USED WHERE A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
  8. MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE:
- | SLOPE STEEPNESS | MAXIMUM SLOPE LENGTH(FT) |
|-----------------|--------------------------|
| 2:1             | 25                       |
| 3:1             | 50                       |
| 4:1             | 75                       |
| 5:1 OR FLATTER  | 100                      |

#### 1 SILT FENCE INSTALLATION

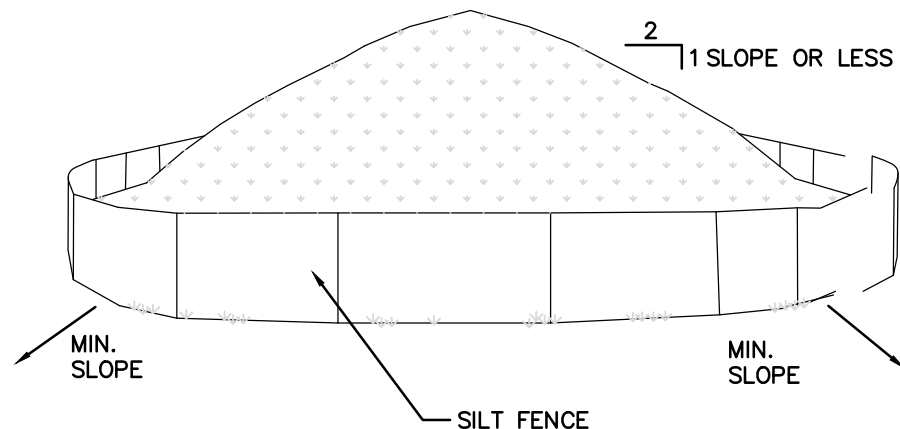
NOT TO SCALE



- CONSTRUCTION ENTRANCE SPECIFICATIONS:
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  3. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET (24) FOOT IF SINGLE ENTRANCE TO SITE.
  4. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

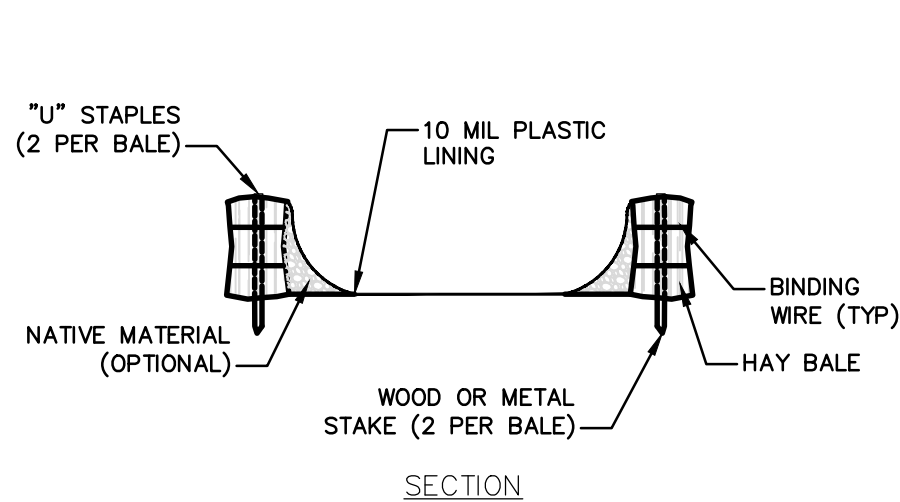
#### 2 STABILIZED CONSTRUCTION ENTRANCE

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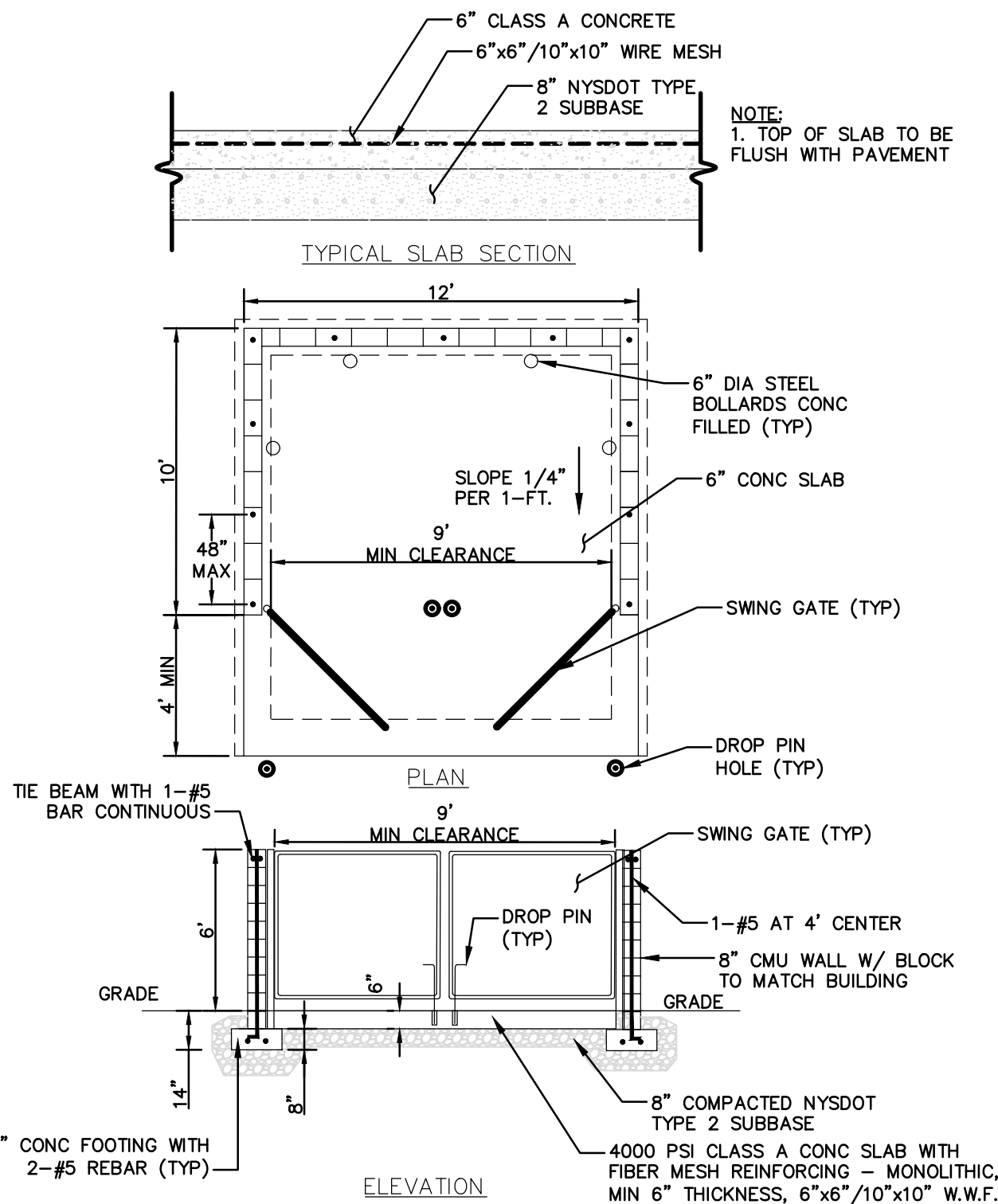
#### 3 TEMPORARY SOIL STOCKPILE

NOT TO SCALE



#### 4 ABOVE GROUND TEMPORARY CONCRETE WASHOUT FACILITY

NOT TO SCALE



#### 5 DUMPSTER ENCLOSURE WITH CONCRETE PAD

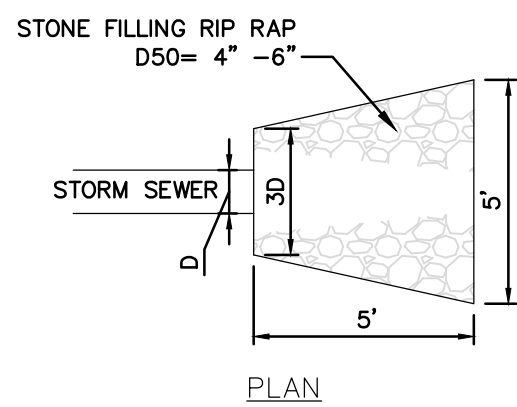
NOT TO SCALE

##### DUMPSTER ENCLOSURE NOTES:

1. WALLS  
A.) NEW CONSTRUCTION: MAXIMUM 6'-0" HIGH AND CONSTRUCTED OF CONCRETE BLOCK (8"x8"x16"). MATERIALS USED SHOULD BE CONSISTENT WITH THOSE USED IN THE CONSTRUCTION OF AND ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING.
2. FOOTINGS  
8"x16" CONCRETE W/2-#5 CONTINUOUS REBAR IMBEDDED.
3. CONCRETE SLAB  
MONOLITHIC, MIN. 6" THICKNESS W/IMBEDDED 6"x6"/10X10 WELDED WIRE FABRIC (W.W.F.), 3000 P.S.I. WITH FIBER MESH REINFORCING.
4. CONCRETE FILLED CELLS  
WITH 1-#5 VERTICAL REBAR TIED TO FOOTER STEEL AT EACH CORNER AND EVERY 4' O.C.
5. GATES  
CONSTRUCTED OF MIN. 1-1/2" DIAMETER GALVANIZED TUBULAR STEEL W/PRIVACY-TYPE SLATS INSERTED IN GALVANIZED STEEL MESH FABRIC, HINGE-MOUNTED ON MIN. 3" DIAMETER GALVANIZED STEEL POST. (GATES AND POST CONSTRUCTED AND INSTALLED PER APPLICABLE BUILDING CODE BY LICENSED FENCE CONTRACTOR).
6. DROP PIN  
1/2" DIA. 18" LONG METAL ROD GATE LATCH. PROVIDE 3/4" DIA. HOLE 6" INTO CONCRETE FOR RODS. IN ASPHALT PROVIDE A 3/4" P.V.C. SLEEVE, 6" LONG, OR EQUAL.
7. SOIL  
SOIL BEARING CAPACITY TO BE AT LEAST 2,500 P.S.F.
8. BOLLARD  
3'-6" HIGH, 6" DIAMETER STEEL PIPE BOLLARD FILLED WITH CONCRETE, PAINTED TRAFFIC YELLOW, IMBEDDED 3'-0" DEEP IN 18" CONCRETE FOUNDATION. (SEE DETAIL)

##### CONCRETE MASONRY WALL CONSTRUCTION

- MATERIALS, CONSTRUCTION AND QUANTITY CONTROL OF MASONRY SHALL BE IN ACCORDANCE WITH UNIFORM BUILDING CODE (UBC), CHAPTER 24. GENERAL CONDITIONS AND CONSTRUCTION REQUIREMENTS SHALL BE APPLIED AS SPECIFIED IN UBC, SECTION 2404 (F), DURING GROUTED MASONRY WORK.
1. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60. VERTICAL REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL, AND SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM.
  2. IF A SLAB DOWEL DOES NOT LINE-UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICALS (1:6).
  3. HORIZONTAL WALL REINFORCEMENT SHALL BE STANDARD TRUSS TYPE DWR-O-WALL (OR EQUIVALENT) AT 16" O.C.
  4. HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C-90, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,900 PSI.
  5. MORTAR SHALL BE TYPE M OR S, IN ACCORDANCE WITH ASTM C-270. PLACE ALL MASONRY IN RUNNING BOND WITH 3/8" MORTAR JOINTS. PROVIDE COMPLETE COVERAGE FACE SHELL MORTAR BEDDING, HORIZONTAL AND VERTICAL.
  6. COARSE GROUT SHALL CONFORM TO ASTM C-476, WITH A MAXIMUM AGGREGATE SIZE OF 3/8", 8" TO 10" SLUMP, AND A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS.
  7. MINIMUM 3" X 3" CLEAN-OUT HOLES (SAW-CUT) ARE REQUIRED AT THE BOTTOM COURSE OF ALL CELLS TO VERIFY GROUT PLACEMENT. CLEAN-OUTS SHALL BE SEALED AFTER MASONRY INSPECTION-PROVIDED IN ACCORDANCE WITH ACI 531-4.6, AND BEFORE GROUTING.
  8. PRIOR TO GROUTING, THE GROUT SPACE SHALL BE CLEAN, WITH NO MORTAR PROJECTIONS GREATER THE 1/4", MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. ALL CELLS SHALL BE IN VERTICAL ALIGNMENT, AND SHALL SOLIDLY BE FILLED WITH COARSE GROUT AS SPECIFIED.
  9. DURING PLACING, GROUT SHALL BE CONSOLIDATED WITH FLEXIBLE CABLE VIBRATOR. FIRST GROUT POUR SHALL BE STOPPED A MINIMUM OF 1 - 1/2" BELOW THE TOP OF THE MIDDLE BOND BEAM MASONRY.



#### 6 RIP-RAP OUTLET PROTECTION DETAIL

NOT TO SCALE

### E&S CONTROL NOTES:

1. THE OPERATOR (SITE CONTRACTOR) SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
2. CONSTRUCTION VEHICLES AND EQUIPMENT ENTERING AND EXITING THE SITE MUST ENTER AND EXIT AT THE STABILIZED CONSTRUCTION ENTRANCE ONLY. MEASURES MUST BE TAKEN TO PREVENT SOIL AND SEDIMENT FROM A VEHICLE'S TIRES FROM BEING DEPOSITED ONTO PUBLIC ROADS.
3. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTION OF ALL BEST PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE TOWN OF HYDE PARK COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING, AND RE-STABILIZATION SHALL BE PERFORMED IMMEDIATELY.
4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
5. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE TOWN OF WAPPINGER.
6. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND APPROVED BY THE TOWN OF WAPPINGER, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
7. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
8. EROSION AND SEDIMENT BMPS (BEST MANAGEMENT PRACTICES) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS.
9. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
10. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
11. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
12. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

##### BMPS - AFTER DISTURBANCE

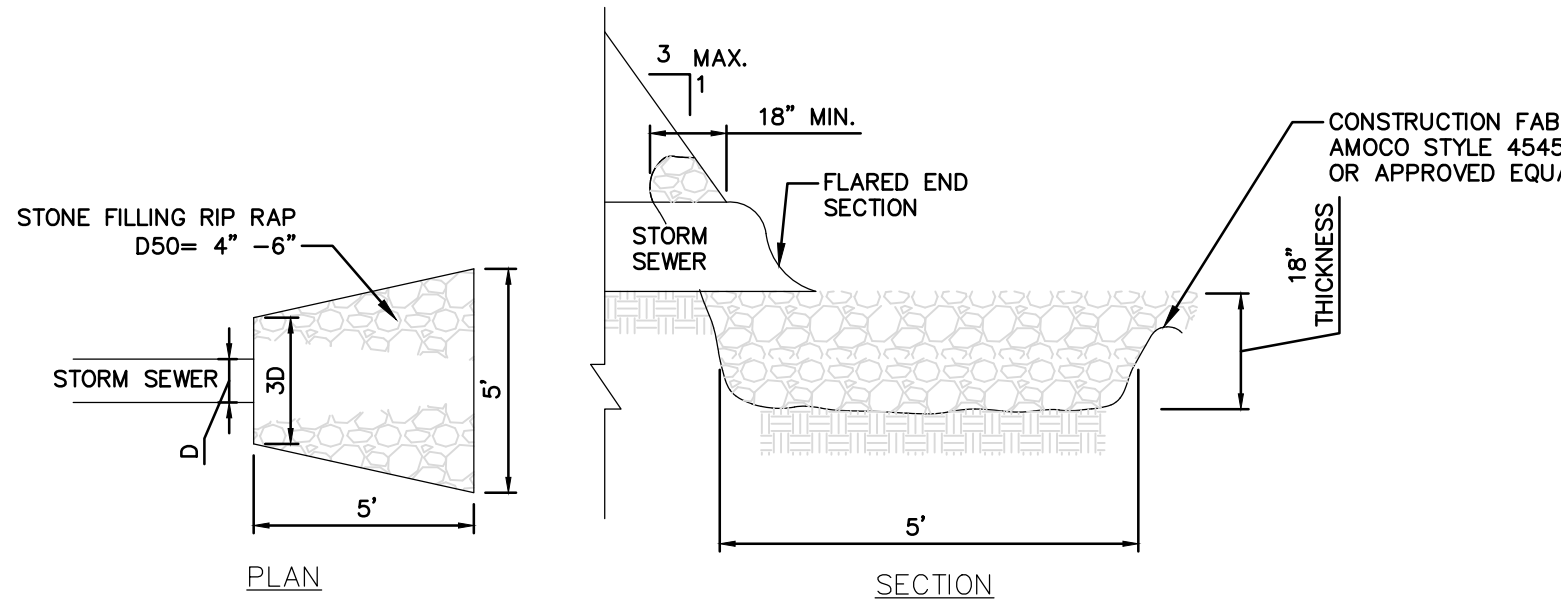
1. WITHIN FOURTEEN (14) DAYS OF DISTURBANCE, WHEN FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPS MUST BE STABILIZED IMMEDIATELY.
2. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

##### PERMANENT STABILIZATION SEED MIXTURE

PERMANENT SEED MIXTURE	SPECIES	
	TALL FESCUE OR	44
	KENTUCKY BLUEGRASS	130
	PERENNIAL RYEGRASS	44

##### PERMANENT SEEDING SCHEDULE:

1. TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
2. TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
3. FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SF



### EROSION CONTROL DETAILS

REVISIONS		
NO.	DATE	DESCRIPTION
1	2/07/22	PER CONSULTANT COMMENTS
2	9/06/23	PER CONSULTANT COMMENTS
3	10/14/23	PER CONSULTANT COMMENTS

DATE:	2/7/2023
PROJECT NO.	2022-20
SCALE:	1" = 20'
DRAWING NO.	S-6.1

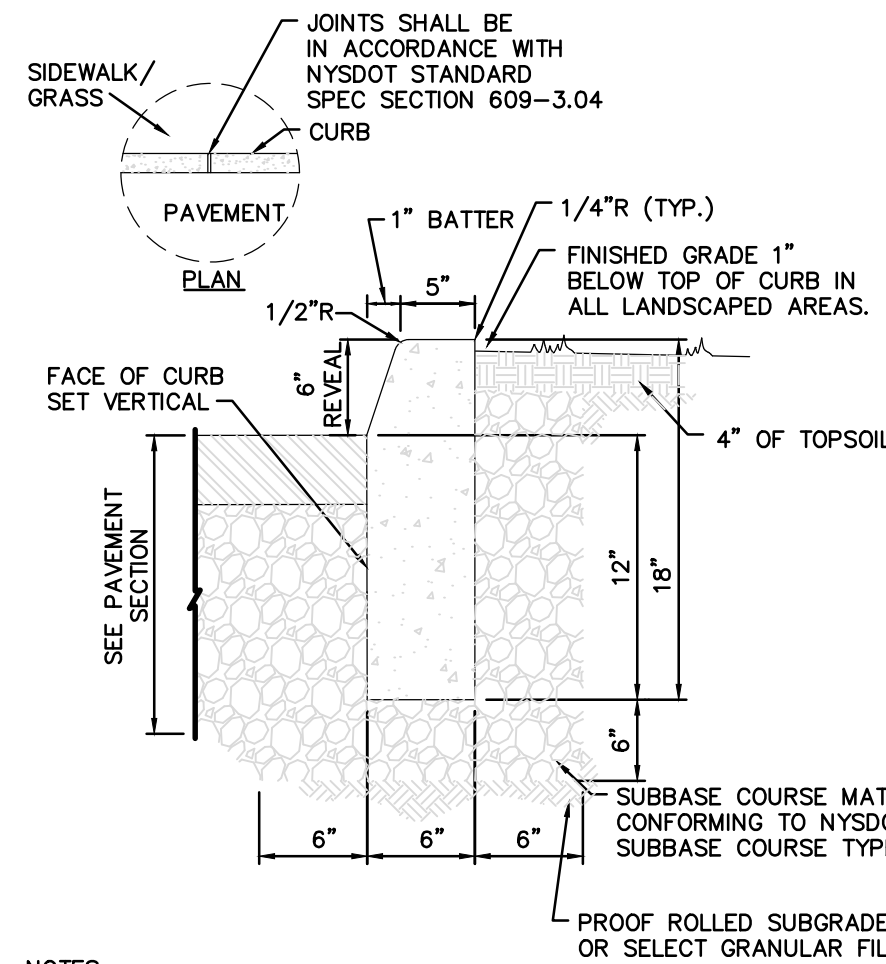
### CONTRACTOR STORAGE BUILDING

33 MIDDLEBUSH LLC  
33 MIDDLEBUSH ROAD  
TOWN OF WAPPINGER, NEW YORK

**TW ENGINEERING, P.C.**  
P.O. BOX 913  
WAPPINGER FALLS, NY 12590  
845-594-1529  
TROY A. WOJCIEKOWSKY, P.E., LEED - AP  
CONSULTING ENGINEER

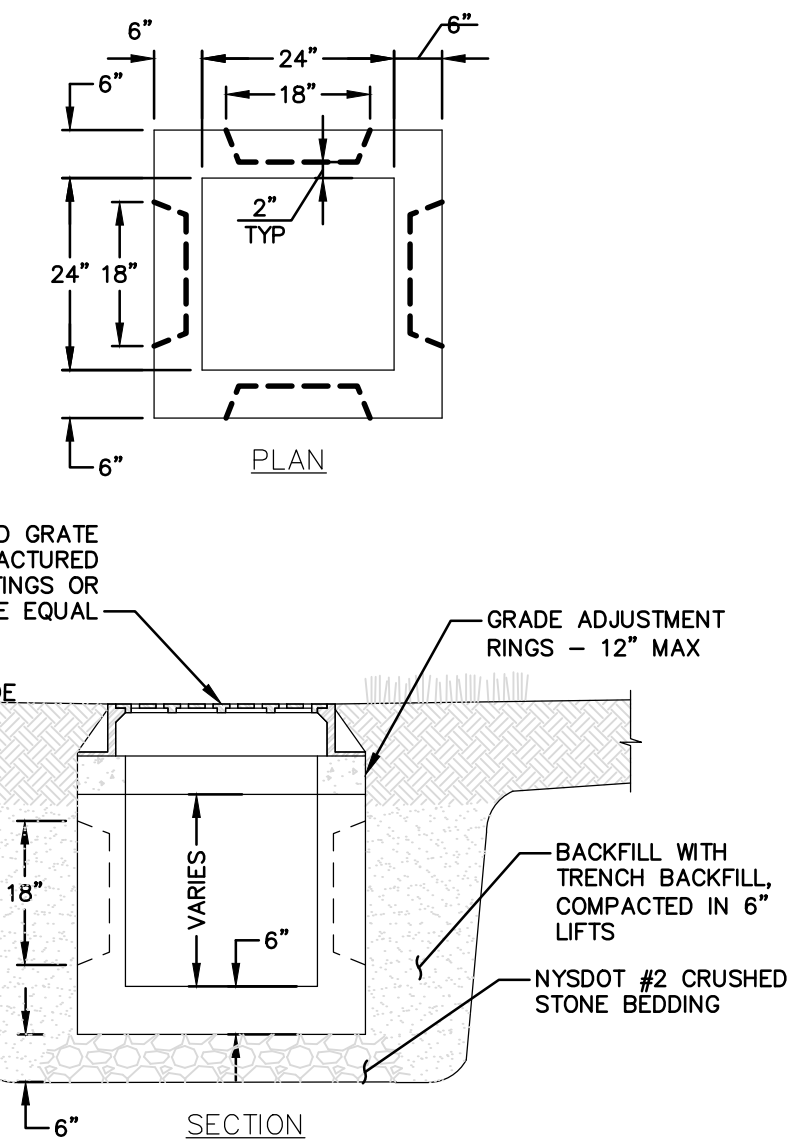
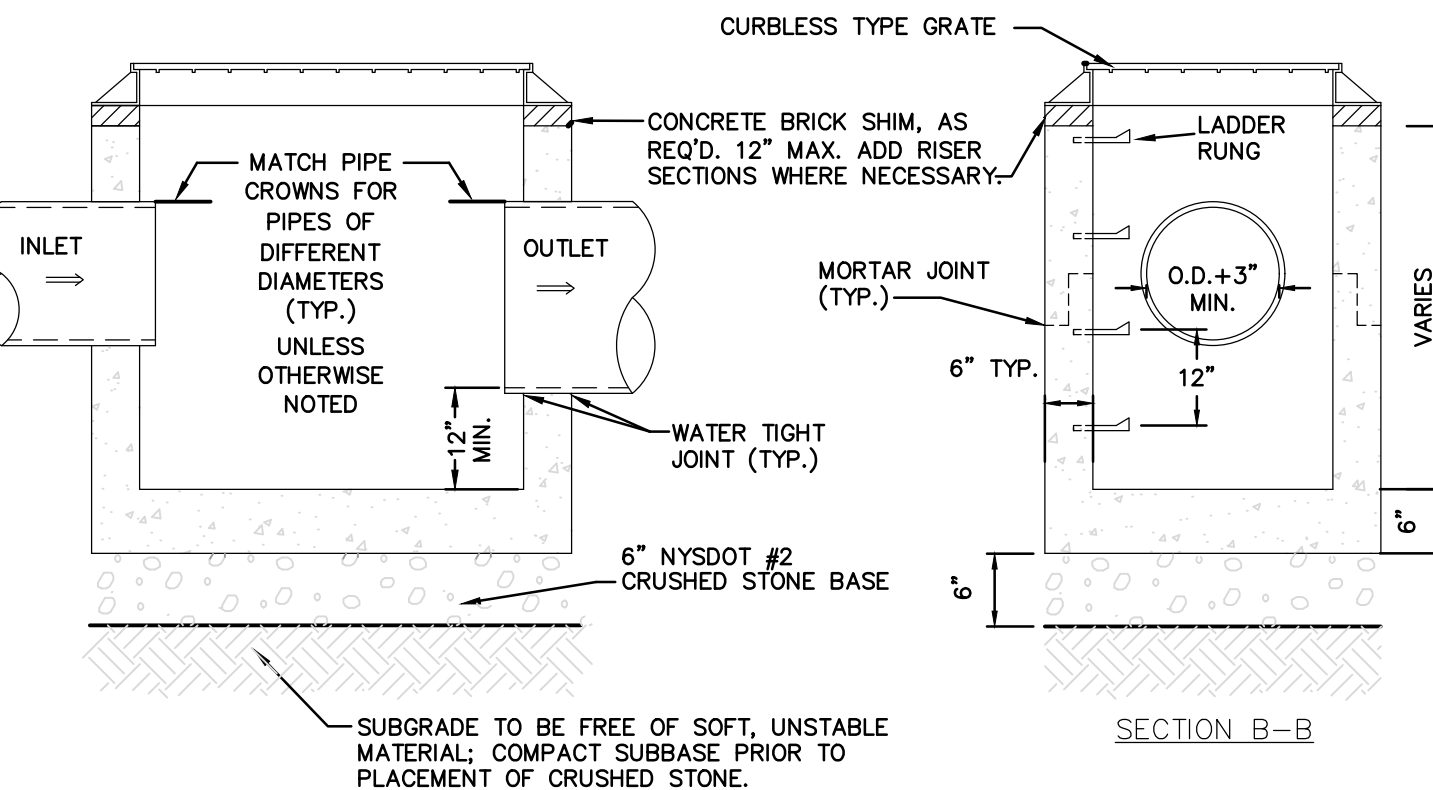
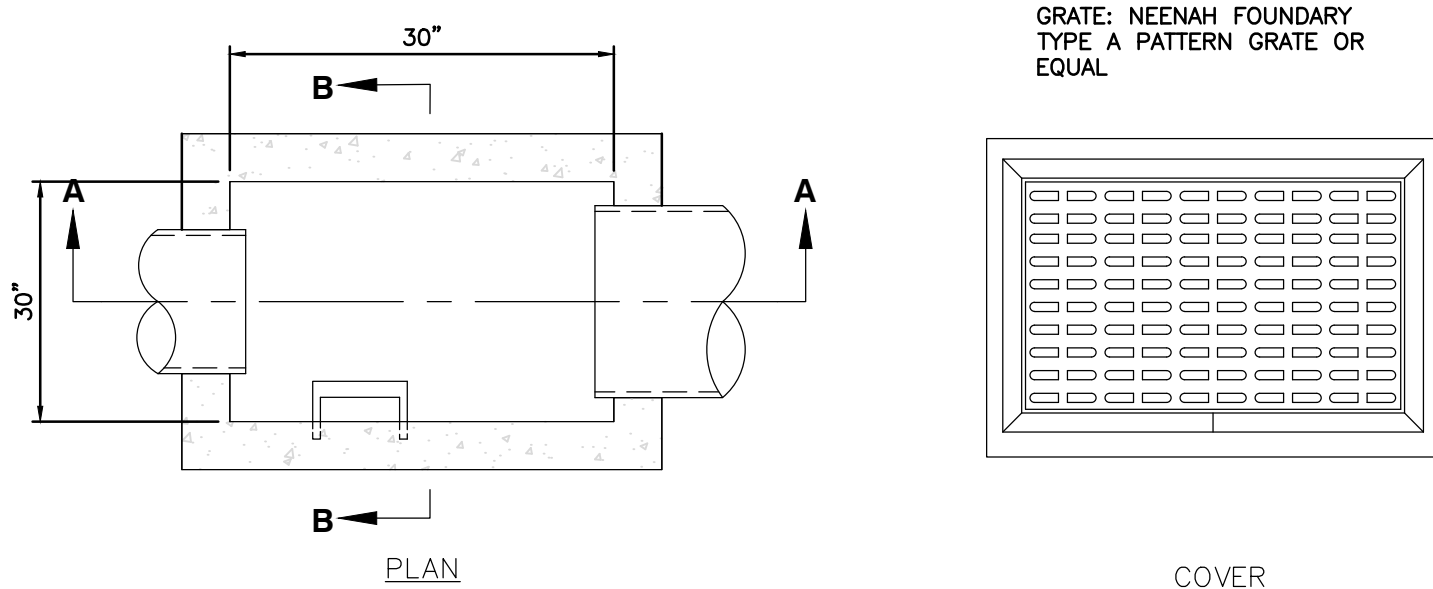
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- NOTES:
1. CONCRETE CURB SHALL BE IN ACCORDANCE WITH NYSOT STANDARD SPECIFICATION SECTION 609.
  2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

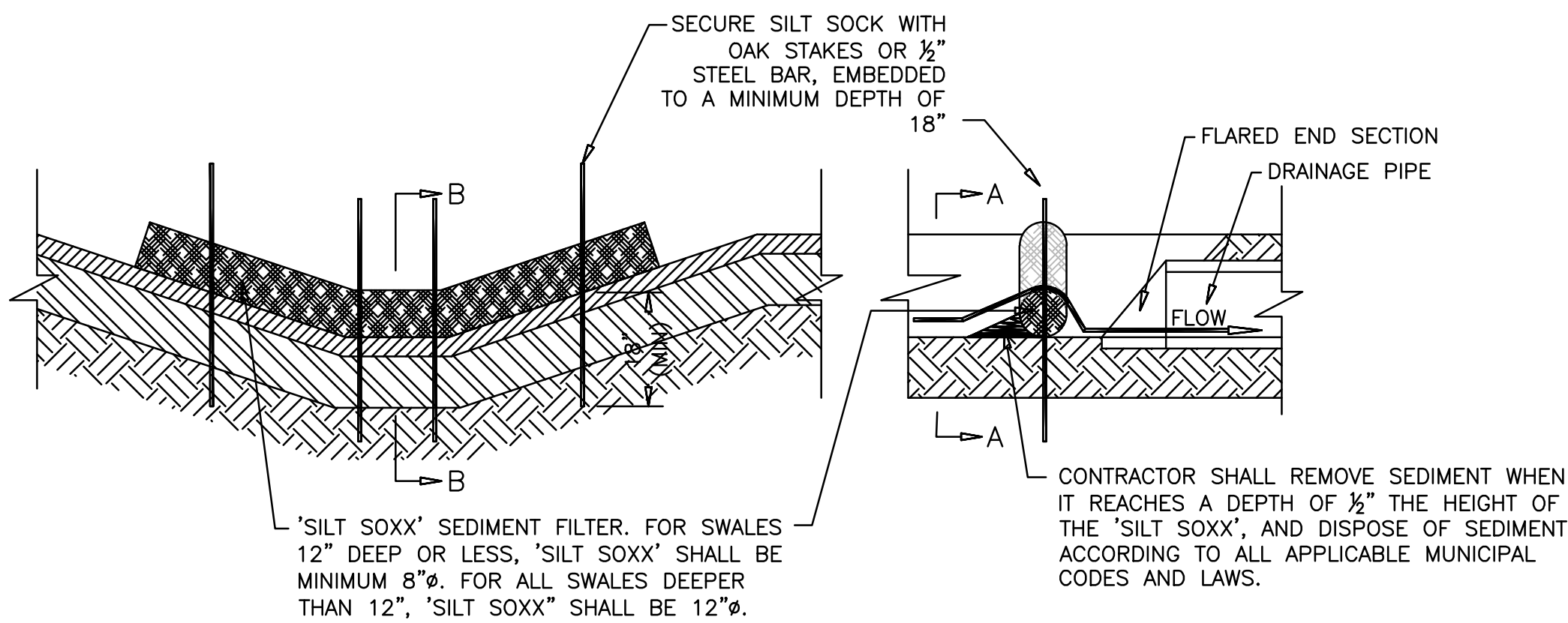
1 SITE CAST IN PLACE CONCRETE CURB  
NOT TO SCALE



- NOTES:
1. MAX STORM SEWER PIPE FOR YARD INLET DRAIN IS 12".
  2. YARD INLET BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE TOP OF THE CONCRETE BASE, SHALL BE PROVIDED WITH STEPS.
  3. YARD INLET BASINS SHALL BE PRECAST CONCRETE.

3 YARD INLET BASIN  
NOT TO SCALE (SURFACE TREATMENT AND GRATE STYLE DETAIL)

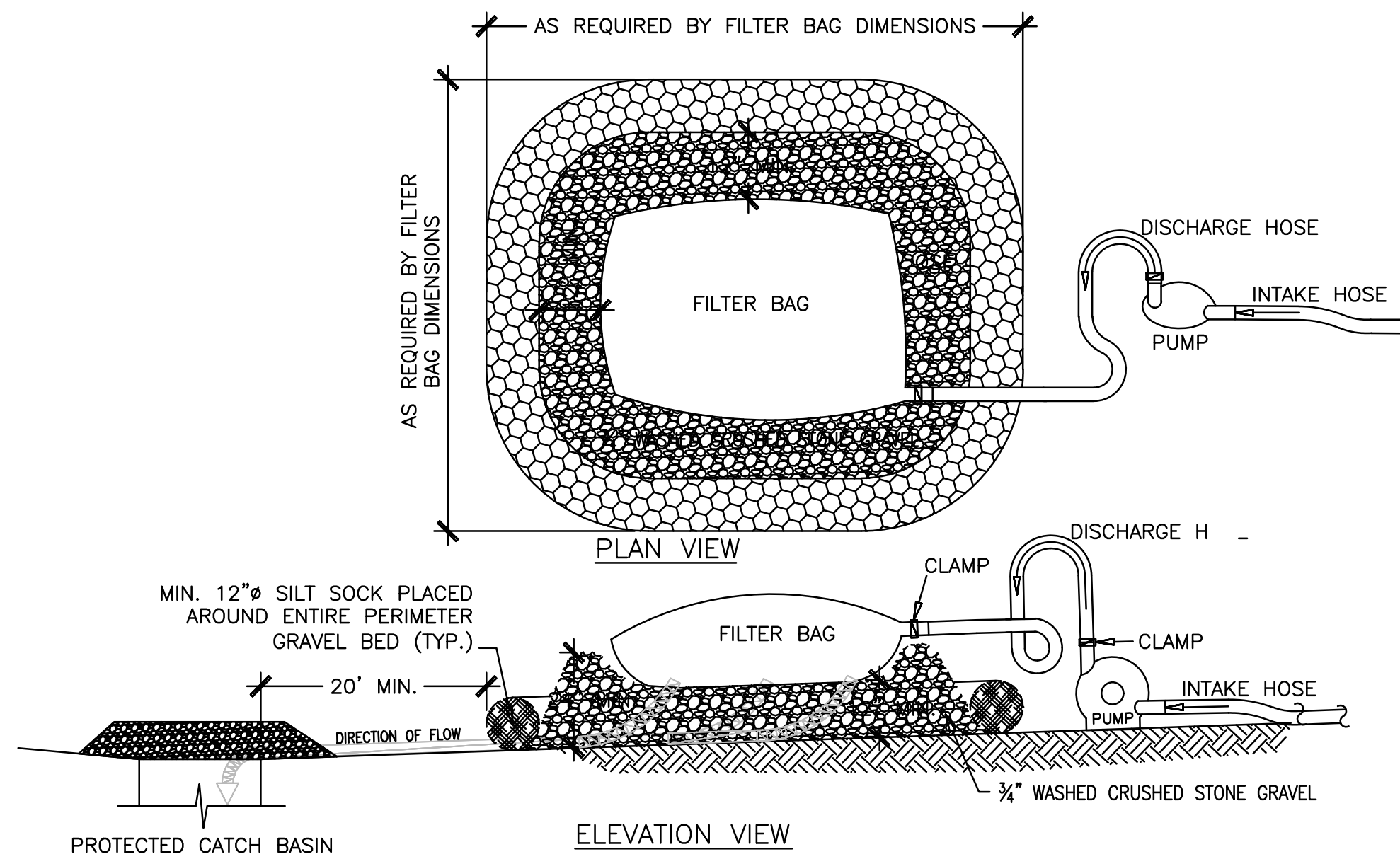
4 PRECAST CONCRETE CATCH BASIN  
NOT TO SCALE



- NOTES:
1. SILT SOCK SHALL BE "SILTSOCK" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.

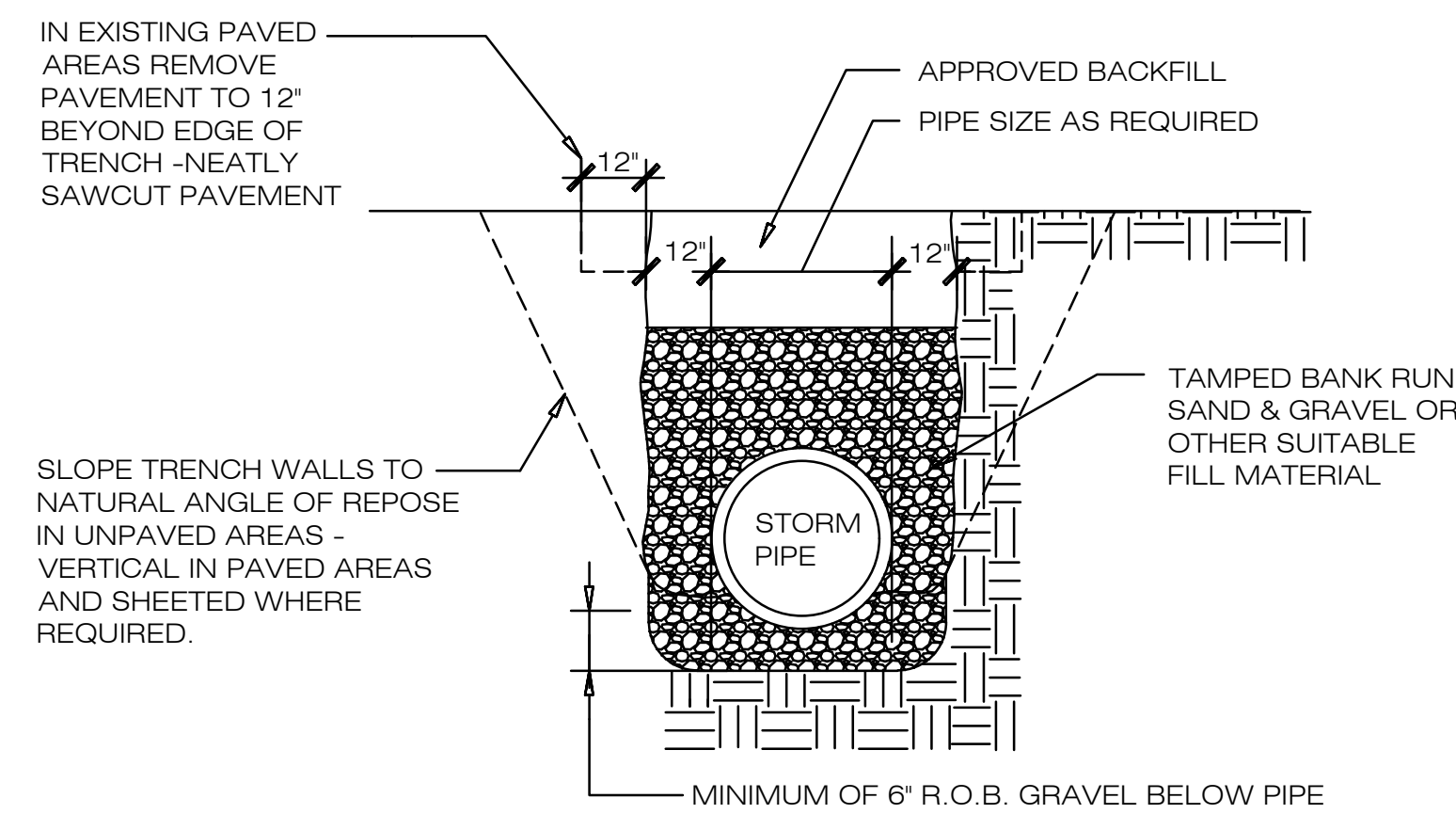
5 SWALE AND PIPE ENTRANCE SEDIMENT PROTECTION DETAIL  
NOT TO SCALE

2 CATCH BASIN PROTECTION DETAIL  
NOT TO SCALE

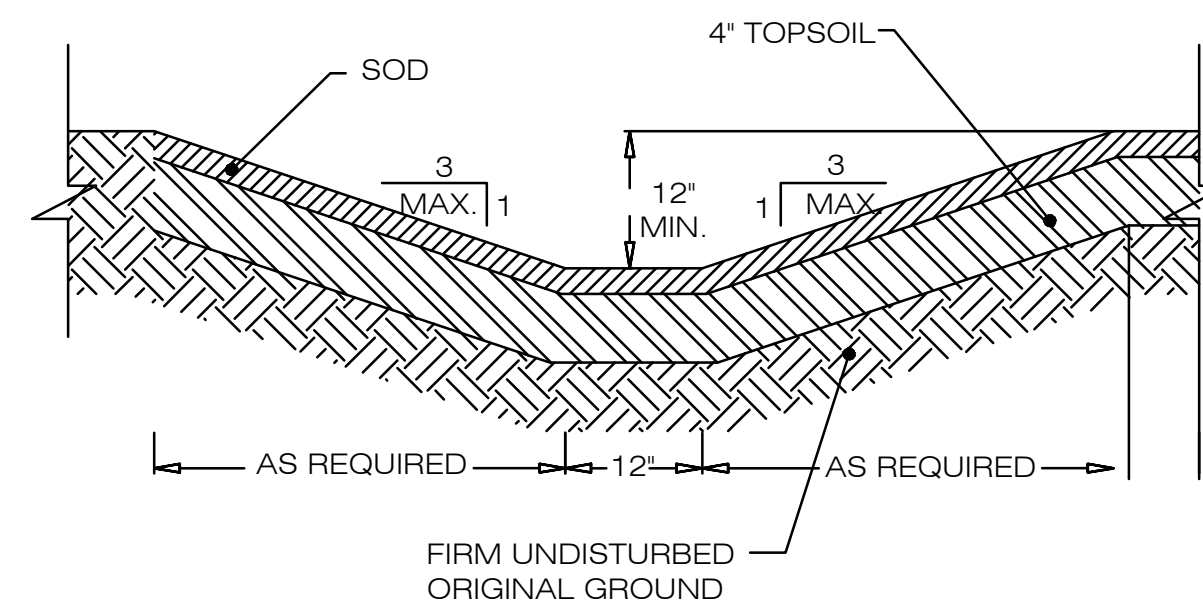


- NOTES:
1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEO-TEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
  2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
  3. BAGS SHALL BE LOCATED ON GRAVEL BEDS CONSTRUCTED OF A MINIMUM THICKNESS OF 12" OF 3/4" WASHED CRUSHED STONE GRAVEL, LOCATED A MINIMUM OF 20' FROM ANY DRAINAGE STRUCTURE RELIEVING THE WATER FROM THE DEWATERING PROCESS, SUCH DRAINAGE STRUCTURE ALSO BEING PROTECTED AS REQUIRED AND SHOWN IN DETAILS ELSEWHERE IN THESE PLANS. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
  4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
  5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.
  6. SILT SOCKS SHALL BE "SILTSOCK" AS MANUFACTURED BY FILTREXX, INC. OR APPROVED EQUAL.
  7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

6 DEWATERING - FILTER BAG DETAIL  
NOT TO SCALE



7 TYPICAL TRENCH - STORM DRAINAGE  
NOT TO SCALE



8 TYPICAL SWALE CROSS SECTION  
NOT TO SCALE

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EROSION CONTROL  
DETAILS 2

DATE:  
2/7/2023  
PROJECT NO.  
2022-20  
SCALE:  
1" = 20'  
DRAWING NO.  
S-6.2