

STANDARD NOTES FOR RESIDENTIAL PROJECTS (ONSITE WATER SOURCE & SEWAGE DISPOSAL)

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

"APPENDIX 75-A, WASTE TREATMENT – INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE 'SANITARY CODE.'"

"NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS"; NYSDEC

"RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS, DESIGN HANDBOOK"; NEW YORK STATE DEPARTMENT OF HEALTH.

"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT"; NEW YORK STATE DEPARTMENT OF HEALTH.

"NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."

"DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."

"DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."

THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES; AND, AS A CONDITION OF THIS APPROVAL, A CONSTRUCTION INSPECTION BY A REPRESENTATIVE OF THE DC EHSO SHALL BE DONE TO DETERMINE THAT CONSTRUCTION AT THE TIME OF INSPECTION WAS COMPLETED IN GENERAL CONFORMANCE WITH THE APPROVED PLANS AND ANY AMENDMENT THEREOF.

APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL, RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

THE DC EHSO SHALL BE CONTACTED PRIOR TO THE COMMENCEMENT OF THE HOME CONSTRUCTION AND/OR ISSUANCE OF A BUILDING PERMIT FOR A PRE-CONSTRUCTION INSPECTION TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.

ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS, EXISTING OR APPROVED, LOCATED WITHIN 300 FEET OF THE PROPOSED WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.

IF THE TANK IS DELIVERED TO THE SITE IN SECTIONS, THEN IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHSO FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.

ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM OR WITHIN 50 FEET OF ANY WELL.

ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.

THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE ONSITE WASTEWATER TREATMENT SYSTEM. PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED OUT AND FENCED OFF.

ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.

ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

DRAWING INDEX:

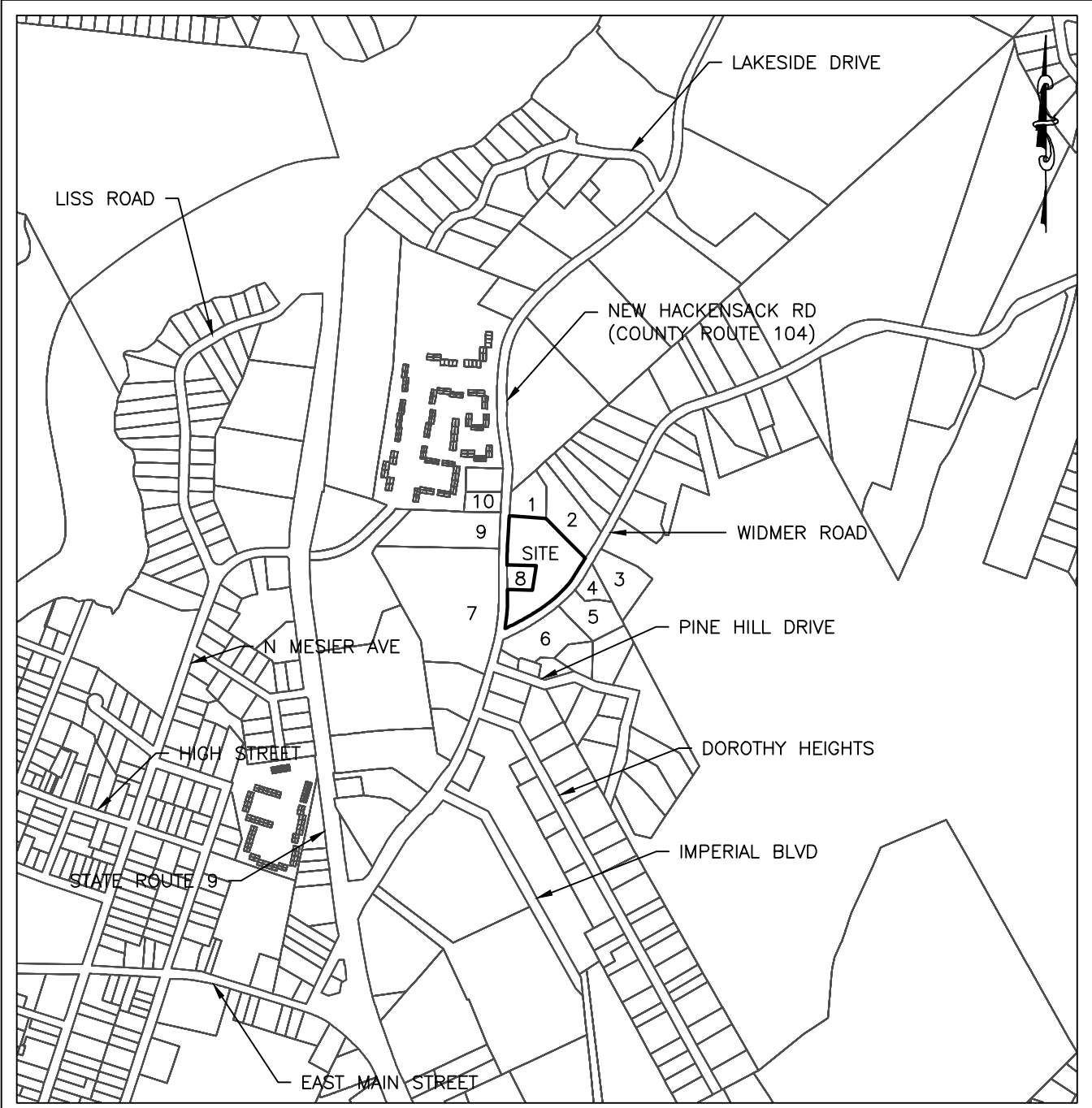
- SHEET 1: COVER SHEET (CV-1)
SHEET 2: EXISTING CONDITIONS PLAN (XC-1)
SHEET 3: PRELIMINARY SUBDIVISION PLAN (SP-1)
SHEET 4: EROSION & SEDIMENT CONTROL PLAN (ESC-1)
SHEET 5: PROFILES (PR-1)
SHEET 6: CONSTRUCTION DETAILS (CD-1)
SHEET 7: PRELIMINARY SUBDIVISION PLAT (PL-1)

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY

SUBEN LLC SUBDIVISION
RESIDENTIAL SUBDIVISION

NEW HACKENSACK AND WIDMER ROAD
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

PARCEL INFORMATION:
TAX ID: 6158-04-632426
TOTAL LOT AREA: ±3.42 ACRES
ZONING DISTRICT: R-20



SITE LOCATION MAP SCALE: 1" = 800'

ADJOINING OWNERS:	
PARCEL:	OWNER & ADDRESS
1.	MICHAEL J. MCKINNEY, 44 NEW HACKENSACK RD, WAPPINGERS FALLS, NY 12590
2.	JEFFREY V. PIERING & ANDREA E. PIERING 13 WIDMER ROAD, WAPPINGERS FALLS, NY 12590
3.	JASON LIPIRO, 2557 SOUTH AVENUE, WAPPINGERS FALLS, NY 12590
4.	GARY DUNCAN & CAROL BERNADETTE DUNCAN, 12 WIDMER ROAD, WAPPINGERS FALLS, NY 12590
5.	STANLEY S. AUGIE JR. & INES E. AUGIE, 10 WIDMER ROAD WAPPINGERS FALLS, NY 12590
6.	RONALD J. VYCITAL, 4 WIDMER ROAD, WAPPINGERS FALLS, NY 12590
7.	REDL REAL ESTATE LLC, 80 WASHINGTON STREET, POUGHKEEPSIE NY 12601
8.	JAMES W. WEISS, 247 PLEASANT RIDGE ROAD, POUGHQUAG, NY 12570
9.	REDL REAL ESTATE LLC, 80 WASHINGTON STREET, POUGHKEEPSIE NY 12601
10.	JENNIFER PRICHINELLO, 45 NEW HACKENSACK ROAD, WAPPINGERS FALLS, NY 12590

PROJECT ENGINEER:
HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926
F: 845-440-6637

OWNER/APPLICANT:
SUBEN, LLC.
136 FULTON STREET
POUGHKEEPSIE, NY 12601
PH: 845.297.4700

PROJECT SURVEYOR:
HALFMOON LAND SURVEYING
33 HUCKLEBERRY TPK
WALLKILL, NEW YORK 12589
PH: 845.261.1150

OWNER'S CONSENT:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

THEODORE BENONI (SUBEN, LLC) DATE

SUBEN, LLC SUBDIVISION
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE

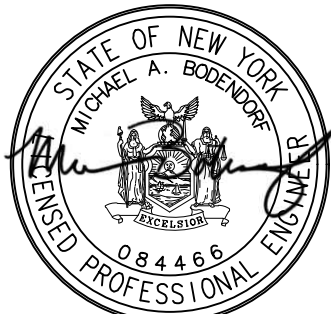
_____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

_____ CHAIRMAN

DCBCH APPROVAL BLOCK

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926



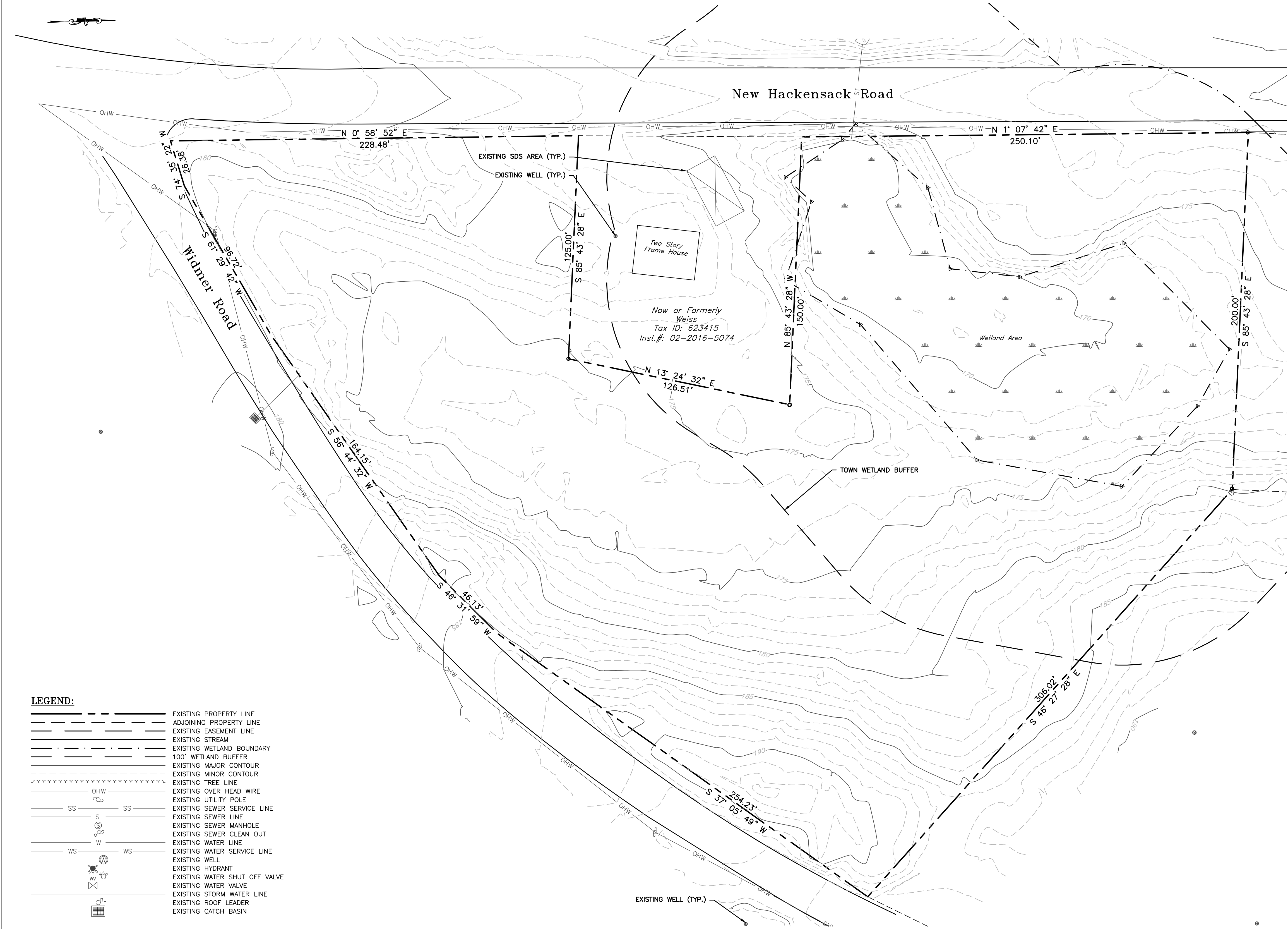
SEAL



EXISTING CONDITIONS PLAN
SUBEN LLC SUBDIVISION

NEW HACKENSACK ROAD
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK
TAX ID: 6158-04-632426

JOB #:	2023:031
DATE:	2/5/2024
SCALE:	AS SHOWN
TITLE:	CV-1
SHEET:	1 OF 7



- LEGEND:**
- EXISTING PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING STREAM
 - EXISTING WETLAND BOUNDARY
 - 100' WETLAND BUFFER
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING TREE LINE
 - EXISTING OVER HEAD WIRE
 - EXISTING UTILITY POLE
 - EXISTING SEWER SERVICE LINE
 - EXISTING SEWER LINE
 - EXISTING SEWER MANHOLE
 - EXISTING SEWER CLEAN OUT
 - EXISTING WATER LINE
 - EXISTING WATER SERVICE LINE
 - EXISTING WELL
 - EXISTING HYDRANT
 - EXISTING WATER SHUT OFF VALVE
 - EXISTING WATER VALVE
 - EXISTING STORM WATER LINE
 - EXISTING ROOF LEADER
 - EXISTING CATCH BASIN

- MAP REFERENCES**
- EXISTING FEATURES, PROPERTY BOUNDARY, WETLAND DELINEATION AND TOPOGRAPHICAL INFORMATION PER SURVEY ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR SUBEN LLC; TOWN OF WAPPINGER, COUNTY OF DUTCHESS, STATE OF NEW YORK" COMPLETED BY HALFMOON LAND SURVEYING AND DATED OCTOBER 16, 2023.
 - WETLAND DELINEATION WAS DELINEATED BY ROBERT H. CAPUCILLI, P.L.S.
 - SEE SURVEY NOTES BELOW.
- SURVEY NOTES**
- COPYRIGHT HALFMOON LAND SURVEYING. ALL RIGHTS RESERVED. REPRODUCTION OR COPYING OF THIS DOCUMENT MAY BE A VIOLATION OF COPYRIGHT LAW UNLESS PERMISSION OF THE AUTHOR AND / OR COPYRIGHT HOLDER IS OBTAINED.
 - UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 - ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED OR RED INKED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION. A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE SURVEYOR'S EMBOSSED OR RED INKED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY.
 - CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
 - THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.
 - THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
 - SUBJECT TO THE FINDINGS OF A CURRENT TITLE SEARCH.
 - SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
 - SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.
 - BEARINGS AND NORTH SHOWN HEREON ARE REFERENCED TO NAD 83-NY EAST USING NYSNET RTN GPS.
 - CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 88 USING NYSNET RTN GPS.

DEED REFERENCE
LIBER 1677 PAGE 680
ROWE
TO
TRINKLE
AUGUST 13, 1985

TAX PARCEL NUMBER
TOWN OF WAPPINGER, DUTCHESS COUNTY, NEW YORK
13569-6158-04-632426-0000

AREA
149,119 SQUARE FEET
3.423 ACRES

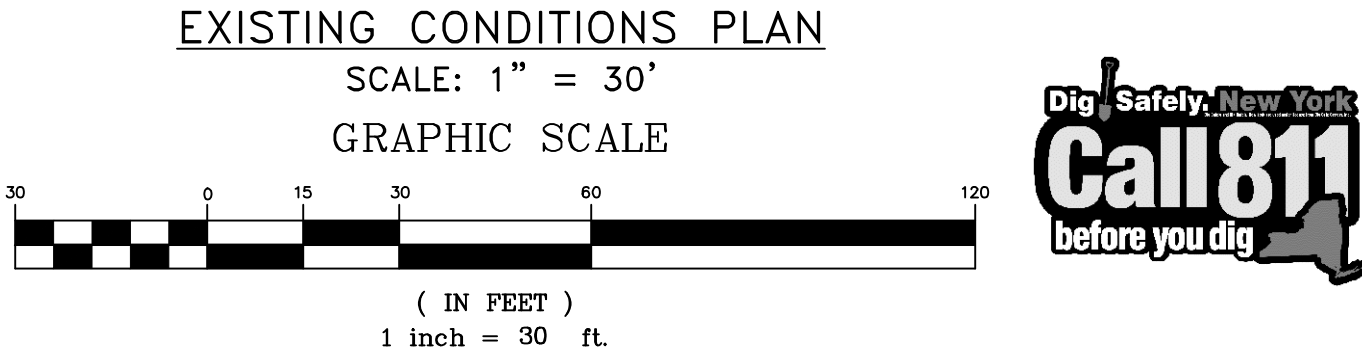
CERTIFICATIONS
SUBEN LLC

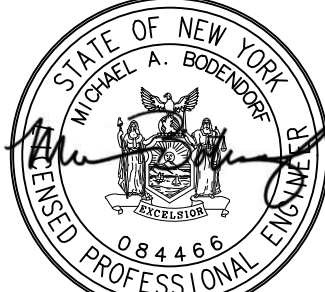
DATE OF SURVEY
FIELD COMPLETION: OCTOBER 4, 2023

SUBEN, LLC SUBDIVISION
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.


SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY





SEAL



HUDSON LAND DESIGN

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926

EXISTING CONDITIONS PLAN

SUBEN LLC SUBDIVISION

NEW HACKENSACK ROAD
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK
TAX ID: 6158-04-632426

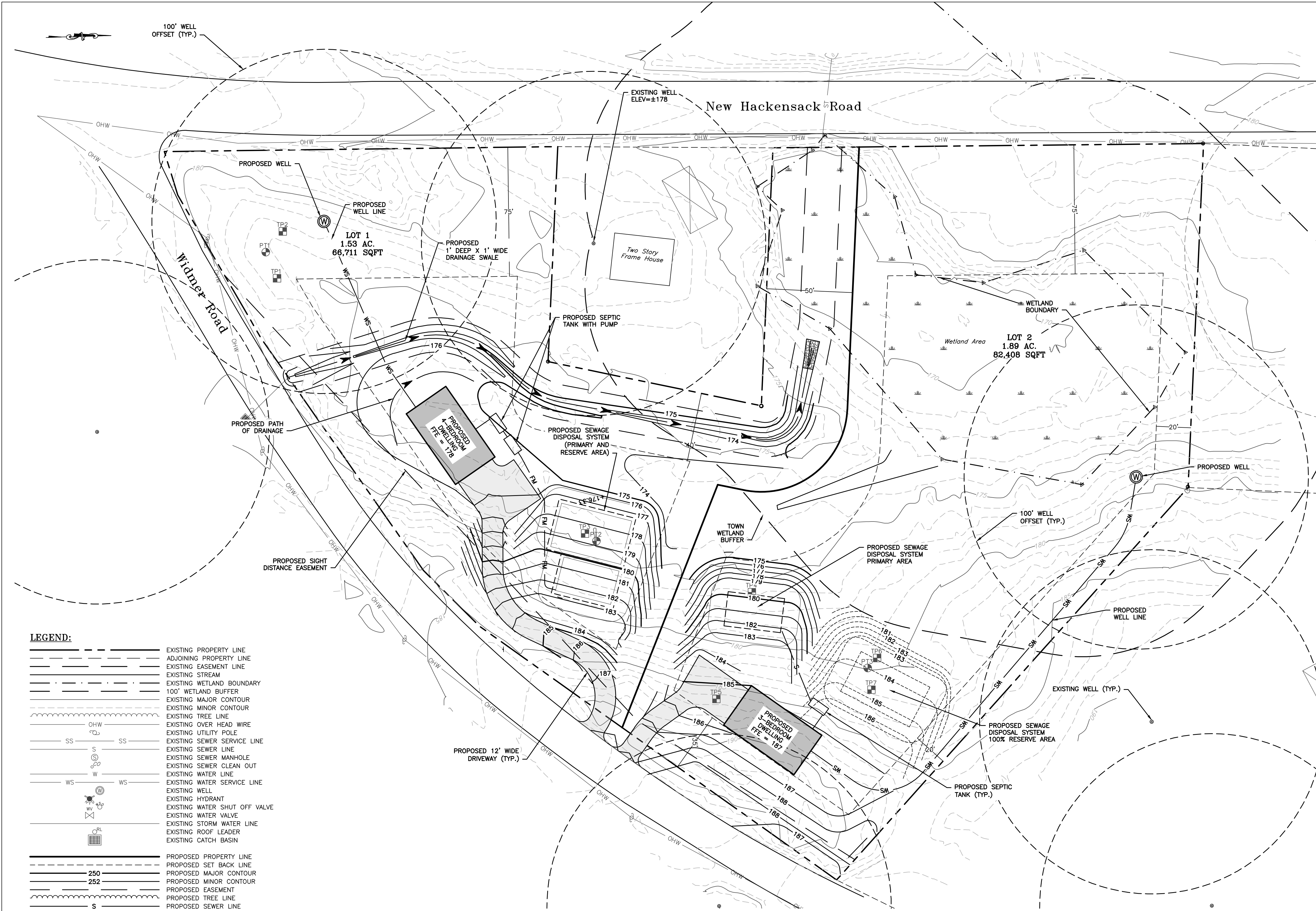
JOB #: 2023:031

DATE: 2/5/2024

SCALE: 1" = 30'

TITLE: XC-1

SHEET: 2 OF 7



LEGEND:	
	EXISTING PROPERTY LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING STREAM
	EXISTING WETLAND BOUNDARY
	100' WETLAND BUFFER
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING TREE LINE
	EXISTING OVER HEAD WIRE
	EXISTING UTILITY POLE
	EXISTING SEWER SERVICE LINE
	EXISTING SEWER LINE
	EXISTING SEWER MANHOLE
	EXISTING SEWER CLEAN OUT
	EXISTING WATER LINE
	EXISTING WATER SERVICE LINE
	EXISTING WELL
	EXISTING HYDRANT
	EXISTING WATER SHUT OFF VALVE
	EXISTING WATER VALVE
	EXISTING STORM WATER LINE
	EXISTING ROOF LEADER
	EXISTING CATCH BASIN
	PROPOSED PROPERTY LINE
	PROPOSED SET BACK LINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED EASEMENT
	PROPOSED TREE LINE
	PROPOSED SEWER LINE
	PROPOSED SEWER SERVICE LINE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER CLEAN OUT
	PROPOSED SDS LATERAL
	PROPOSED SDS SOLID LINE
	PROPOSED STORM WATER LINE
	PROPOSED ROOF LEADER LINE
	PROPOSED ROOF LEADER
	PROPOSED WATER LINE
	PROPOSED WATER SERVICE LINE
	PROPOSED WELL
	PROPOSED HYDRANT
	PROPOSED WATER SHUT OFF VALVE
	PROPOSED WATER VALVE

PERC TEST TABLE:					
LOT#	TEST HOLE #	DEPTH (INCHES)	PRESOAK DATE	TEST DATE	RESULTS (MINUTES/INCH)
1	1	25	9/21/2023	9/22/2023	13, 19, 20, 20
2	2	24	9/21/2023	9/22/2023	9, 9, 10, 11, 11
2	3	24	9/21/2023	9/22/2023	15, 20, 21, 26, 27, 28

DEEP TEST HOLE TABLE:					
TEST PITS OBSERVED ON SEPTEMBER 21, 2023 NO DCDH REPRESENTATIVE PRESENT AT TIME					
HOLE #	LOT #	TOTAL DEPTH	ROCK DEPTH	WATER DEPTH	MOTTLING DEPTH
1	1	75"	75"	---	75"
2	1	66"	66"	---	66"
3	1	81"	---	64"	---
4	2	64"	64"	---	---
5	2	44"	39"	---	---
6	2	72"	---	---	---
7	2	42"	42"	---	---

TABLE FOR ENVIRONMENTAL CONSTRAINTS			
LOT	LOT AREA (SQFT)	WETLAND AREA (SQFT)	NET AREA (SQFT)
1	66,711	0	66,711
2	82,408	19,414	62,994

SCHEDULE OF REGULATIONS (R-20 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:				
PARAMETER	REQUIREMENT	EXISTING	LOT 1	LOT 2
LOT AREA:	20,000	149,119 SQFT	66,711 SQFT	82,408 SQFT
LOT WIDTH:	100 FEET MINIMUM	±600 FEET	±228 FEET	±200 FEET
LOT DEPTH:	125 FEET MINIMUM	±420 FEET	±350 FEET	±400 FEET
LOT FRONTAGE:	50 FEET MINIMUM	±478 FEET	±228 FEET	±200 FEET
YARD SETBACKS (RESIDENTIAL USE):				
FRONT YARD:	35/75 FEET MINIMUM*	N/A	±44 FEET	±35 FEET
SIDE YARD:	20 FEET MINIMUM	N/A	±127 FEET	±54 FEET
REAR YARD:	40 FEET MINIMUM	N/A	±57 FEET	±112 FEET
MAX. BUILDING HEIGHT:	2.5 STORIES/35 FT MAX.	N/A	35 FEET	35 FEET
MAX. BUILDING COVERAGE:	15%	2%	2%	2%
MAX. FLOOR AREA RATIO:	0.15	0.00	0.00	0.00
*75 FEET FROM A COUNTY OR STATE HIGHWAY, 35 FEET FROM ALL OTHER ROADS				

- SITE SPECIFIC NOTES:**
- CONTRACTOR IS REQUIRED TO HAVE ALL EXISTING UTILITIES MARKED IN THE FIELD PRIOR TO BEGINNING WORK. ANY POTENTIAL UTILITY CROSSINGS AND/OR INTERFERENCES MUST BE EVALUATED BY THE DESIGN ENGINEER TO DETERMINE IF DESIGN CHANGES ARE WARRANTED.
 - CONTRACTOR IS NOT TO ASSUME THAT ELEVATIONS SHOWN ARE CORRECT. ALL ELEVATIONS, PIPE MATERIALS, PIPE SIZES, ETC. MUST BE VERIFIED BY CONTRACTOR AND CHANGES SHALL BE REPORTED TO DESIGN ENGINEER TO DETERMINE WHETHER OR NOT DESIGN CHANGES ARE WARRANTED.
 - THE CONTRACTOR SHALL CALL IN A "CODE 53" PRIOR TO ANY EXCAVATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PERSONS DURING CONSTRUCTION FROM HARM IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES & REGULATIONS, STANDARDS AND GOOD PRACTICES.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES, RULES AND REGULATIONS.
 - PRIOR TO CONSTRUCTION, THE PROPERTY LINES AND EXISTING SEWAGE DISPOSAL SYSTEM SHALL BE STAKED OUT BY A P.E. OR L.S.

SEWAGE DISPOSAL SYSTEM DESIGN NOTES:

SEWAGE DISPOSAL SYSTEM DESIGNS BASED ON 4 BEDROOM RESIDENTIAL DWELLING MAX., FOR THE PROPOSED LOT 1 DWELLING, AND 3 BEDROOMS FOR THE PROPOSED LOT 2 DWELLING. DESIGN FLOW IS BASED UPON NEW STANDARD FIXTURES. THESE INCLUDE: 1.5 GPF MAX. TOILET, 3.0 GPM MAX. FAUCETS/SHOWERHEADS. DESIGN FLOW = 440 GPD (4 BEDROOMS @ 110 GPD/BEDROOM), AND 330 GPD (3 BEDROOMS @ 110 GPD/BEDROOM).

NO FOOTING OR ROOF DRAINS, WATER SOFTENER BACKWASHES, SHALL BE ALLOWED TO ENTER THE SYSTEM.

NO KITCHEN SINK GARBAGE DISPOSAL SYSTEMS ARE PLANNED OR INCLUDED IN THE DESIGN.

THE PROPOSED SEPTIC TANK SIZE FOR LOT 1 IS 1,250 GALLONS AND 1,000 GALLONS FOR LOT 2 WHICH MEETS THE REQUIREMENTS AS SET FORTH BY THE DUTCHESS COUNTY DEPARTMENT OF HEALTH (DCDOH) FOR THE DESIGN FLOW.

THE PROPOSED RESERVE AREA FOR LOT 2 ONLY NEEDS TO BE INSTALLED IF THE EXISTING ABSORPTION SYSTEM FAILS.

ALL UTILITY LINES IN THE VICINITY OF THE PROPOSED CONSTRUCTION SHALL BE CLEARLY MARKED OUT PRIOR TO ANY GROUND-BREAKING.

SEWAGE DISPOSAL SYSTEM SHALL NOT BE INSTALLED IN FROZEN OR WET SOILS.

LOT 1 PROPOSED SDS PRIMARY AREA (4 BEDROOM MAX.):

SDS DESIGN BASED UPON AN APPLICATION RATE OF 0.6 GPD/SF FOR A PERCOLATION RATE OF 28 MIN/INCH. MAX. THIS WOULD RESULT IN 367 LF OF CONVENTIONAL 2' WIDE TRENCH REQUIRED. THE PRIMARY ABSORPTION FIELD WILL BE CONSTRUCTED USING ELJEN GSF SYSTEM. THE USE OF THE ELJEN GSF MODULES ALLOWS FOR A REDUCTION IN THE TRENCH LENGTH REQUIRED FOR THE PRIMARY FIELD EQUIVALENT TO 6 SF/LF COMPARED TO CONVENTIONAL 2 SF/LF FOR STANDARD TRENCHES. THE FIELD CAN THEREFORE BE REDUCED TO 123 LF OF TRENCHES REQUIRED, WHICH EQUALS TO 31 ELJEN GSF MODULES. THE DESIGN FOR THE PRIMARY FIELD WILL CONSIST OF 4 LATERALS AT 33 LF EACH (8 MODULES PER TRENCH) FOR A TOTAL OF 132 LF OF TRENCH PROVIDED. THE FILL PAD FOR THE PRIMARY AND RESERVE ABSORPTION FIELDS WILL BE CONSTRUCTED AS A SINGLE UNIT, BUT ONLY THE LATERALS FOR THE PRIMARY FIELD SHALL BE CONSTRUCTED WHILE THE AREA PROPOSED FOR THE RESERVE SYSTEM LATERALS WILL HAVE NO LATERALS INSTALLED UNLESS THE PRIMARY SYSTEM FAILS.

LOT 1 SDS 100% RESERVE AREA DESIGN:

THE 100% REPLACEMENT AREA DESIGN IS BASED UPON AN APPLICATION RATE OF 0.6 GPD/SF WHICH WOULD REQUIRE 367 LF OF CONVENTIONAL 2' WIDE TRENCHES. IN ORDER TO ECONIMIZE THE AREA REQUIRED FOR THE RESERVE FIELD, GRAVELLESS CHAMBERS WILL BE USED FOR THE LATERALS IN LIEU OF CONVENTIONAL PERFORATED PVC PIPES. THE USE OF CHAMBERS ALLOWS FOR A 25% REDUCTION IN THE TOTAL TRENCH LF REQUIRED. THIS REDUCES THE REQUIRED TRENCH LENGTH TO 276 LF. THE DESIGN CALLS FOR 7 LATERALS @ 42 LF EACH FOR A TOTAL OF 294 LF OF TRENCH PROVIDED.

LOT 2 PROPOSED SDS PRIMARY AREA (3 BEDROOM MAX.):

SDS DESIGN BASED UPON AN APPLICATION RATE OF 0.6 GPD/SF FOR A PERCOLATION RATE OF 28 MIN/INCH. MAX. THIS WOULD RESULT IN 275 LF OF CONVENTIONAL 2' WIDE TRENCH REQUIRED. THE PRIMARY ABSORPTION FIELD WILL BE CONSTRUCTED USING ELJEN GSF SYSTEM. THE USE OF THE ELJEN GSF MODULES ALLOWS FOR A REDUCTION IN THE TRENCH LENGTH REQUIRED FOR THE PRIMARY FIELD EQUIVALENT TO 6 SF/LF COMPARED TO CONVENTIONAL 2 SF/LF FOR STANDARD TRENCHES. THE FIELD CAN THEREFORE BE REDUCED TO 92 LF OF TRENCHES REQUIRED, WHICH EQUALS TO 23 ELJEN GSF MODULES. THE DESIGN FOR THE PRIMARY FIELD WILL CONSIST OF 4 LATERALS AT 33 LF EACH (8 MODULES PER TRENCH) FOR A TOTAL OF 99 LF OF TRENCH PROVIDED. THE 100% REPLACEMENT AREA ONLY NEEDS TO BE CONSTRUCTED IF THE PRIMARY AREA FAILS.

LOT 2 SDS DESIGN:

THE 100% REPLACEMENT AREA DESIGN IS BASED UPON AN APPLICATION RATE OF 0.6 GPD/SF WHICH WOULD REQUIRE 275 LF OF CONVENTIONAL 2' WIDE TRENCHES. IN ORDER TO ECONIMIZE THE AREA REQUIRED FOR THE RESERVE FIELD, GRAVELLESS CHAMBERS WILL BE USED FOR THE LATERALS IN LIEU OF CONVENTIONAL PERFORATED PVC PIPES. THE USE OF CHAMBERS ALLOWS FOR A 25% REDUCTION IN THE TOTAL TRENCH LF REQUIRED. THIS REDUCES THE REQUIRED TRENCH LENGTH TO 207 LF. THE DESIGN CALLS FOR 5 LATERALS @ 45 LF EACH FOR A TOTAL OF 225 LF OF TRENCH PROVIDED.

TOWN WETLAND BUFFER NOTES:

1. GRADING FOR DRAINAGE IMPROVEMENTS AND THE PROPOSED WELL FOR LOT 2 WILL RESULT IN TEMPORARY DISTURBANCE TO THE WETLAND BUFFER. DISTURBANCE TO THE TOWN WETLAND BUFFER WILL REQUIRE A PERMIT FROM THE TOWN OF WAPPINGER.

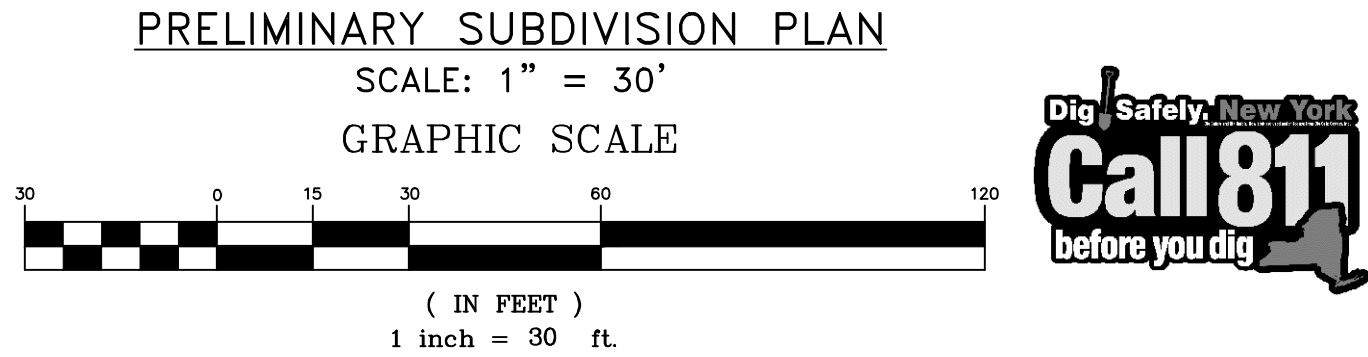
SUBEN, LLC SUBDIVISION
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE

DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

_____ CHAIRMAN

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



SEAL

HUDSON LAND DESIGN

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926

PRELIMINARY SUBDIVISION PLAN		JOB #:	2023:031
SUBEN LLC SUBDIVISION		DATE:	2/5/2024
		SCALE:	1" = 30'
		TITLE:	SP-1
		SHEET:	3 OF 7

CONSTRUCTION SEQUENCING NOTES:

- PHASE I WORK SEQUENCING SCHEDULE
- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE TOWN MS4 OFFICER (OR DULY AUTHORIZED REPRESENTATIVE OF THE TOWN), OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
 - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PHASE I WORK WHICH CONSIST OF THE PROPOSED DRAINAGE SWALE AND SIGHT DISTANCE CLEARING & GRADING AREA.
 - INSTALL PERIMETER SILT FENCE WITHIN PHASE I AS DEPICTED ON THIS PLAN.
 - INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
 - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION. THE PROJECT ENGINEER SHALL PROVIDE THE TOWN WITH A CERTIFICATION THAT THE PERTINENT EROSION CONTROLS ARE IN PLACE FOR THE INITIAL PHASE WORK.
 - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES FOR THE PHASE I WORK.
 - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
 - STABILIZE SWALE WITH SEED AND JUTE MESH IMMEDIATELY AFTER GRADING IS COMPLETE.
 - STABILIZE SIGHT DISTANCE GRADING AREA WITH SEED AND MULCH AFTER GRADING IS COMPLETE.
- TYPICAL INDIVIDUAL LOT SEQUENCING SCHEDULE
- INSTALL INDIVIDUAL LOT STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE AS DEPICTED ON THE PLAN.
 - BEGIN MASS GRADING FOR THE LOT.
 - CONSTRUCT DWELLING, DRIVEWAY AND SEWAGE DISPOSAL SYSTEM.
 - SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE FURTHER DISTURBED.
 - SEED AND MULCH ALL REMAINING DISTURBED AREAS AFTER ALL SITE WORK IS COMPLETED.
 - REMOVE EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.

GENERAL NOTE: EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.

LEGEND:

---	EXISTING PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING STREAM
---	EXISTING WETLAND BOUNDARY
---	100' WETLAND BUFFER
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING TREE LINE
---	EXISTING OVER HEAD WIRE
---	EXISTING UTILITY POLE
---	EXISTING SEWER SERVICE LINE
---	EXISTING SEWER LINE
---	EXISTING SEWER MANHOLE
---	EXISTING SEWER CLEAN OUT
---	EXISTING WATER LINE
---	EXISTING WATER SERVICE LINE
---	EXISTING WELL
---	EXISTING HYDRANT
---	EXISTING WATER SHUT OFF VALVE
---	EXISTING WATER VALVE
---	EXISTING STORM WATER LINE
---	EXISTING ROOF LEADER
---	EXISTING CATCH BASIN
---	PROPOSED PROPERTY LINE
---	PROPOSED SET BACK LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED EASEMENT
---	PROPOSED TREE LINE
---	PROPOSED SEWER LINE
---	PROPOSED SEWER SERVICE LINE
---	PROPOSED SEWER MANHOLE
---	PROPOSED SEWER CLEAN OUT
---	PROPOSED SDS LATERAL
---	PROPOSED SDS SOLID LINE
---	PROPOSED STORM WATER LINE
---	PROPOSED ROOF LEADER LINE
---	PROPOSED ROOF LEADER
---	PROPOSED WATER LINE
---	PROPOSED WATER SERVICE LINE
---	PROPOSED WELL
---	PROPOSED HYDRANT
---	PROPOSED WATER SHUT OFF VALVE
---	PROPOSED WATER VALVE
---	PROPOSED SILT FENCE
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED CATCH BASIN INLET PROTECTION
---	PROPOSED CONSTRUCTION ENTRANCE

SOIL PH SHALL BE TESTED. LINE SHALL BE APPLIED AS REQUIRED TO BRING SOIL PH TO 6.5

MULCH: LAYER OF HAY OR STRAW; 2 TONS PER ACRE

SEED, SEE VEGETATIVE COVER SPECIFICATIONS BELOW

FERTILIZER: COMMERCIAL 5-10-5, 175 POUNDS PER ACRE

NOTES:

- TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.
- SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:
 - 65% KENTUCKY BLUE GRASS BLEND
 - 20% PERENNIAL RYEGRASS
 - 15% FINE FESCUE
- SEED MIXTURE FOR USE IN SHADY AREAS:
 - 80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS
 - 20% FINE FESCUE
- SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.
- TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20%. TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

TOPSOIL, SEED AND MULCH DETAIL

NOT TO SCALE

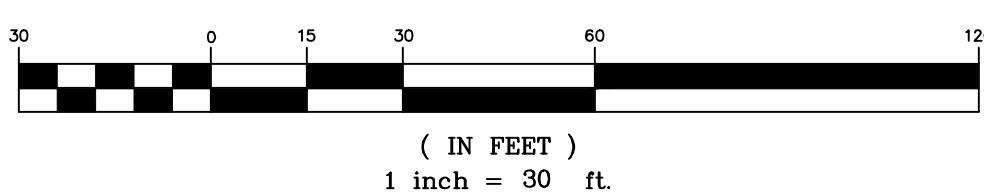
TEMPORARY SOIL STOCKPILE DETAIL

NOT TO SCALE

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

GRAPHIC SCALE



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926



EROSION & SEDIMENT CONTROL PLAN

SUBEN LLC SUBDIVISION

NEW HACKENSACK ROAD
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK
TAX ID: 6158-04-632426

JOB #: 2023-031

DATE: 2/5/2024

SCALE: 1" = 30'

TITLE: ESC-1

SHEET: 4 OF 7

EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- STOCKPILES SHALL BE LOCATED IN AREAS AWAY FROM STORM DRAINAGE AND THE EXISTING SDS AREA. THE STOCKPILE SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAILS SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
- THE TOWN ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE TOWN AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT (AKA SUMP PIT) IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
- ALL PROPOSED AND EXISTING PAVED AREAS SHALL BE KEPT SWEEP CLEAN ON A DAILY BASIS. ACCUMULATED MUD SHALL BE REMOVED CONSTRUCTION VEHICLES TIRES PRIOR TO LEAVING THE SITE.

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

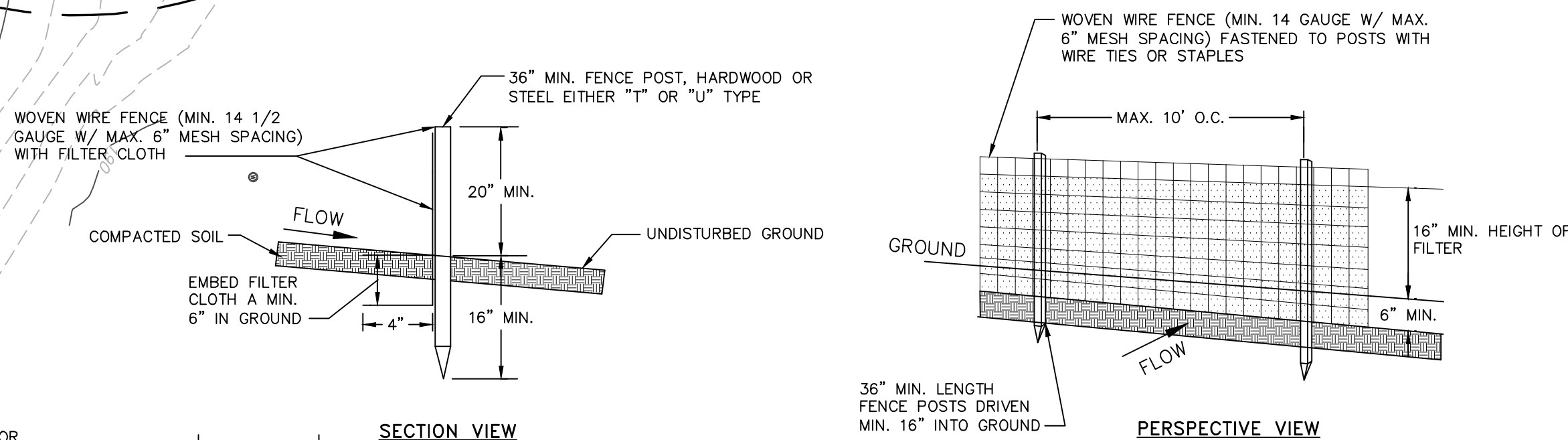
SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

CHECK DAM:
INSPECT CHECK DAMS EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. IF SIGNIFICANT EROSION OCCURS BETWEEN STRUCTURES, A LINE OF STONE OR OTHER SUITABLE MATERIAL SHOULD BE INSTALLED IN THAT PORTION OF THE CHANNEL. REMOVE SEDIMENT ACCUMULATED BEHIND THE DAM AS NEEDED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. REPLACE STONES AS NEEDED TO MAINTAIN THE DESIGN CROSS SECTION OF THE STRUCTURES. REMOVE CHECK DAMS AS PER APPROVAL OF THE PROJECT ENGINEER.

EROSION CONTROL JUTE MESH:
INSPECT THE JUTE MESH EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. REPLACE WIRE STAPLES AS REQUIRED AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.

DRAINAGE SWALE:
THE DRAINAGE SWALE SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY.



SECTION VIEW

NOTES:

- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL

NOT TO SCALE

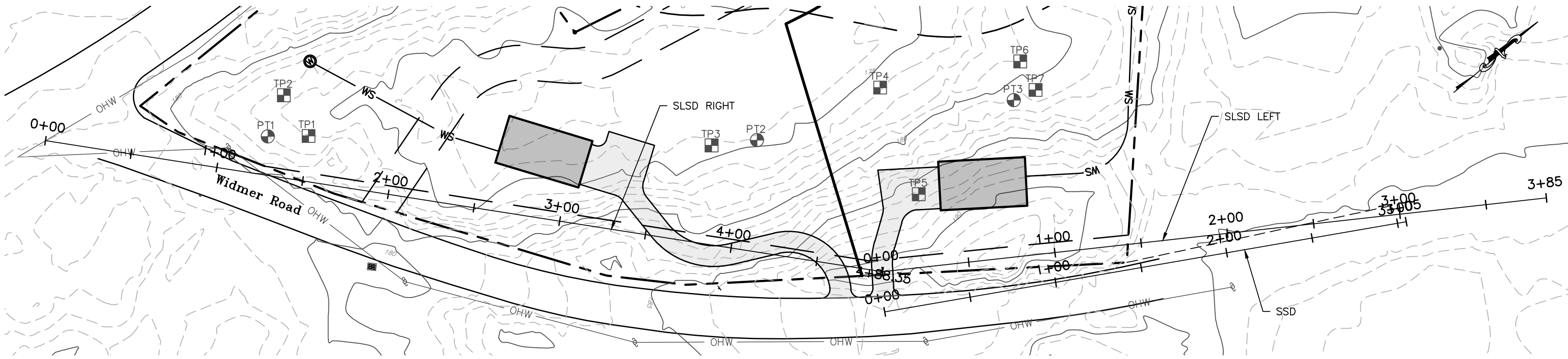
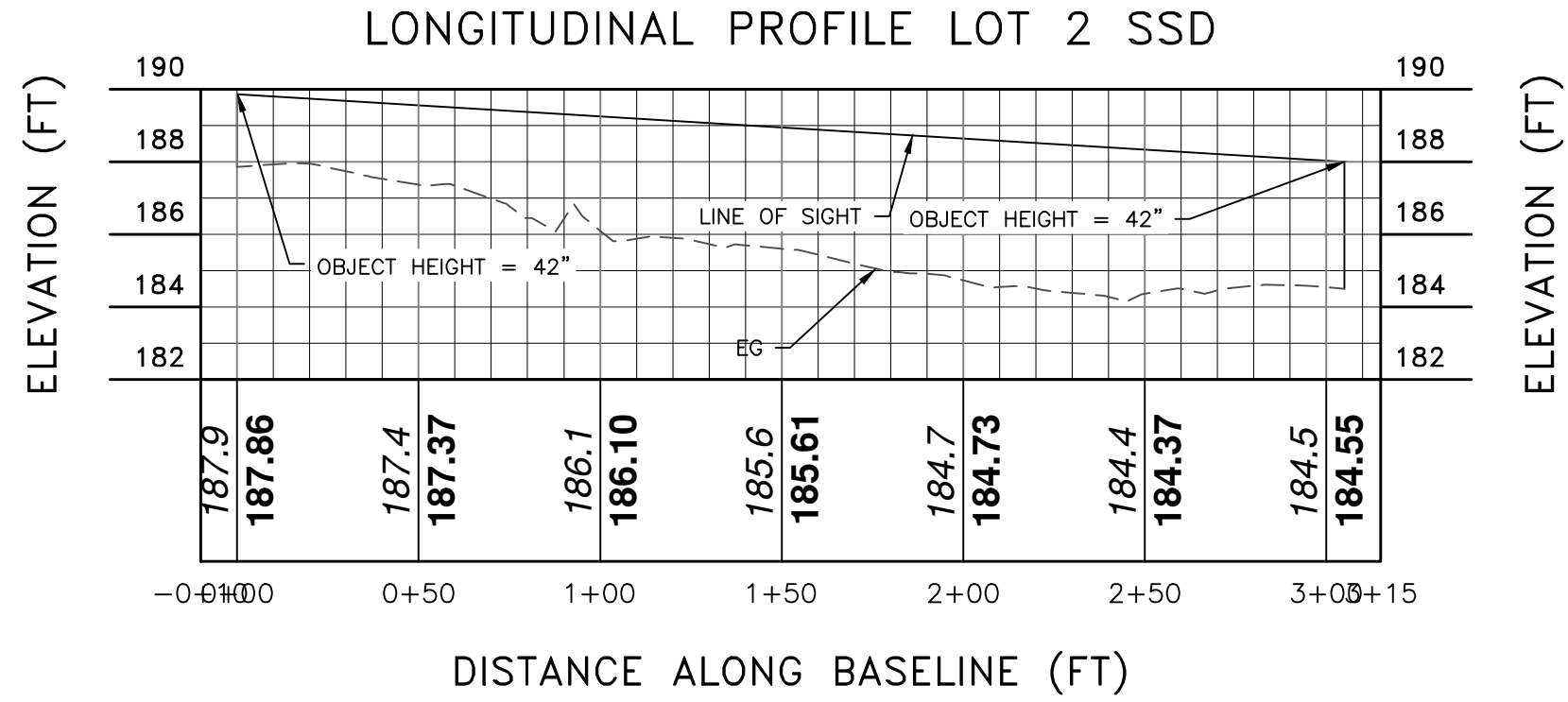
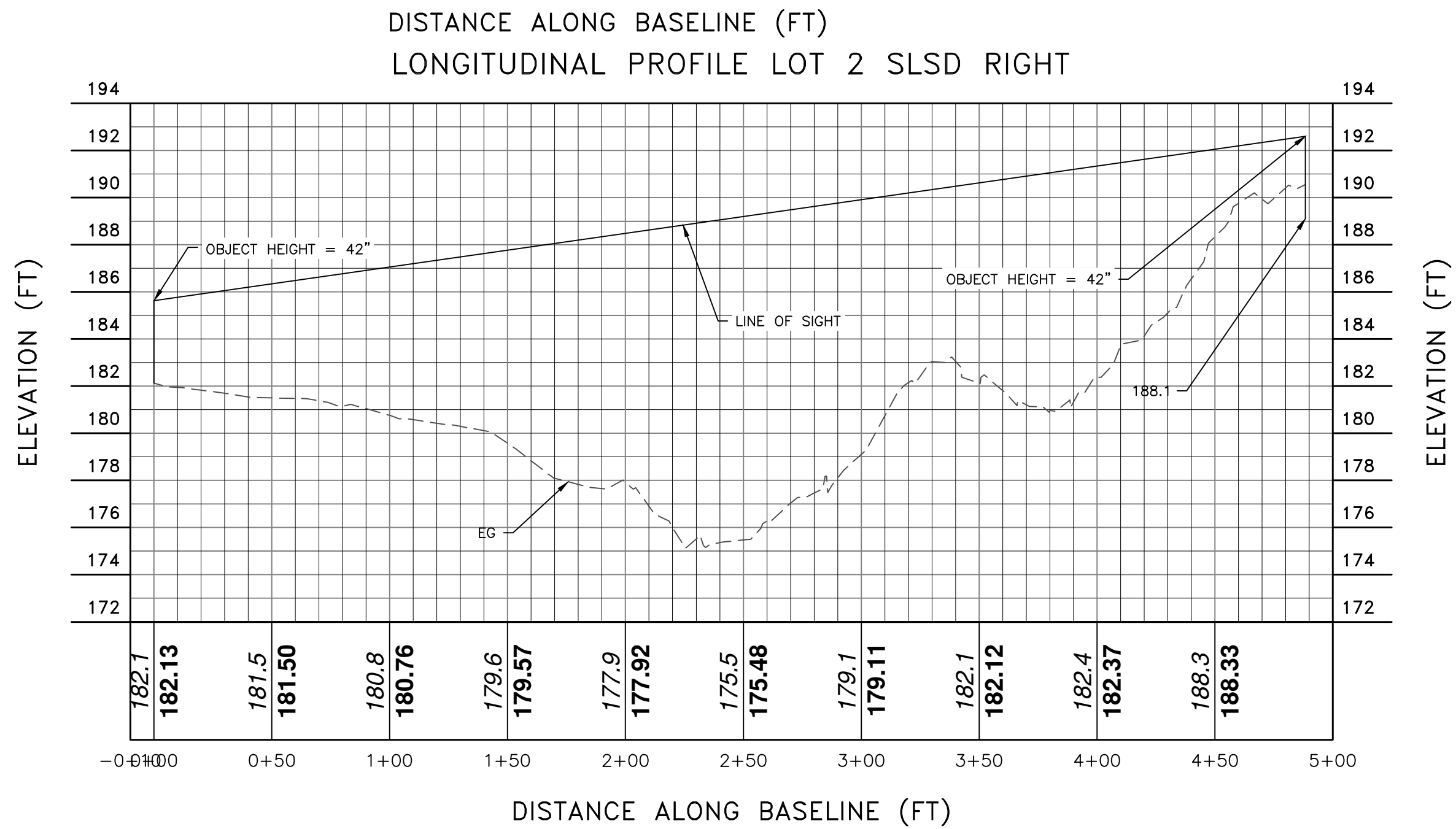
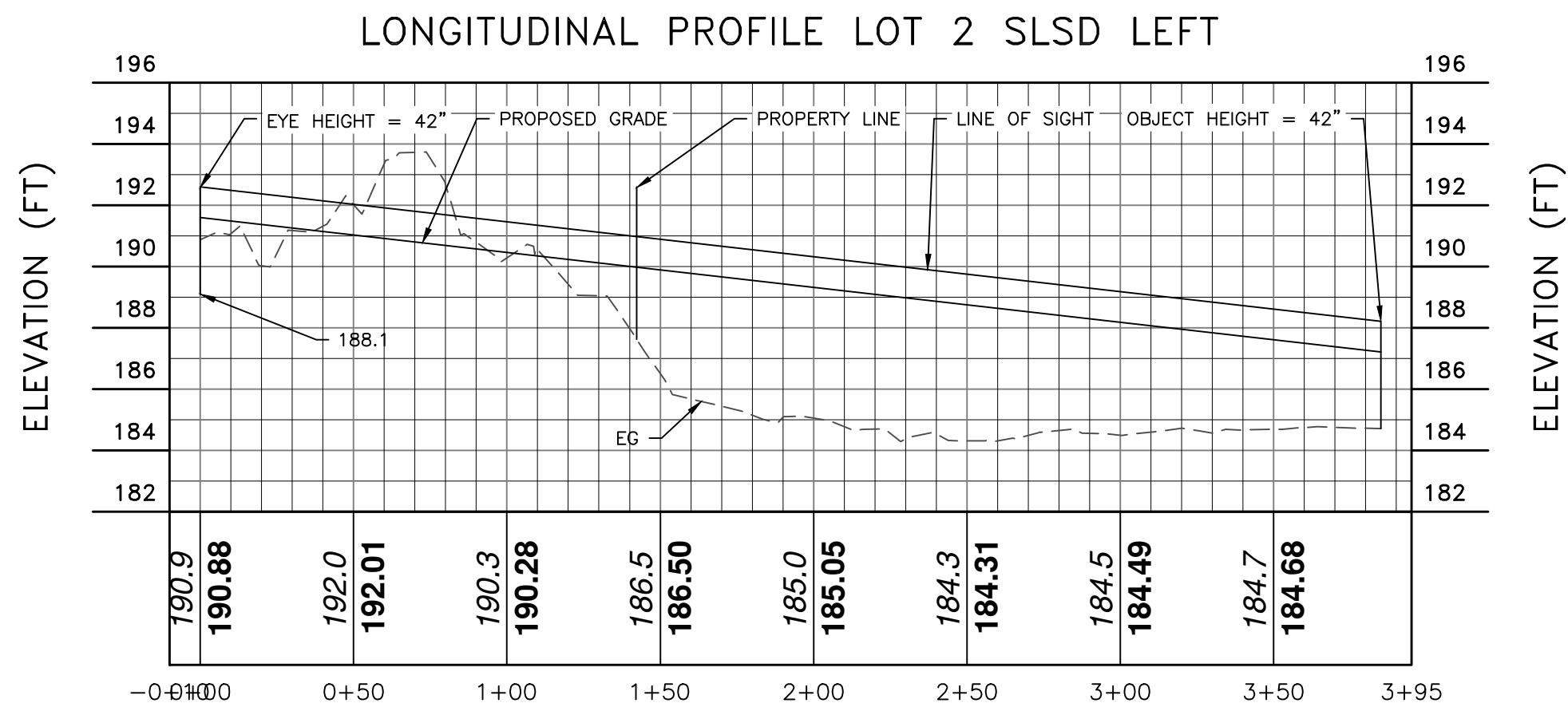
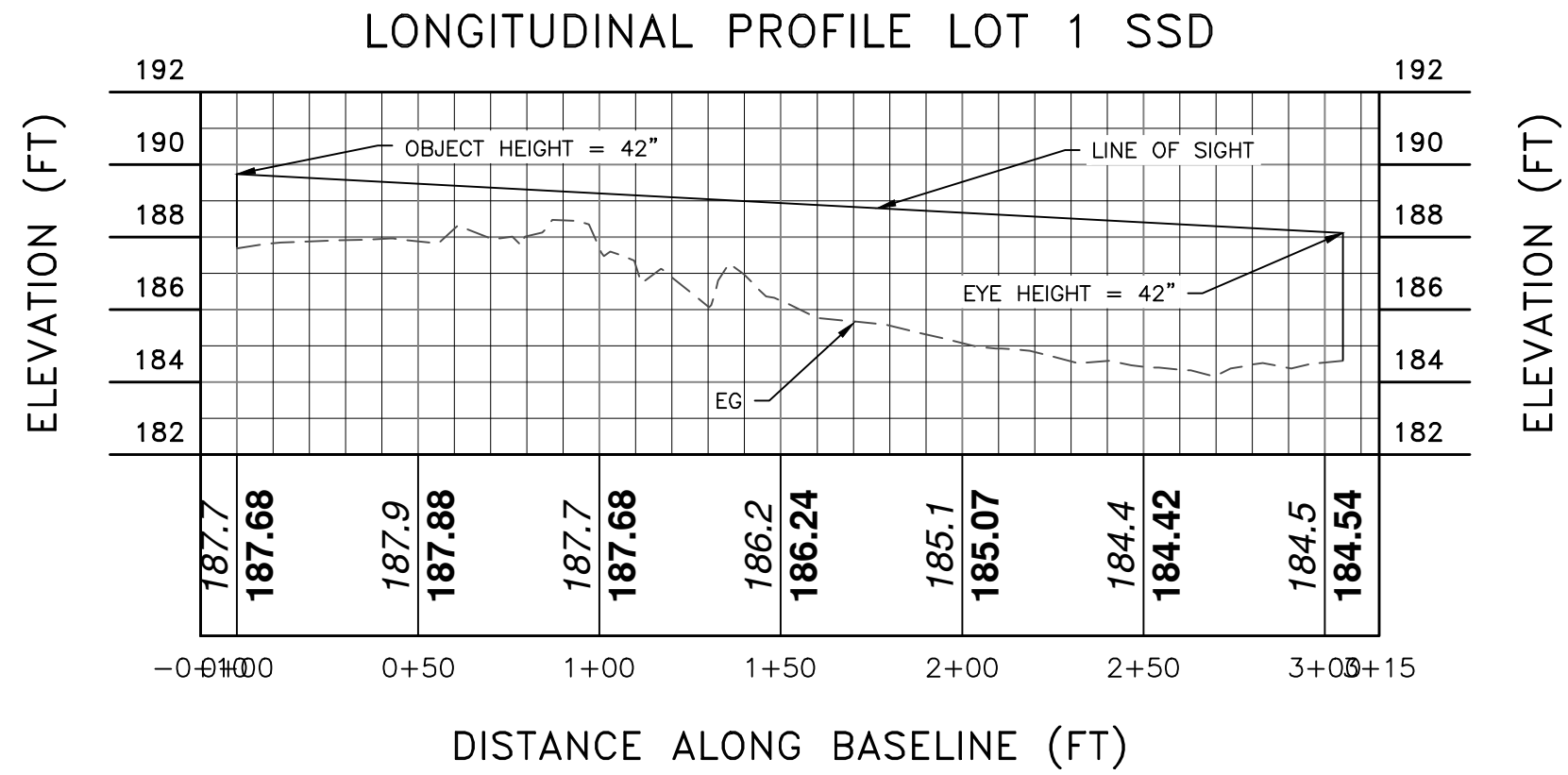
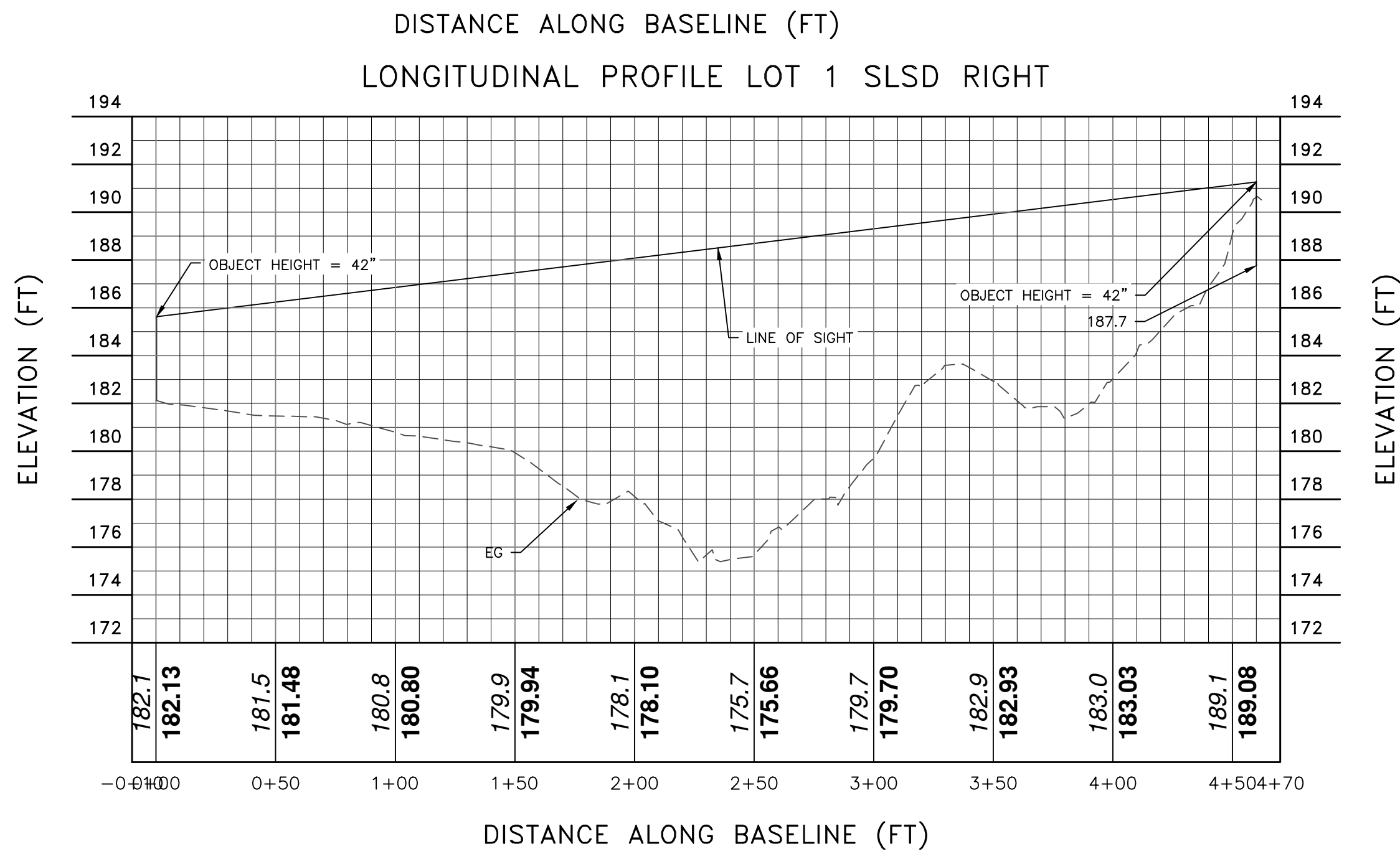
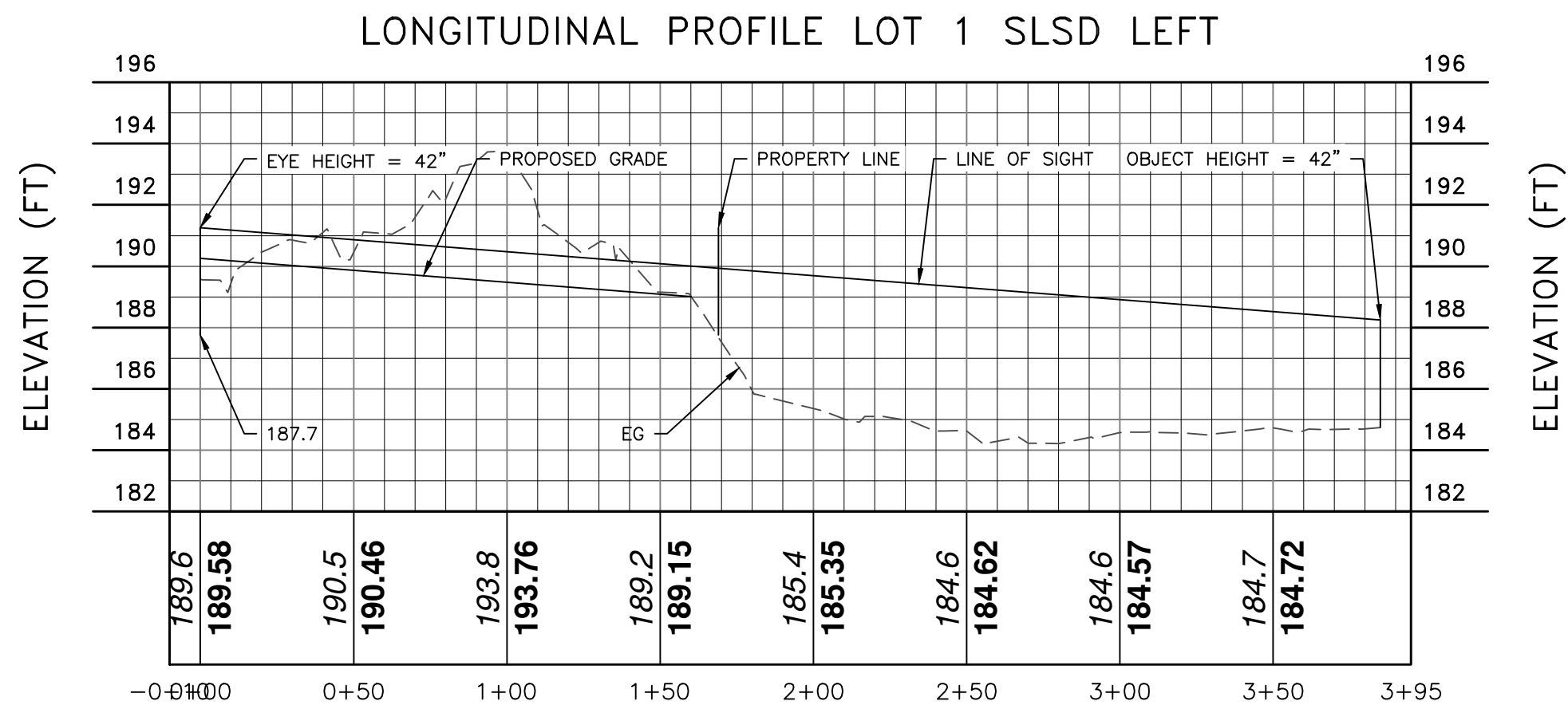
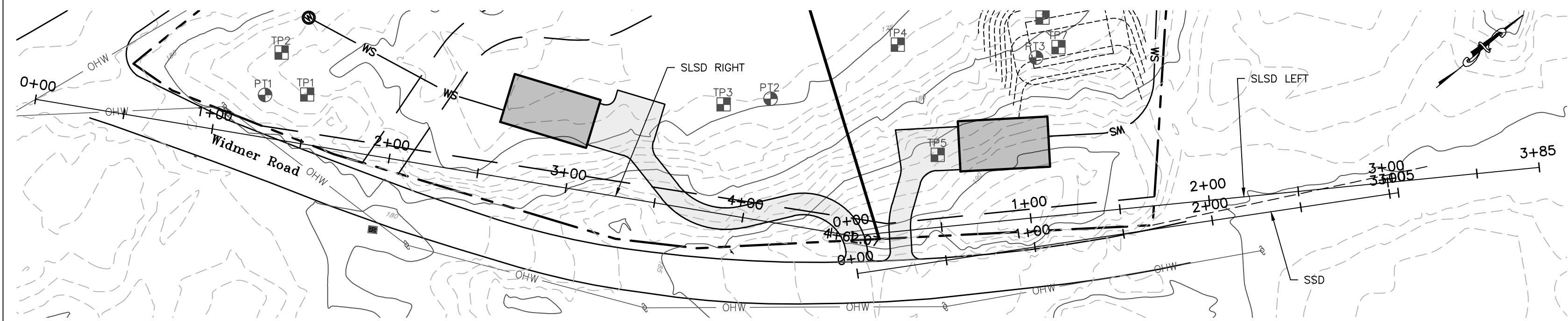
SUBEN, LLC SUBDIVISION

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE

_____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

CHAIRMAN



SIGHT DISTANCE NOTES:

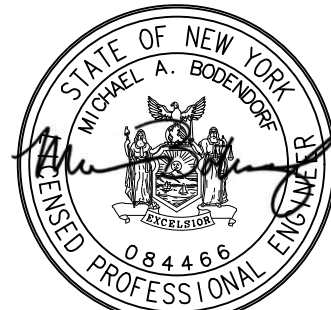
1. THE SIGHT DISTANCE FOR THE PROPOSED DRIVEWAY SERVING LOTS 1-2 MEETS OR EXCEEDS COMPLIANCE WITH AASHTO REQUIREMENTS FOR ROADS WITH A SPEED LIMIT OF 40 MPH. THEIR REGULATIONS CALL FOR A SIGHT LINE SIGHT DISTANCE (SLSD) OF 385 FEET TO THE LEFT AND 445 FEET TO THE RIGHT AND A STOPPING SIGHT DISTANCE (SSD) OF 305 FEET, ANTICIPATED SLSD & SSD AS FOLLOWS:

LOT 1:
SLSD LEFT = ±385 FEET
SLSD RIGHT = ±460 FEET (MEASURED TO THE INTERSECTION WITH NEW HACKENSACK ROAD)
SSD = ±305 FEET

LOT 2:
SLSD LEFT = ±385 FEET
SLSD RIGHT = ±489 FEET (MEASURED TO THE INTERSECTION WITH NEW HACKENSACK ROAD)
SSD = ±305 FEET

THE PROPOSAL CALLS FOR REMOVAL OF VEGETATION AND CUTTING THE GRADE ALONG THE FRONTAGE OF THE LOTS. A SIGHT DISTANCE EASEMENT IS PROPOSED OVER BOTH LOTS.

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY

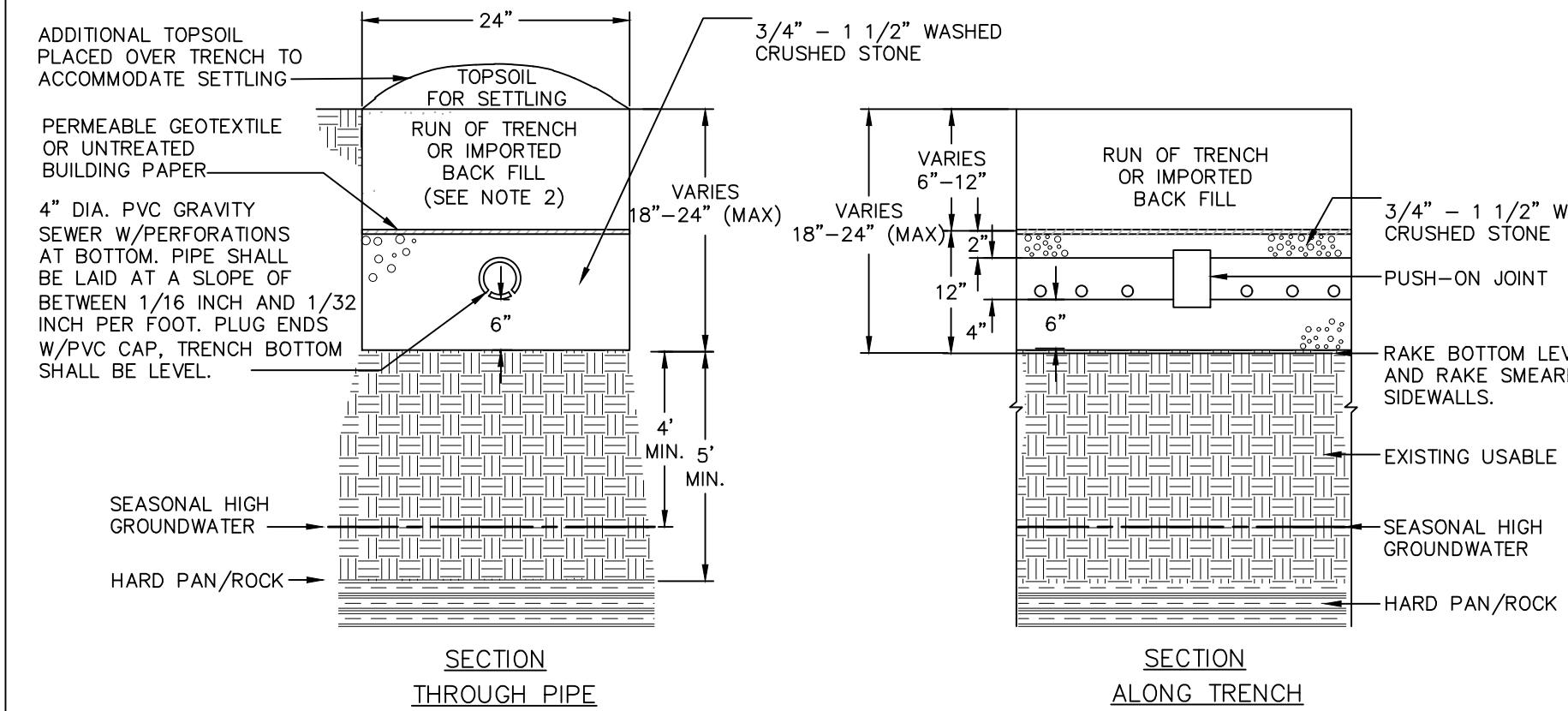


HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926

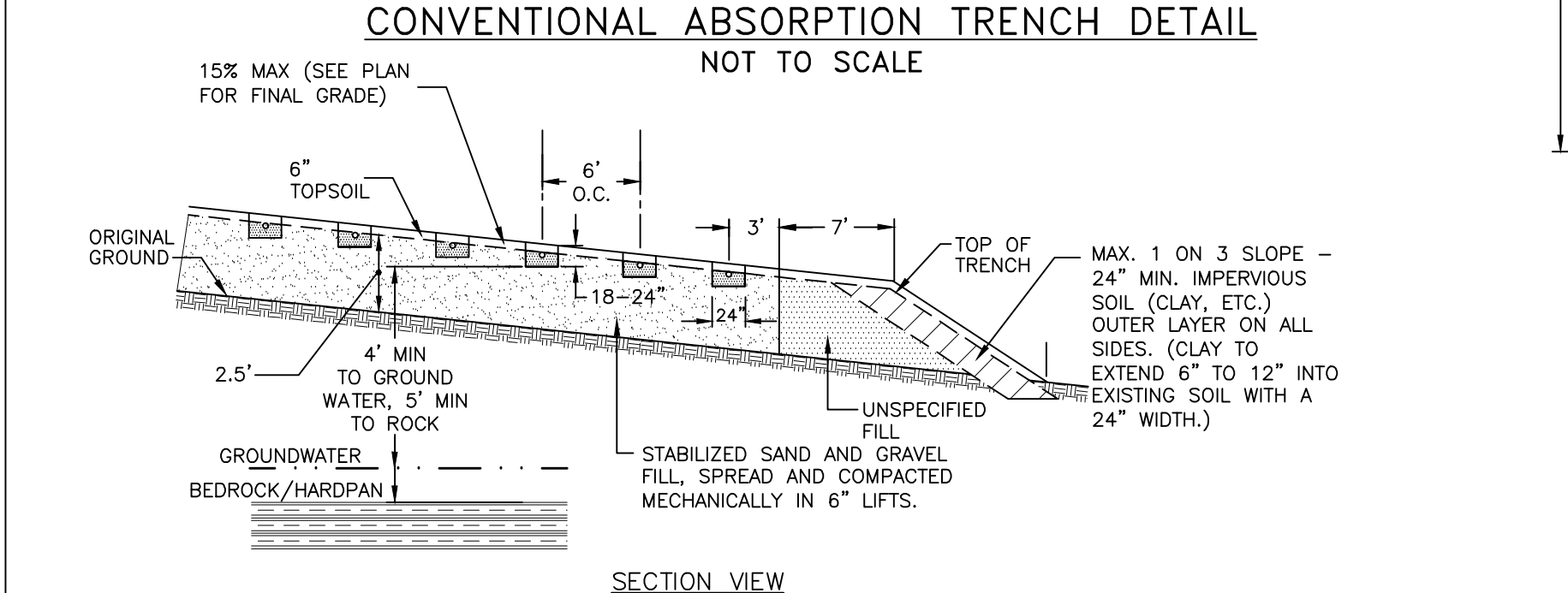
SIGHT DISTANCE PROFILES
SUBEN LLC SUBDIVISION

NEW HACKENSACK ROAD
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK
TAX ID: 6158-04-632426

JOB #:	2023:031
DATE:	2/5/2024
SCALE:	AS SHOWN
TITLE:	PR-1
SHEET:	5 OF 7

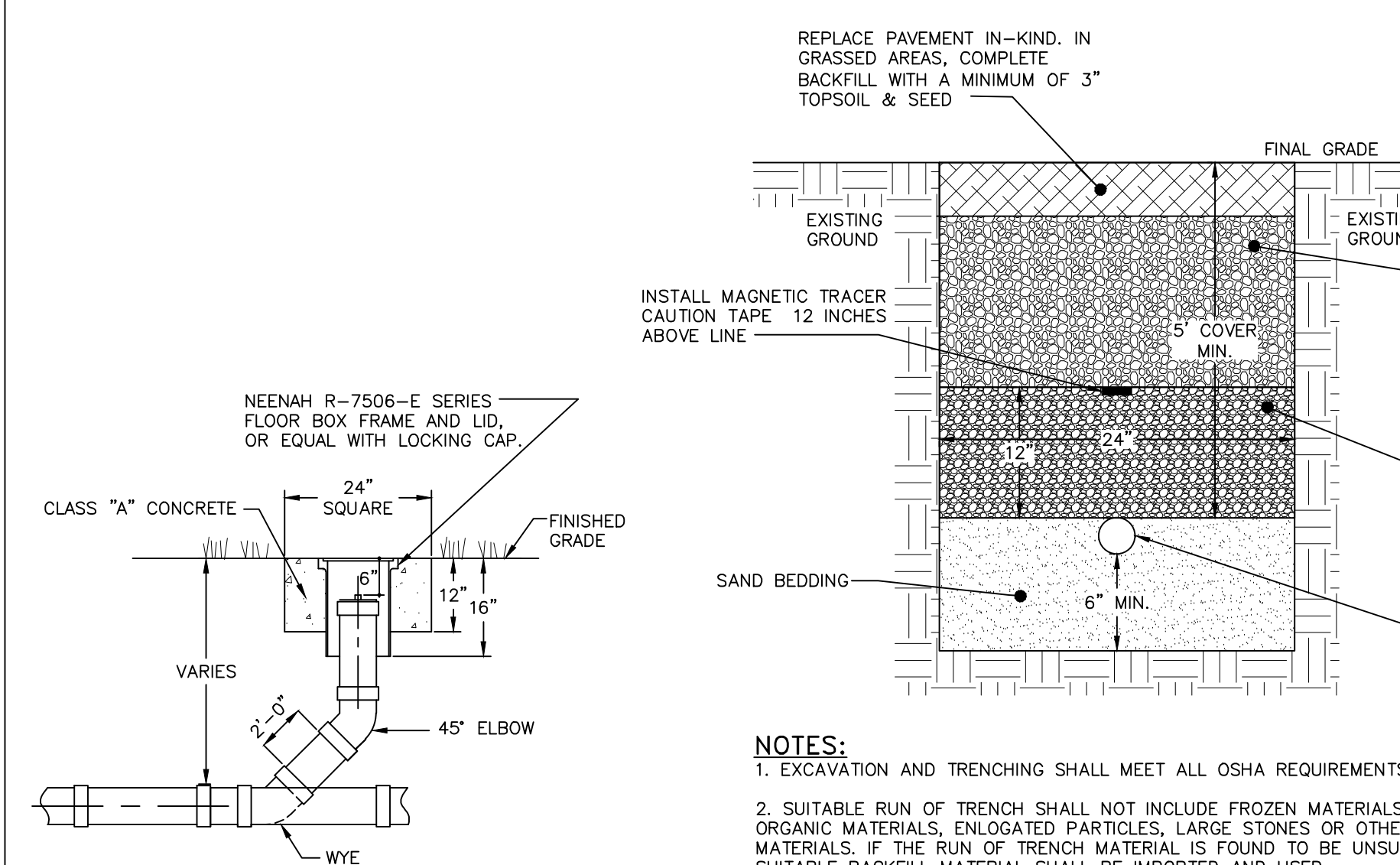


NOTES:
1. SPACING BETWEEN ABSORPTION FIELD TRENCHES IS 6' O.C.
2. FOR INGROUND SYSTEM, BACKFILL TRENCH WITH RUN OF TRENCH BACKFILL. FOR FILL SYSTEMS, THE BACKFILL SHALL MATCH THE QUALITY OF THE SAND AND GRAVEL FILL.
3. TOTAL TRENCH DEPTH NOT TO EXCEED 24".



NOTE: MINIMUM 2.5' SAND AND GRAVEL FILL (2" MAX. PARTICLE SIZE), WITH A STABILIZED PERCOLATION RATE WHICH IS LESS THAN OR EQUIVALENT TO THE PERCOLATION RATE OF THE VIRGIN SOIL, AND NO MORE THAN 10 MINUTES PER INCH SHALL BE USED. THE DESIGN ENGINEER SHALL CERTIFY IN WRITING THAT THE FILL MATERIAL IS IN THE PROPER PLACE, IS OF THE PROPER QUANTITY AND DIMENSIONS, AND IS OF PROPER QUALITY. PROPER QUALITY MUST BE DEMONSTRATED BY STABILIZED PERCOLATION TESTS, THE RESULTS OF WHICH SHALL BE SUBMITTED WITH THE ENGINEERS CERTIFICATION.

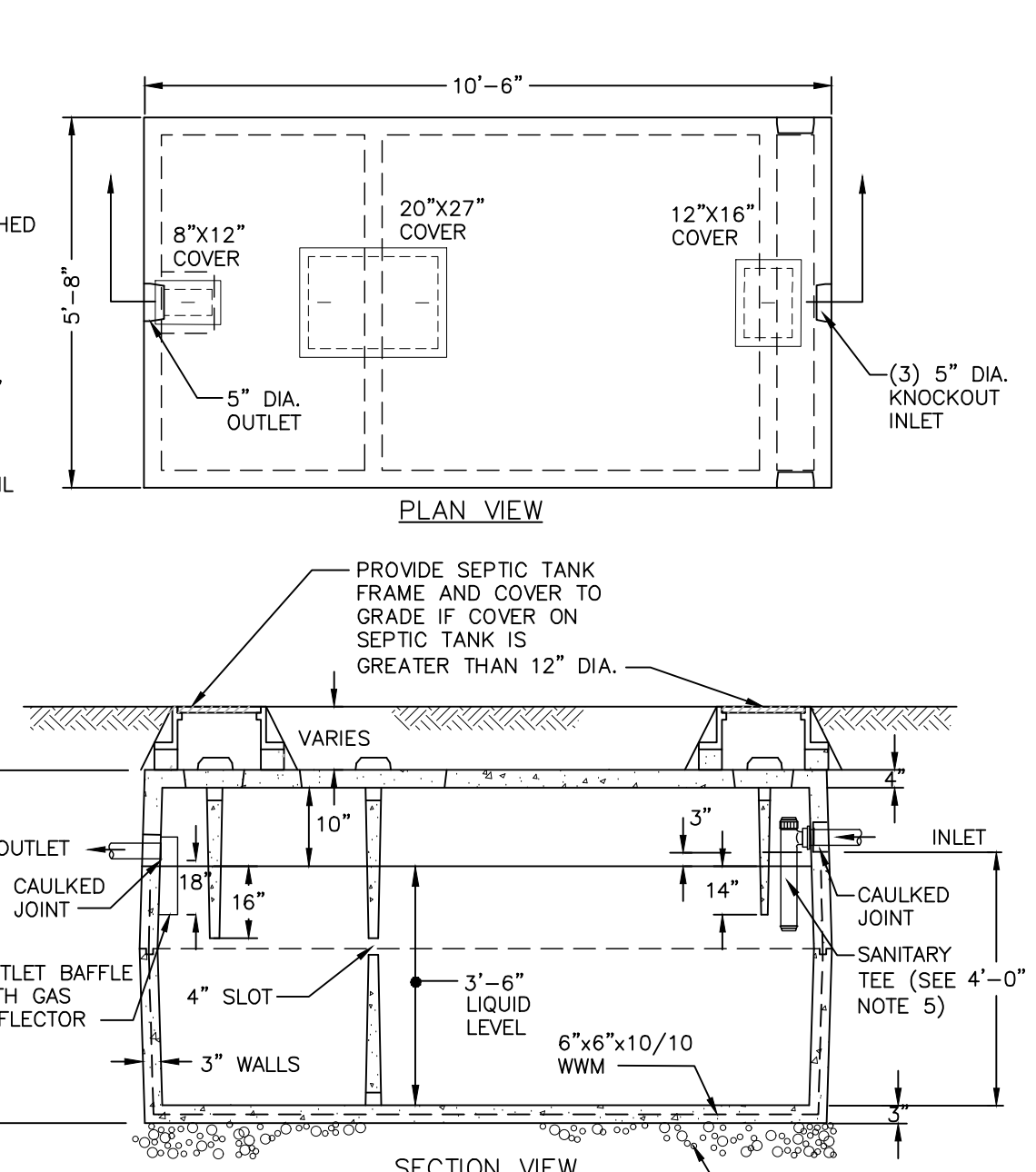
FILL PAD SECTION DETAIL
NOT TO SCALE



NOTES:
1. SEWER PIPE AND FITTINGS SHALL BE ASTM D-3033 OR D-3034 SDR-35.
2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLOGATED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.
3. IN AREAS WHERE 5' COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE INSULATION TO PREVENT FREEZING.

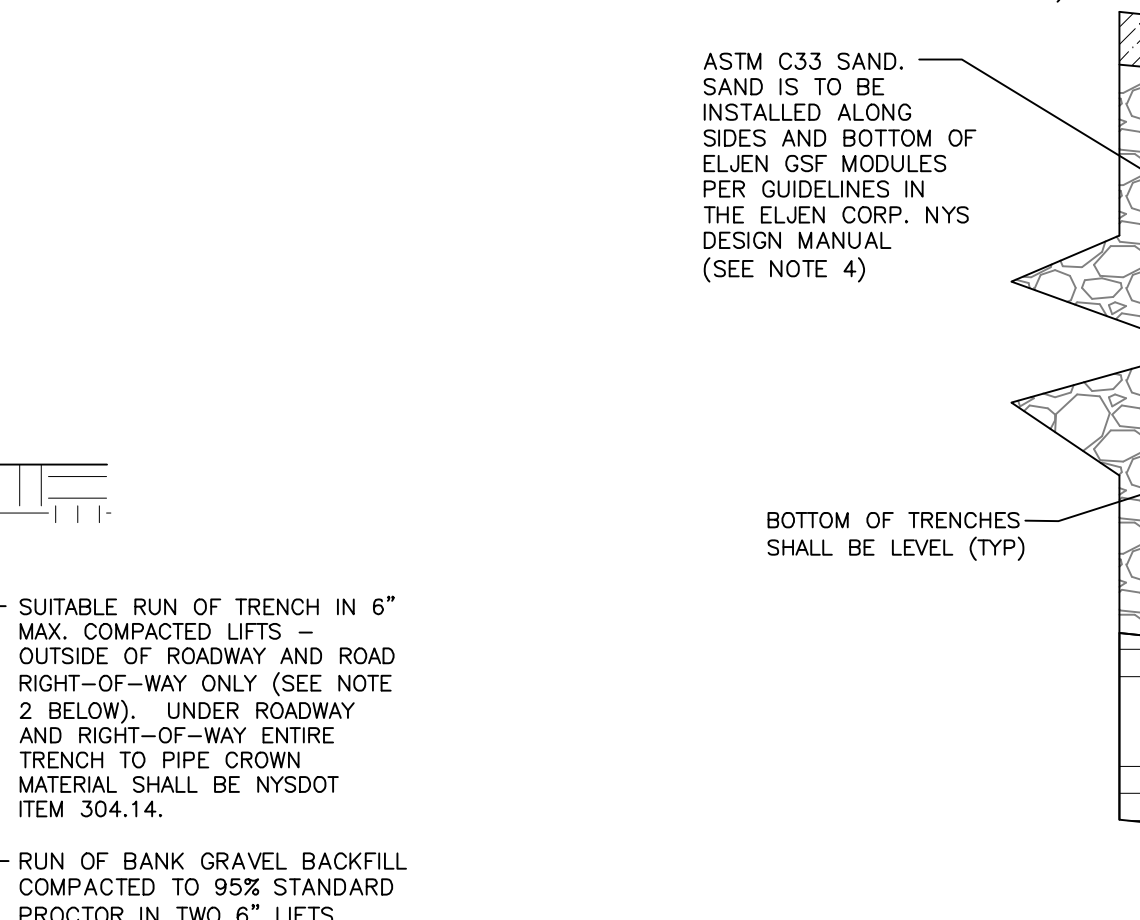
CLEANOUT DETAIL
NOT TO SCALE

ADDITIONAL NOTES FOR FILL SECTIONS
SEPTIC FILL SPECIFICATION: SAND AND GRAVEL FILL, WITH A STABILIZED PERCOLATION RATE WHICH IS LESS THAN OR EQUIVALENT TO THE PERCOLATION RATE OF THE VIRGIN SOIL, AND NO MORE THAN 15 MINUTES PER INCH SHALL BE USED.
A NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SHALL CERTIFY IN WRITING THAT THE FILL MATERIAL IS IN THE PROPER LOCATION, OF THE PROPER QUANTITY AND DIMENSIONS, AND OF PROPER QUALITY. PROPER QUALITY MUST BE DEMONSTRATED BY STABILIZED PERCOLATION TESTS, THE RESULTS OF WHICH SHALL BE SUBMITTED WITH THE ENGINEER'S CERTIFICATION.
PRIOR TO THE PLACEMENT OF THE FILL, THE AREA OF THE OWTS SHALL BE CLEARED OF DEBRIS, AND ALL BRUSH, TREES, OR OTHER VEGETATION CUT TO THE LEVEL OF THE VIRGIN GROUND. NO TOPSOIL SHALL BE REMOVED UNLESS SPECIFICALLY INDICATED ON THE PLANS.



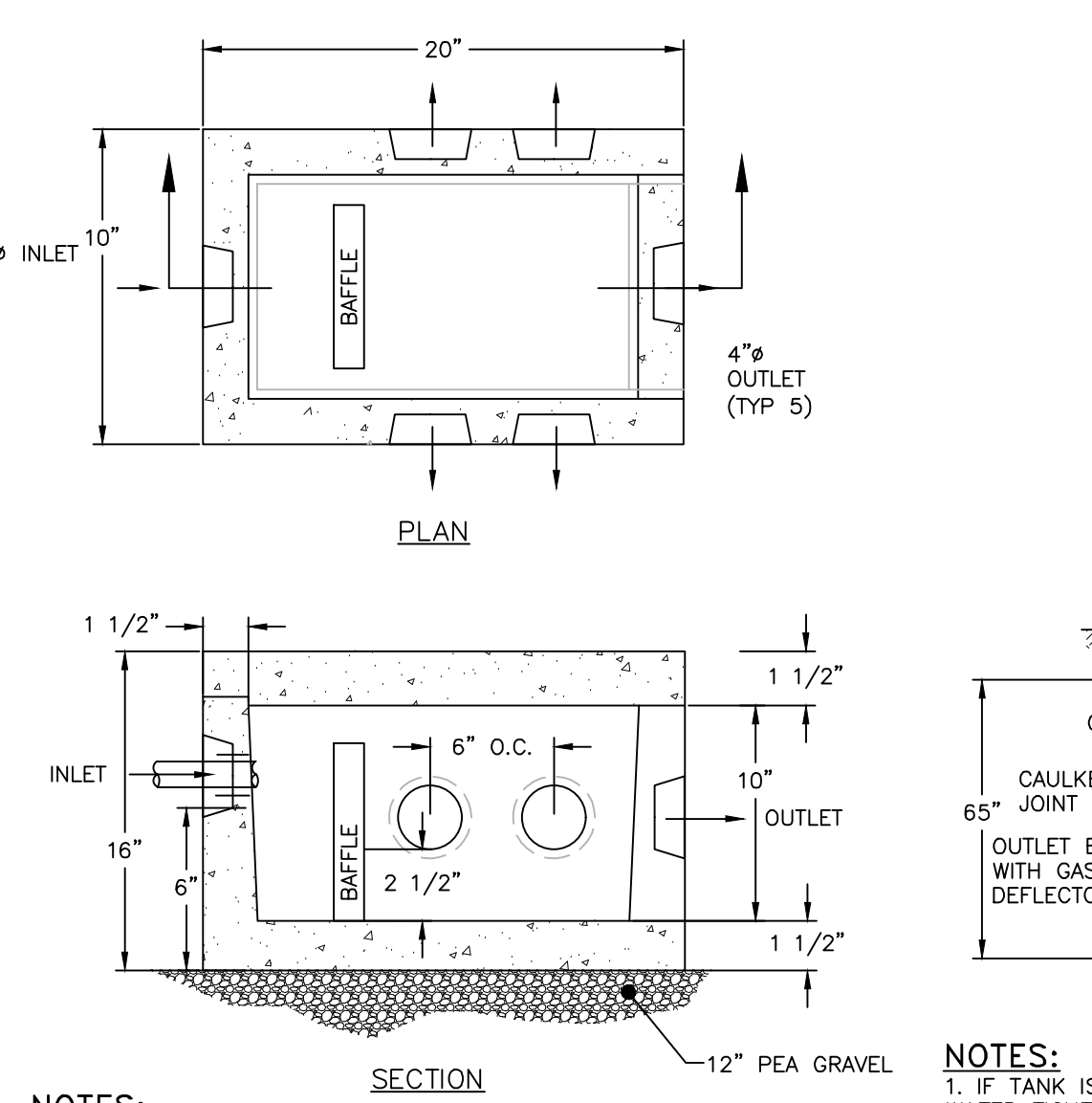
NOTES:
1. IF TANK IS DELIVERED TO THE SITE IN SECTIONS, THE CONTRACTOR SHALL MAKE IT WATER TIGHT. A WATER TIGHTNESS TEST SHALL BE COMPLETED BY THE CONTRACTOR, WITNESSED BY THE ENGINEER AND THE DDOH, AND SHALL INCLUDE FILLING THE TANK AND MEASURING WATER LEVEL OVER A 24-HOUR PERIOD.
2. ALL JOINTS SHALL BE CAULKED.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS
4. PRE-CAST SEPTIC TANK SHOWN IS MODEL LB-1,250 BY EXPANDED SUPPLY PRODUCTS, INC. 3330 U.S. RTE. 9, COLD SPRING, NY (845) 265-3771.
5. SANITARY TEE SHALL BE USED ON INLET SIDE TO MEET REQUIRED 16" BAFFLE DEPTH BELOW LIQUID LEVEL.

PRECAST CONCRETE 1,250 GALLON SEPTIC TANK DETAIL
NOT TO SCALE



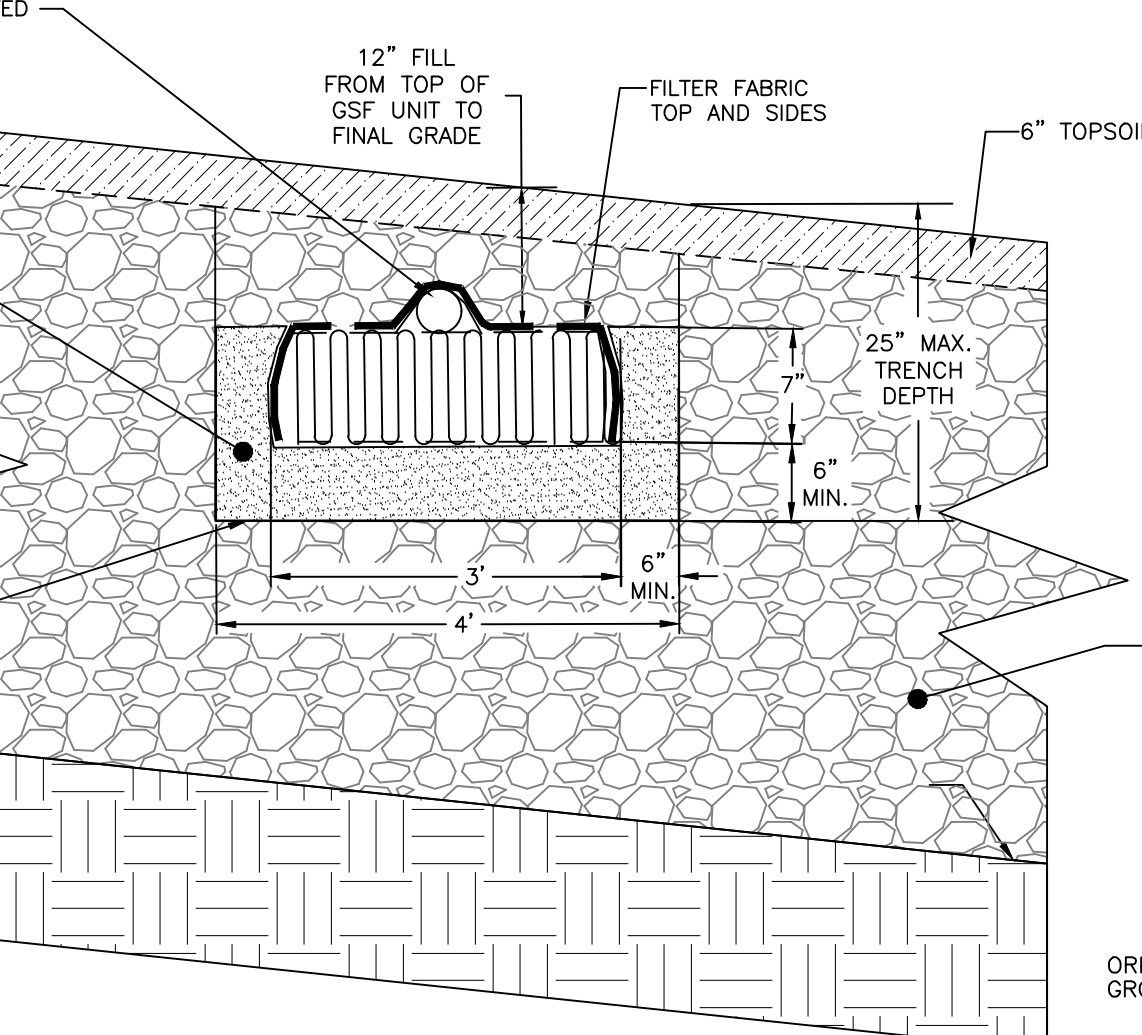
ELJEN ABSORPTION TRENCH DETAIL
NOT TO SCALE

NOTES:
1. UNITS TO BE USED IN TRENCHES TO BE B43 GSF MODULES BY ELJEN CORPORATION. MODULES TO BE INSTALLED PER MANUFACTURER RECOMMENDATION.
2. TOTAL TRENCH DEPTH NOT TO EXCEED 25".
3. SPACING BETWEEN ABSORPTION FIELD TRENCHES SHALL BE 6' O.C.
4. ASTM C33 SPECIFIED SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE SHALL BE PLACED BELOW AND AROUND THE GSF MODULES. WITH 6 INCHES MINIMUM UNDERNEATH THE GSF MODULES IN TRENCH CONFIGURATIONS. IN BED SYSTEMS, USE 6 INCHES MINIMUM UNDERNEATH THE MODULES WITH 12 INCHES MINIMUM BETWEEN MODULE ROWS AND 12 INCHES MINIMUM AROUND THE PERIMETER OF THE MODULES.
5. ORGANIC MATERIAL THAT CAN RESTRICT FLOW MUST BE REMOVED FOR RAISED BEDS. THE SOIL MUST BE SCARIFIED TO PROVIDE DEEP CHANNELS FOR THE SAND. A PLOWED INTERFACE ON CONTOUR IS RECOMMENDED TO PREPARE THE SOIL FOR FILL PLACEMENT.
6. SCARIFY ANY SMEARED SUBSOIL PRIOR TO FILL PLACEMENT.
7. FILL MATERIAL SHALL MEET OR EXCEED STATE OF NEW YORK CODE REQUIREMENTS. ALL FILL MATERIAL SHALL BE CLEAN BANK RUN SAND, FREE OF TOPSOIL, HUMUS, AND "DREDGING" DIRECTLY BENEATH THE GSF SYSTEM
8. ELJEN PROVIDED GEOTEXTILE COVER FABRIC SHALL PROVIDE PROPER TENSION AND ORIENTATION OF THE FABRIC AROUND THE SIDES OF THE PERFORATED PIPE ON TOP OF THE GSF MODULES. FABRIC SHOULD BE NEITHER TOO LOOSE, NOR TOO TIGHT. THE CORRECT TENSION OF THE COVER FABRIC IS SET BY:
• SPREADING THE COVER FABRIC OVER THE TOP OF THE MODULE AND DOWN BOTH SIDES OF THE MODULE WITH THE COVER FABRIC TENTED OVER THE TOP OF THE PERFORATED DISTRIBUTION PIPE
• PLACE SHOVEL FULLS OF SPECIFIED SAND DIRECTLY OVER THE PIPE AREA ALLOWING THE COVER FABRIC TO FORM A MOSTLY VERTICAL ORIENTATION ALONG THE SIDES OF THE PIPE. REPEAT THIS STEP MOVING DOWN THE PIPE.
9. BACKFILL MATERIAL SHALL BE CLEAN WITH NO ROOTS OR STONES LARGER THAN 2 INCHES IN ANY DIMENSION TO A MINIMUM DEPTH OF 8 INCHES OVER THE GSF MODULES AND FINAL COVER FOR VEGETATION OF 4 INCHES TO 6 INCHES OF CLEAN LOAM.
10. ANY SYSTEM WHICH IS MORE THAN 18 INCHES BELOW FINISH GRADE AS MEASURED FROM THE TOP OF THE MODULE SHALL BE VENTED.



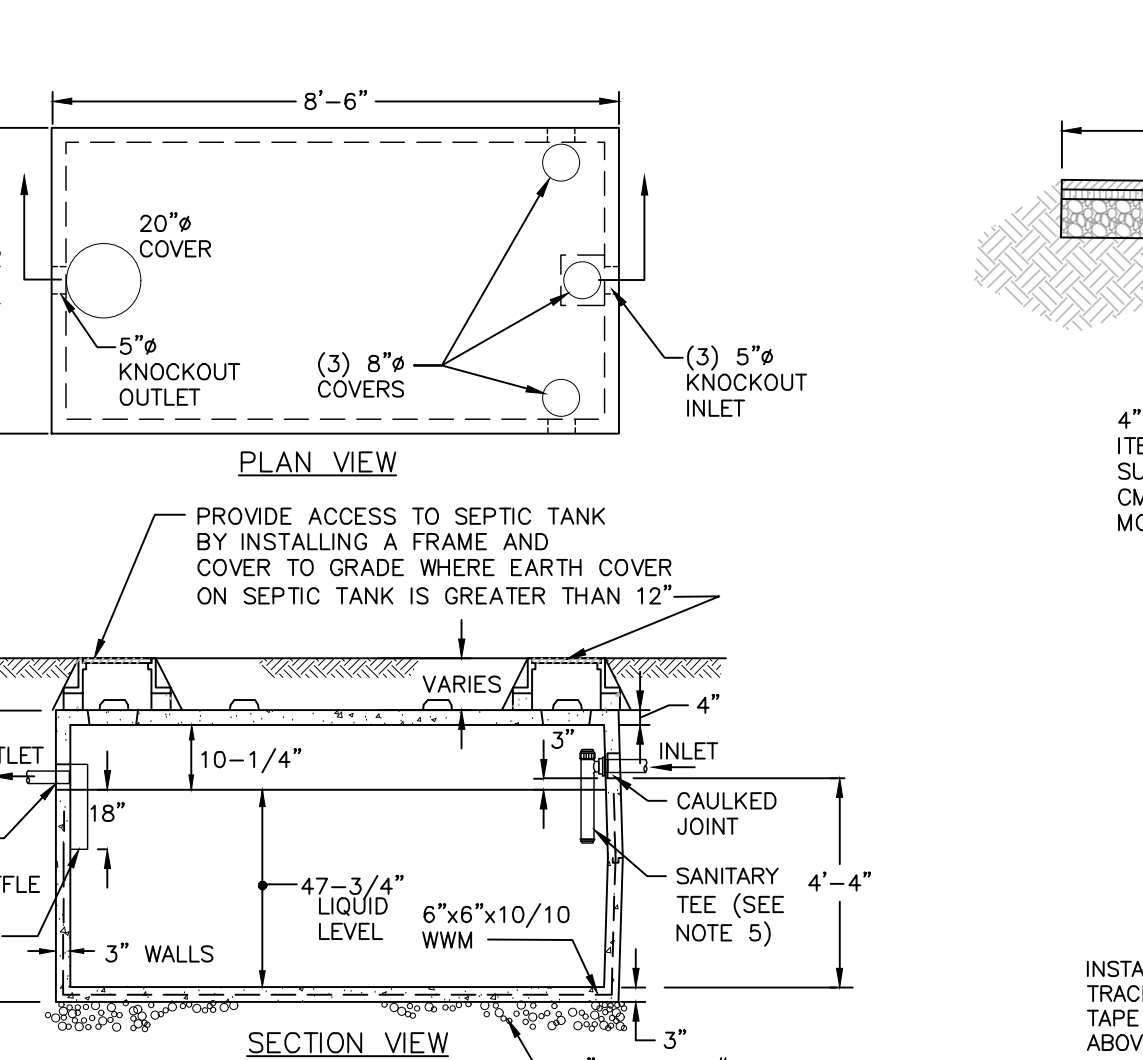
NOTES:
1. ALL OUTLETS SHALL BE SET AT THE SAME ELEVATION. DISTRIBUTION BOX SHALL BE SET LEVEL AND ALL UNUSED INLETS/OUTLETS SHALL BE PLUGGED.
2. PRE-CAST DISTRIBUTION BOX SHOWN IS MODEL DB-6WB 5 OUTLET BOX, WOODARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT RD., BULLVILLE, NY (845) 361-3471.
3. BAFFLE SHALL BE PROVIDED BY CONTRACTOR.
4. A MINIMUM OF 4" SOLID PIPE MUST BE PROVIDED BETWEEN THE DISTRIBUTION BOX AND PERFORATED LATERALS.
5. COVER OVER THE DISTRIBUTION BOX IS TO BE A MAXIMUM OF 12".

PRECAST CONCRETE DISTRIBUTION BOX WITH BAFFLE DETAIL
NOT TO SCALE



PRECAST CONCRETE 1,000 GALLON SEPTIC TANK DETAIL
NOT TO SCALE

NOTES:
1. IF TANK IS DELIVERED TO THE SITE IN SECTIONS, THE CONTRACTOR SHALL MAKE IT WATER TIGHT. A WATER TIGHTNESS TEST SHALL BE COMPLETED BY THE CONTRACTOR, WITNESSED BY THE DESIGN ENGINEER AND THE DDOH, AND SHALL INCLUDE FILLING THE TANK AND MEASURING WATER LEVEL OVER A 24-HOUR PERIOD.
2. ALL JOINTS SHALL BE SEALED WATER TIGHT WITH NON SHRINKING GROUT.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
4. PRE-CAST SEPTIC TANK SHOWN IS MODEL ST-1,000 BY WOODARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY, 10915 (845) 361-3471.
5. SANITARY TEE SHALL BE USED ON INLET SIDE TO MEET REQUIRED 16" BAFFLE DEPTH BELOW LIQUID LEVEL.
6. FRAME AND COVER, WHERE REQUIRED SHALL BE LIGHT DUTY AND MADE WATERTIGHT, CAMPBELL MODEL 1302 OR APPROVED EQUAL, PLACED ON RISER SECTION AS NECESSARY. THIS DETAIL IS NOT APPLICABLE TO AREAS WHERE TRAFFIC LOADS ARE ANTICIPATED. THE FRAME AND GRATE IS NOT INTENDED FOR MAN ACCESS TO THE TANK.



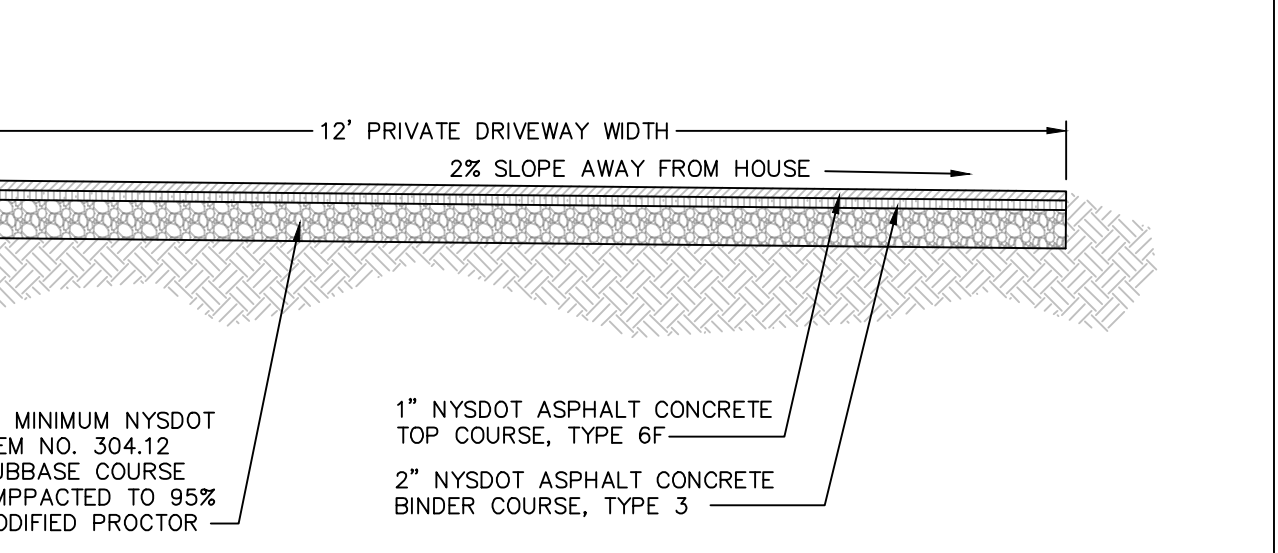
NOTES:
1. IF TANK IS DELIVERED TO THE SITE IN SECTIONS, THE CONTRACTOR SHALL MAKE IT WATER TIGHT. A WATER TIGHTNESS TEST SHALL BE COMPLETED BY THE CONTRACTOR, WITNESSED BY THE DESIGN ENGINEER AND THE DDOH, AND SHALL INCLUDE FILLING THE TANK AND MEASURING WATER LEVEL OVER A 24-HOUR PERIOD.
2. ALL JOINTS SHALL BE SEALED WATER TIGHT WITH NON SHRINKING GROUT.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
4. PRE-CAST SEPTIC TANK SHOWN IS MODEL ST-1,000 BY WOODARD'S CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD, BULLVILLE, NY, 10915 (845) 361-3471.
5. SANITARY TEE SHALL BE USED ON INLET SIDE TO MEET REQUIRED 16" BAFFLE DEPTH BELOW LIQUID LEVEL.
6. FRAME AND COVER, WHERE REQUIRED SHALL BE LIGHT DUTY AND MADE WATERTIGHT, CAMPBELL MODEL 1302 OR APPROVED EQUAL, PLACED ON RISER SECTION AS NECESSARY. THIS DETAIL IS NOT APPLICABLE TO AREAS WHERE TRAFFIC LOADS ARE ANTICIPATED. THE FRAME AND GRATE IS NOT INTENDED FOR MAN ACCESS TO THE TANK.

PRECAST CONCRETE 1,000 GALLON SEPTIC TANK DETAIL
NOT TO SCALE

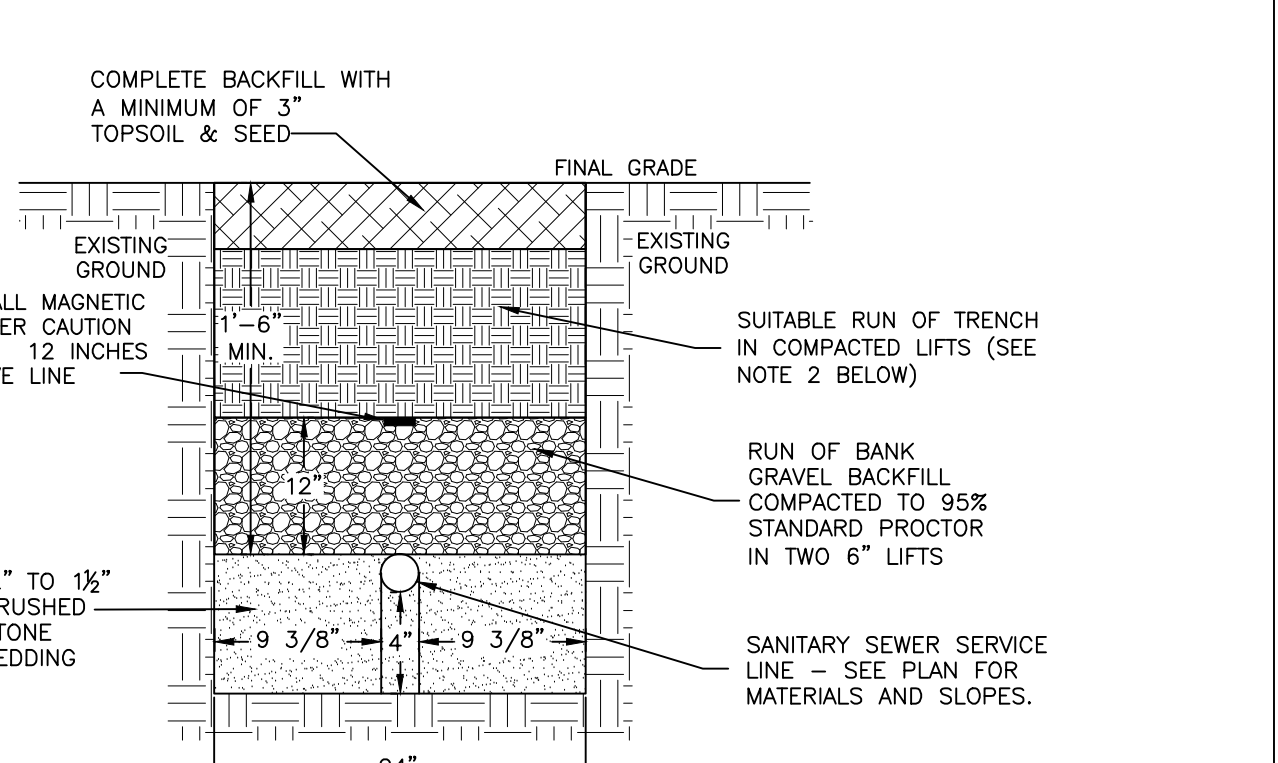
NOTES:
1. THE WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF HEALTH (NYSDOH), APPENDIX 5B, "STANDARDS FOR WATER WELLS", AND APPENDIX 5-D, "PUBLIC WATER SUPPLIES".
2. COMPLETED WELL SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C654.
3. MINIMUM CASING LENGTH SHALL BE 50 FEET, EXTENDING 1 FOOT ABOVE GRADE AND 49 FEET BELOW GRADE.
4. CASING LENGTH SHALL BE IN BASED ON THE WATER BEARING FORMATION ENCOUNTERED AND SHALL BE IN ACCORDANCE WITH NYSDOH, APPENDIX 5B, TABLE 2.
5. STEEL WELL CASING SHALL BE IN ACCORDANCE WITH AWWA A100.
6. FOR BEDROCK WELLS, THE STEEL CASING SHALL BE FITTED WITH A DRIVE SHOE AND PERMANENTLY SEALED INTO THE BEDROCK.
7. ANNULAR SPACE BETWEEN THE WELL CASING AND BOREHOLE SHALL BE GROUTED MINIMUM 10 FEET INTO BEDROCK IN ACCORDANCE WITH NYSDOH, APPENDIX 5B, TABLE 2.
8. INSTALL PITLESS ADAPTOR WITH ADEQUATE CLEARANCE WITHIN THE INTERNAL DIAMETER IF THE WELL CASING TO PERMIT INSERTION OR WITHDRAWAL OF WATER SYSTEM COMPONENTS. ADAPTOR SHALL BE THREADED TO ACCOMMODATE A LIFTING PIPE.
9. DROP PIPE SHALL HAVE A MINIMUM WORKING PRESSURE OF 160 PSI, AND:
a. CONTINUOUS, UN-SPLICED PLASTIC PIPE APPROVED FOR DRINKING WATER COMPLIANT WITH NSF OR UL, OR
b. THREADED AND COUPLED SCHEDULE 80 OR HEAVIER PVC PIPE COMPLIANT WITH NSF OR UL, OR
c. THREADED OR COUPLED GALVANIZED, STAINLESS STEEL OR COPPER PIPE.
10. PROVIDE SUBMERSIBLE PUMP WITH INTEGRAL CHECK VALVE.
11. WELL PUMP SHALL BE SET A MINIMUM OF 10 FEET ABOVE THE WELL BOTTOM, OR AT THE ELEVATION DETERMINED BY THE GEOLOGIST OR ENGINEER.
12. PUMP DISCHARGE SHALL NOT EXCEED THE DEPENDABLE YIELD OF THE WELL.
13. PROVIDE WATER TREATMENT AS REQUIRED.
14. PROVIDE TORQUE ARRESTOR IMMEDIATELY ABOVE WELL PUMP.
15. PROVIDE 1/4" TWISTED POLYPROPYLENE LIFTING ROPE, TIED OFF AT THE TOP OF THE WELL CASING.
16. PROVIDE CABLE GUIDES AT MINIMUM INTERVAL RECOMMENDED BY MANUFACTURER.
17. PROVIDE AND/OR REVISE TREATMENT SCHEME AS NECESSARY BASED ON RESULTS OF WATER QUALITY TESTING FOLLOWING WELL PUMP TEST.

WELL DETAIL
NOT TO SCALE

SUBEN, LLC SUBDIVISION
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.
SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN

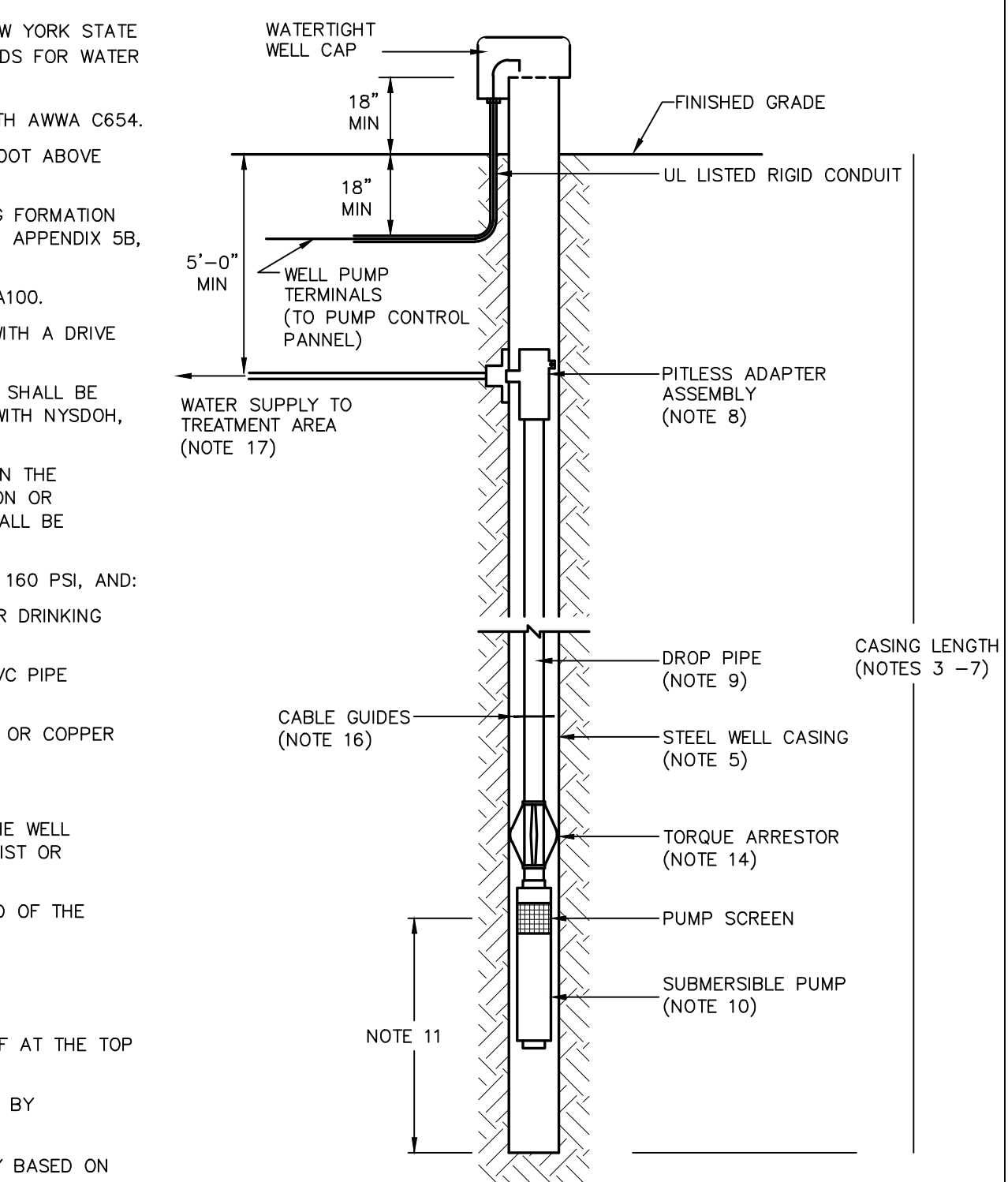


PAVED DRIVEWAY SECTION DETAIL
NOT TO SCALE



NOTES:
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

SANITARY SEWER SERVICE LINE TRENCH DETAIL
NOT TO SCALE



WELL DETAIL
NOT TO SCALE

SUBEN, LLC SUBDIVISION
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.
SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN

DRAWN BY: CMB

CHECKED BY: MAB

REVISIONS:

NO.	DATE	DESCRIPTION	BY

REVISIONS:

NO.	DATE	DESCRIPTION	BY

Dig Safely, New York

Call 811

before you dig

STATE OF NEW YORK

MICHAEL A. WOODWARD

REGISTERED PROFESSIONAL ENGINEER

084466

SEAL

HUDSON LAND DESIGN

PROFESSIONAL ENGINEERING P.C.

174 MAIN ST., BEACON, NEW YORK 12508

13 CHAMBERS ST., NEWBURGH, NEW YORK 12550

PH: 845-440-6926

SIGHT DISTANCE PROFILES

SUBEN LLC SUBDIVISION

NEW HACKENSACK ROAD

TOWN OF WAPPINGER

DUTCHESS COUNTY, NEW YORK

TAX ID: 6158-04-632426

JOB #: 2023-031

DATE: 2/5/2024

SCALE: AS SHOWN

TITLE: CD-1

SHEET: 6 OF 7

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK EDUCATION LAW

SCHEDULE OF REGULATIONS (R-20 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:				
PARAMETER	REQUIREMENT	EXISTING	LOT 1	LOT 2
LOT AREA:	20,000	135,036 SQFT	66,711 SQFT	82,408 SQFT
LOT WIDTH:	100 FEET MINIMUM	±600 FEET	±228 FEET	±200 FEET
LOT DEPTH:	125 FEET MINIMUM	±420 FEET	±350 FEET	±400 FEET
LOT FRONTAGE:	50 FEET MINIMUM	±478 FEET	±228 FEET	±200 FEET
YARD SETBACKS (RESIDENTIAL USE):				
FRONT YARD:	35/75 FEET MINIMUM*	N/A	±44 FEET	±36 FEET
SIDE YARD:	20 FEET MINIMUM	N/A	±134 FEET	±54 FEET
REAR YARD:	40 FEET MINIMUM	N/A	±57 FEET	±112 FEET
MAX. BUILDING HEIGHT:	2.5 STORIES/35 FT MAX.	N/A	35 FEET	35 FEET
MAX. BUILDING COVERAGE:	15%	0%	2%	2%
MAX. FLOOR AREA RATIO:	0.15	0.00	0.00	0.00
*75 FEET FROM A COUNTY OR STATE HIGHWAY, 35 FEET FROM ALL OTHER ROADS				

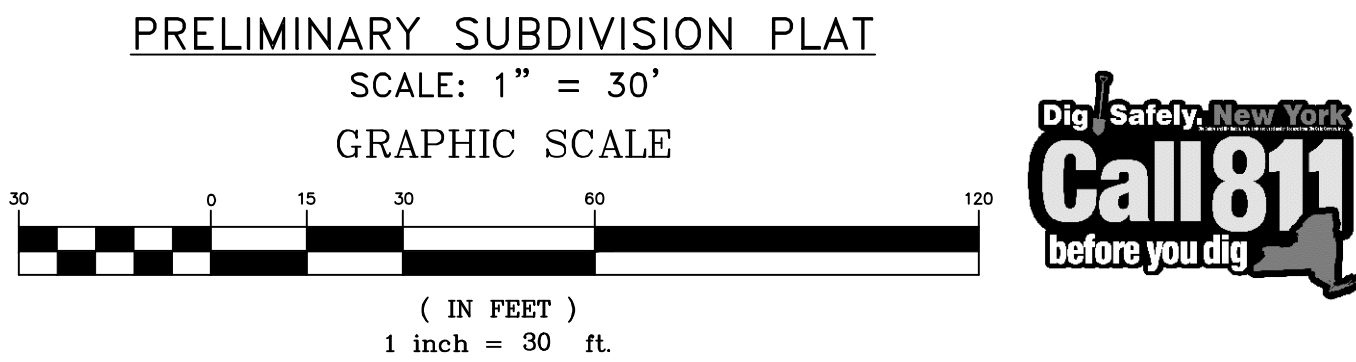
LEGEND:	
	EXISTING PROPERTY LINE
	ADJOINING PROPERTY LINE
	EXISTING EASEMENT LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT

SUBEN, LLC SUBDIVISION
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



HUDSON
LAND DESIGN

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926

PRELIMINARY SUBDIVISION PLAT
SUBEN LLC SUBDIVISION

NEW HACKENSACK ROAD
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK
TAX ID: 6158-04-632426

JOB #:	2023:031
DATE:	2/5/2024
SCALE:	1" = 30'
TITLE:	SP-1
SHEET:	7 OF 7