

IGLESIA CRISTIANA "EL SEMBRADOR"

2368 ROUTE 9D, WHAPPINGER FALLS DUCHESS COUNTY

NY. 11792

SCOPE OF WORK

NEW 2 STORY & CELLAR ADDITION

SITE PLAN NOTES

1. ALL ELEVATIONS SHALL BE MEASURED IN NAVD88 DATUM
2. FOOTPRINT DIMENSIONS ON SITE PLAN MAY NOT REFLECT ACTUAL DIMENSIONS OF NEW EXIST. FOUND. DUE TO THICKNESSES OF VARIOUS MATERIALS (IE. SIDING)
3. ALL UTILITY DESIGNATIONS ARE APPROXIMATE AND ARE FOR REFERENCE PURPOSES ONLY.
4. THIS IS AN ARCHITECT'S SITE PLAN & IS SUBJECT TO VERIFICATION BY A LICENSED SURVEYOR. THE INFORMATION REPRESENTED ON THIS SITE PLAN IS THE ARCHITECT'S BEST OF KNOWLEDGE AND WAS OBTAINED FROM A SURVEY PREPARED BY:

PJM LAND SURVEYING, PLLC.
LAND SURVEYOR
132 CLYDE ST SUITE 18, WEST SAYVILLE, NY 11796
TEL: (631) 563-0400
DATED:
01-05-2023

BUILDING PLAN REVIEW NOTE

TOWN OF WHIPPINGS BUILDING PLANS EXAMINER HAS REVIEWED THE ENCLOSED DOCUMENT FOR MIN. ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN OF ISLIP IN THE BUILDING AND/OR RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THAT RESPONSIBILITY IS GUARANTEED UNDER THE SEAL AND SIGNATURE OF THE STATE OF NEW YORK LICENSED DESIGN PROFESSIONAL OF RECORD. THAT SEAL AND SIGNATURE HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:

- ACCURATE
- CONFORMS WITH THE GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION
- CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARD OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE
- THE RESPONSIBILITY OF THE LICENSEE

* THESE PLANS ARE IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE *

DESIGN CRITERIA

BUILDING CODE:
COMMERCIAL CODE OF NEW YORK STATE IBC 2018

ELECTRICAL CODE:
2020 NATIONAL ELECTRICAL CODE (NEC)

GAS CODE:
2017 INTERNATIONAL FUEL GAS CODE (IFGC)

MECHANICAL CODE:
2020 INTERNATIONAL MECHANICAL CODE (IMC)

PLUMBING CODE:
2020 INTERNATIONAL PLUMBING CODE (IPC)

FIRE PROTECTION CODE:
2020 INTERNATIONAL FIRE PROTECTION CODE (NFPA)

FIRE CODE:
2020 INTERNATIONAL FIRE CODE (IFC)

REFERENCE STANDARD:
2018 WOOD FRAME CONSTRUCTION MANUAL (WFCM) BY THE AMERICAN WOOD COUNCIL (AWC)

LUMBER:
SPECIES - DOUGLAS FIR LARCH (NORTH) #2 w/ MIN. Fb = 850 PSI (OR BETTER)

SHEARWALL METHOD:
PERFORATED SHEARWALL
INSCRIBED STRUCTURE METHOD

ENERGY CODE:
2020 ENERGY CONSERVATION CODE OF NEW YORK STATE (COMERCIAL ZONE)

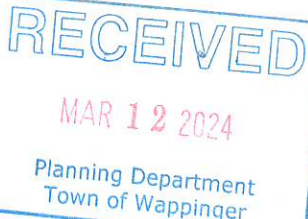
ENERGY COMPLIANCE STATEMENT:
TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

NYC EXISTING BUILDING CODE 2018

ZONING DISTRICT HM

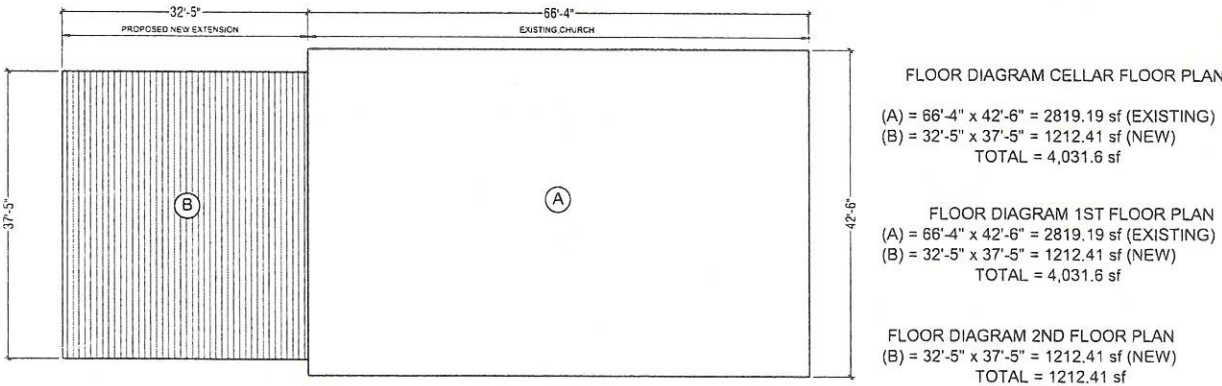
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA CLIMATE ZONE C5

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHER INDEX	FROST LINE DEPTH	TERMITES	DECAY	FLOOD HAZARDS	WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED
30 PSF	GROUND SNOW LOAD	B	SEVERE	5'-0"	SLIGHT TO MODERATE	SLIGHT	NO	11	YES



SCHEDULE OF DRAWING

- Z-001 EXISTING-PROPOSED PLOT PLAN
G-001 GENERAL NOTES
G-002 GENERAL NOTES
A-001 EXISTING FIRST FLOOR PLAN & ROOF
A-002 PROPOSED CELLAR FLOOR PLAN
A-003 PROPOSED FIRST FLOOR PLAN
A-004 PROPOSED SECOND FLOOR PLAN
A-005 PROPOSED ROOF PLAN
A-006 SECTION
A-007 SECTION
A-008 ELEVATIONS
A-009 ELEVATION
A-010 ELEVATIONS
A-011 DETAILS



DISTRICT: HM	CODE REQUIREMENT	EXISTING	PROPOSED	NOTES
PRINCIPAL BUILDINGS	2 STORIES / 28 FT	2 STORY		NO CHANGE
MAXIMUM HEIGHT	35.282 SF	2,819.19 SF		NO CHANGE
MIN. LOT AREA	FT			NO CHANGE
MIN. LOT WIDTH				
		CELLAR STORY	CELLAR STORY	
		1ST STORY	1ST STORY	
GROSS FLOOR AREA	SF (MAX)	2,819.19 SF	1,212.41 SF	
		2ND STORY	1,212.41 SF	
		TOTAL:	3,637.23 SF	
F.A.R.				
MIN FRONT YARD	FT	FT	FT	
MIN 2ND FRONT YARD	FT	FT	FT	
MIN SIDE YARD	FT	FT	FT	
MIN TOTAL SIDE YARD	FT	FT	FT	
MIN REAR YARD	FT	FT	FT	

ALL DIMENSIONS
TO BE FIELD
VERIFIED

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SCOPE OF WORK:

NEW 2 STORY & CELLAR
ADDITION

REVISIONS	DATE	BY
	02-02-2024	

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PROJECT
HARVESTS
CHURCH
2368 ROUTE 90
WHAPPINGER FALLS 12590
DUCHESS COUNTY NY

INFO

SEAL &
SIGNATURE



DATE: 11-17-2023

PROJECT No.:

DRAWING BY:

CHECKED BY:

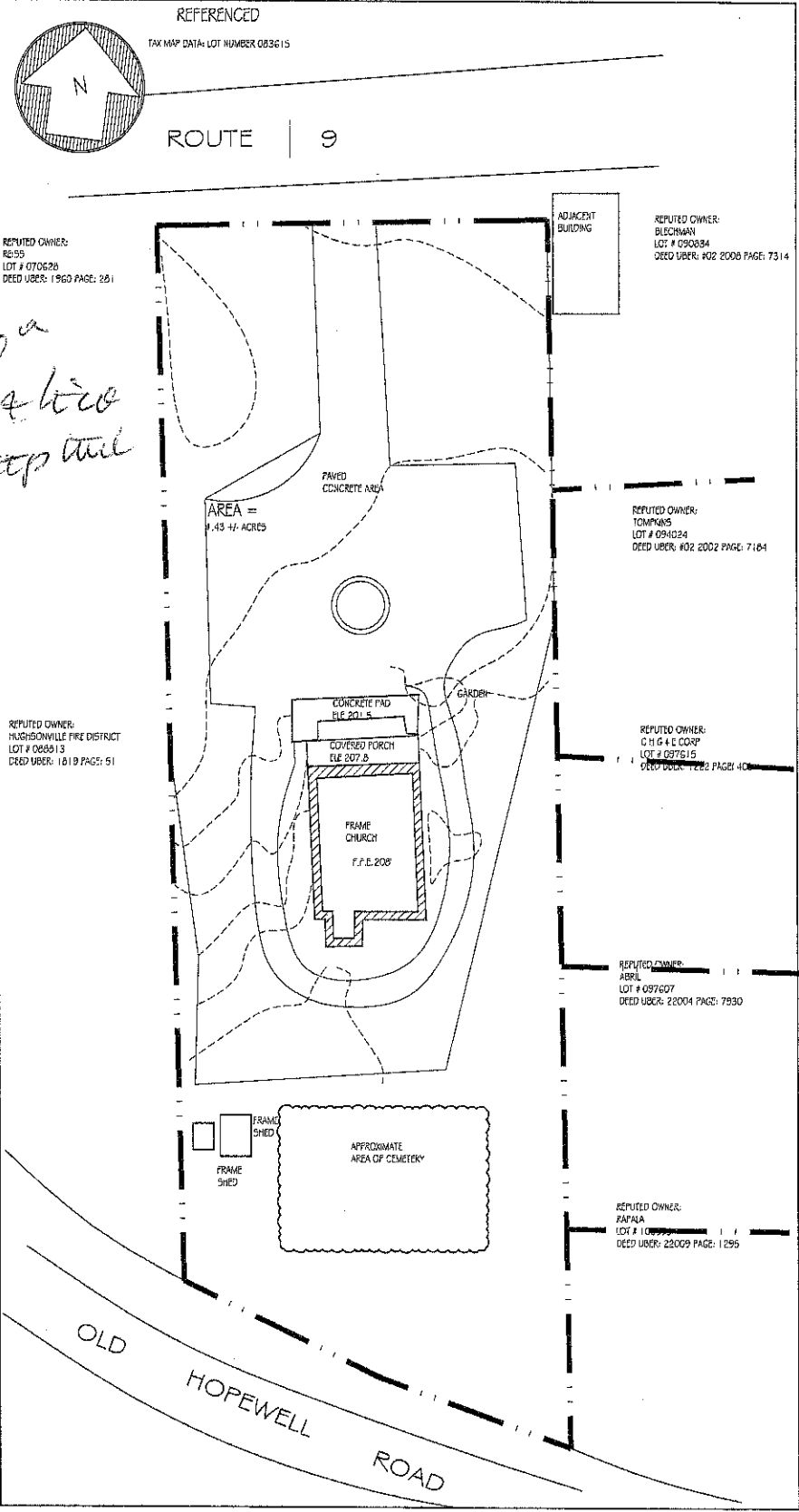
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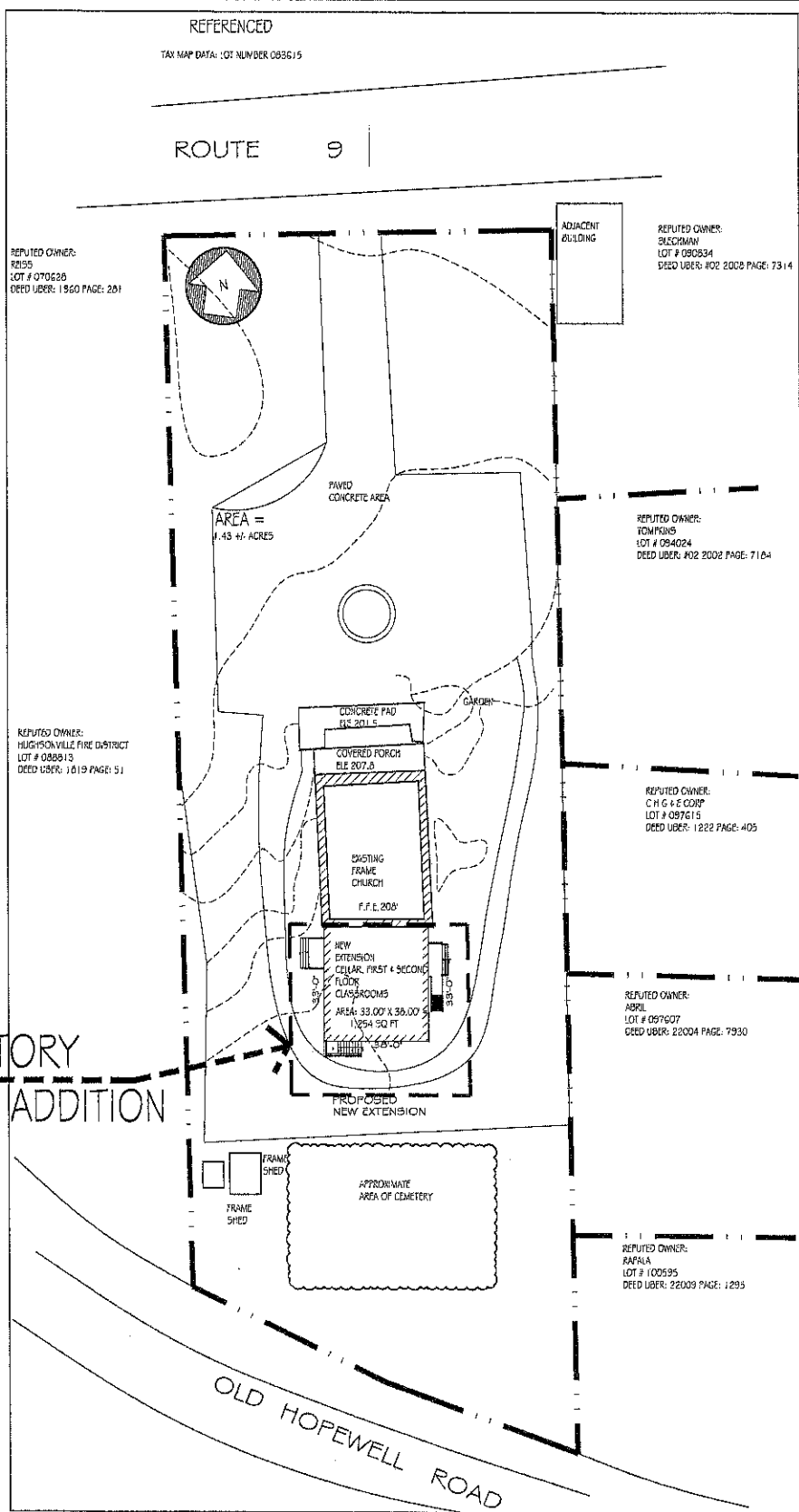
OF

2368 RT 9. WAPPINGERS FALLS NY

Church - New Extension Rear Building



1
Z-001
EXISTING PLOT PLAN
Scale: 1/4" = 1'-0"



NEW 2 STORY
& CELLAR ADDITION

2
Z-001
PROPOSED PLOT PLAN
Scale: 1/4" = 1'-0" ADDITION REAR EXTENSION

ALL DIMENSIONS TO BE FIELD VERIFIED

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SCOPE OF WORK:

NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY
	02-02-2024	

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PROJECT
HARVESTS CHURCH
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY, NY

EXISTING PLOT PLAN
PLOT PLAN

SEAL & SIGNATURE

REGISTERED ARCHITECT
STATE OF NEW YORK
019428

DATE: 11-17-2023
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
Z-001.00
OF

NOTES & SPECIFICATIONS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THIS CONSTRUCTION DOCUMENT BUNDLED TOGETHER AT ALL TIMES. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO READ ALL NOTES, SPECIFICATIONS, AND BE FAMILIAR WITH THE PLANS PRIOR TO WORK.

GENERAL

1. NO WORK TO START UNTIL APPROVED PLANS ARE OBTAINED FROM THE APPLICABLE BUILDING DEPARTMENT COMMERCIAL CODE OF THE NY.

2. ALL CONSTRUCTION SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. ALL DIMENSIONS, CONDITIONS, AND APPLICABLE INFORMATION OF EXISTING STRUCTURE/SITE SHALL BE FIELD VERIFIED BY GENERAL CONTRACTOR.

3. ALL WORK SHALL CONFORM TO NATIONAL, STATE, AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

4. ALL UNNOTED OR NON-VISIBLE EASEMENTS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER.

5. ANY OMISSIONS OR DISCREPANCIES OF PLANS AND/OR JOB CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. NO DEVIATIONS OR CHANGES TO THE STRUCTURAL SYSTEM SHALL BE MADE UNLESS APPROVED BY THE ARCHITECT/ENGINEER.

7. CONTRACTOR TO VERIFY DIMENSIONS OF FOUNDATION WITH FLOOR PLANS BEFORE THE START OF FRAMING.

8. DRY WELLS AS REQUIRED BY STATE AND LOCAL CODES.

9. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE.

10. OWNER/BUILDER ARE RESPONSIBLE FOR ALL INSPECTIONS, APPROVALS, CERTIFICATES, CERT. OF OCCUPANCY OR COMPLETION AND U.L. APPROVAL.

11. THESE SET OF DRAWINGS ARE THE PROPERTY OF JAMES M. BOULVER JR., P.A. OR NICHOLAS J. PFLUGER, R.A. (WHICH EVER HAS SIGNED AND SEALED THESE PRINTS) AND SHALL NOT BE ALTERED OR BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

12. THE ARCHITECT IS NOT RETAINED FOR SUPERVISION OF THE WORK AND IS RESPONSIBLE FOR DESIGN INTENT ONLY.

13. THE CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY.

14. THE CONTRACTOR SHALL KEEP PREMISES REASONABLY CLEAN AT ALL TIMES. AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL RUBBISH, WASTE MATERIALS, TOOLS, ETC., CLEAN GLASS AND LEAVE WORK BROOM CLEAN.

15. THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND GENERAL LIABILITY INSURANCE. ALL SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES.

16. THE CONTRACTOR SHOULD FULLY GUARANTEE HIS WORK AND THE WORK OF THE SUB-CONTRACTORS FOR A PERIOD OF AT LEAST ONE YEAR AFTER COMPLETION OF PROJECT.

17. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT/ENGINEER, AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEYS FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (A) IS ATTRIBUTABLE TO SOLELY INJURY, SICKNESS, DISEASE OR DEATH OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF INCLUDING THE LOSS OR USE RESULTING THEREFROM), (B) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM, OR ANYONE FOR WHOM ACTS ANY OF THEM MAY BE LIABLE REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER.

18. ALL MATERIALS, ASSEMBLIES, AND METHOD OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO FORM-WORK, BLOCK-WORK, FRAMING, NAILING, PLACING OF CONCRETE, ETC. ARE TO BE CAREFULLY SUPERVISED BY THE CONTRACTOR TO BE SURE THEY ARE IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, APPLICABLE CODES AND GOOD PRACTICE. DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT/ENGINEER.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHOP DRAWINGS NEEDED, UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS AND CONDITIONS PERTAINING ARE TO BE FIELD VERIFIED.

20. CONTRACTOR TO REMOVE & RELOCATE AS REQUIRED ALL EXISTING WORK WHICH INTERFERES WITH NEW CONSTRUCTION IN A WORKMAN LIKE MANNER.

21. ALL MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.

22. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS PER 2020 COMMERCIAL CODE OF NEW YORK STATE, SECTIONS: R802.6, R302.7, R302.11, R302.12, R1003.19, R1003.12.

23. PLEASE NOTE THAT THESE PLANS ARE PROTECTED AGAINST ANY UNAUTHORIZED USE UNDER FEDERAL LAW BY THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990 (AWCPA), WHICH HAS SEVERE PENALTIES.

INSULATION

1. WHEN KRAFT FACED FIBERGLASS BATT INSULATION IS SPECIFIED IT SHALL BE BY JOHN MANVILLE (OR EQUAL), UNLESS OTHERWISE NOTED. KRAFT FACE TO BE PLACED TOWARD WARM SIDE.

2. WHEN RIGID FOAM INSULATION IS SPECIFIED FOR EXTERIOR FACE OF FOUNDATION WALLS, CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING OR INSULATION FROM BACKFILLING.

3. ALL INSULATION SHALL BE OF THE SPECIFIED VALUE STATED IN PLANS, SECTIONS, DETAILS, AND DIAGRAM. ALL INSULATION SHALL INSTALLED AS PER MANU. SPEC'S.

4. ALL FOAM PLASTIC INSULATIONS SHALL ADHERE TO THE 2020 COMMERCIAL CODE OF NEW YORK STATE.

GYPSUM WALL BOARD

1. GYPSUM WALL BOARD SYSTEMS SHALL BE OF A TAPE JOINT AND JOINT COMPOUND METHOD.

2. ALL GYPSUM BOARD SHALL BE 1/2" ON WALLS AND CEILING, UNLESS OTHERWISE NOTED. WATER RESISTANT (W.R.) AT BATHROOMS AND WHERE DEEMED APPLICABLE.

3. 5/8" ONE HOUR RATED, TYPE "X" GYPSUM BOARD ON CEILING AND WALLS (WHERE APPLICABLE) AT HEAT PRODUCING EQUIPMENT TO EXTEND THREE FEET IN EACH DIRECTION BEYOND THE UNIT(S). ALSO AT HEAT PRODUCING EQUIPMENT, CONCRETE FLOOR OR IF PLACED ON WOOD FRAME, INSTALL CONCRETE PANELS OF 5/8" THICKNESS MINIMUM.

4. FINISH JOINTS, J-BEADS, NAIL DIMPLES, CORNERS, AND EDGES SHALL BE TAPED AND RECEIVE THREE COATS OF JOINT COMPOUND. ALLOW 24 HOURS TO DRY BETWEEN COATS. FINAL COAT TO BE SANDED SMOOTH.

5. METAL CORNER BEAD TO BE USED ON ALL OUTSIDE CORNERS AND AROUND ALL OPENINGS.

6. FASTEN GYPSUM BOARD AS PER FASTENING SCHEDULE ON PAGE A601.

CARPENTRY

1. ALL LUMBER SHALL BE DOUGLAS FIR LARCH (NORTH) #2 OR BETTER (FB = 850 PSI), UNLESS OTHERWISE NOTED.

2. ALL LUMBER IN CRAWL SPACES TO BE 18" ABOVE SCRATCH COAT. MAINTAIN 8" MIN. FOUNDATION EXPOSURE.

3. SILLS TO BE P.T. AND SECURELY FLASHED WITH A TERMITE SHIELD, ALSO PROVIDE SILL SEAL/INSULATION SIZE OF SILL TO BE (2) 2"x4", UNLESS (1) 2"x6" IS NECESSARY TO MATCH FLOOR HEIGHTS WITH THE EXISTING STRUCTURE.

4. AT FLUSH FRAMING USE 16 GAGE METAL JOISTS HANGERS BY "SMIPSON" (OR EQUAL).

5. MINIMUM, DOUBLE HEADERS AND TRIMMERS AROUND ALL OPENINGS IN FLOORS, ROOFS, AND WALLS - UNLESS OTHERWISE NOTED.

6. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS, POSTS, AND BATH TUBS, U.O.N.

7. ALL BEAMS, GIRDERS, ETC. TO HAVE MIN. OF 3-1/2" BEARING.

8. MIN. HEADER TO BE (2) 2"x10" UNLESS OTHERWISE NOTED.

9. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY/CONCRETE TO BE P.T.

10. ALL EXTERIOR SHEATHING SHALL BE NAILED AS PER FASTENING SCHEDULE ON PAGE A601. GENERALLY, SHEATHING IS OF 1/2" THICKNESS ON WALLS AND ROOF AND IS OF CDX GRADE, UNLESS OTHERWISE NOTED. SEE FLOOR PLANS FOR ADDITIONAL NAILING OR DIFFERENT NAILING REQUIREMENTS WHEN APPLICABLE.

11. SUB FLOORING, GENERALLY, TO BE OF 3/4" THICKNESS AND OF CDX GRADE, NAILING AS PER FASTENING SCHEDULE ON PAGE A601 AND GLEUED, U.O.N.

12. EXTERIOR SHEATHING TO BE COVERED WITH "TYVEK" HOUSE WRAP OR APPROVED EQUAL.

13. BLOCK EXTERIOR STUD WALLS AT HALF STORY HEIGHTS AND AT UNSUPPORTED EDGE SEAMS OF EXTERIOR SHEATHING.

14. PROVIDE 'X' CROSS BRACING AT JOISTS, STUDS, AND RAFTERS WHEN SPANS EXCEED 8'-0" AND AT EVERY 8'-0".

15. TOP PLATES TO BE DOUBLED AND LAPPED AT CORNERS, SEE ALSO PAGE A600 TO A604.

16. APPLY ALL CONDITIONS ADDRESSED IN FASTENING SCHEDULE AS NECESSARY.

17. PROVIDE ALL NAILING AND STRAPPING ADDRESSED ON PAGES A600 TO A604.

18. AT "WET WALL" PARALLEL TO JOISTS FRAME DOUBLE JOIST AS PER CODE. GENERALLY, SEPARATE DOUBLE JOIST THE THICKNESS OF WALL ABOVE. SUB FLOOR SHALL NEVER EXCEED A 16" SPAN.

19. AT ROUGH OPENINGS PROVIDE ALL APPLICABLE NAILING AND STRAPPING AS PER PAGE A600 THROUGH A604.

20. "P.T." SPECIFICS PRESSURE PRESERVATIVELY TREATED LUMBER IN ACCORDANCE W/ AWPA C22; WHERE DRILLING AND/OR CUTTING OCCURS, FIELD TREAT LUMBER W/ COPPER NAPHTHENE WHICH SHALL CONTAIN 2% COPPER METAL BY REPEATED BRUSHING, DIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE. ALSO, FOR HARDWARE USED WITH P.T. LUMBER, CONTRACTOR IS TO INSTALL HARDWARE THAT IS SPECIFIED BY P.T. LUMBER MANUFACTURER SUCH AS: HANGERS, NAILS, SCREWS, FLASHING, ANCHOR BOLTS, ETC. FOR LOCATIONS SUCH AS: LEDGER BD., SILL PLATE, DECK CONSTRUCTION, ETC. ANY REFERENCES TO CCA ARE TO BE REPLACED WITH P.T.

21. LVL (LAMINATED VENEER LUMBER) DENOTES EITHER OF THE FOLLOWING:

A. TRUSS JOIST MCILLIAM 2.0E MICROJAM
B. GEORGIA PINE LVL OF C-D LVL
P.L. (PARALLEL STRAND LUMBER) DENOTES
A. TRUSS JOIST MCILLIAM 2.0E PARALLAM
ALL TO BE INSTALLED AS PER MANU. SPEC'S

22. SEE PAGES A600 TO A602 FOR SHEARWALL INFORMATION.

GLASS WINDOWS AND DOORS

1. ALL GLAZING SHALL COMPLY WITH SECTION R308 OF INTERNATIONAL COMMERCIAL CODE OF THE NY.

2. ALL GLAZING SHALL BE IDENTIFIED AS PER SECTION R308 OF 2020 RCNYS

3. ALL GLASS TO BE A MIN. OF INSULATED LOW-E, DOUBLE PANE GLASS, UNLESS OTHERWISE SPECIFIED.

4. GLASS DOORS AND WINDOWS SHALL NOT BE INSTALLED UNTIL PROPER CLEARANCES ARE PROVIDED.

5. GLAZING IN ALL SKYLIGHTS SHALL BE TEMPERED GLASS.

6. GLAZING IN WINDOWS THAT ARE 18" OR LESS OF FINISHED FLOOR, AND HAVE AN INDIVIDUAL PANE OF GLASS 9" OR LARGER, AND HAVE THE TOP EDGE OF GLASS 36" OR MORE ABOVE THE FINISHED FLOOR, AND ARE ADJACENT A WALKING SURFACE, SHALL BE TEMPERED GLASS, UNLESS OTHERWISE NOTED.

7. GLAZING IN ALL DOORS SHALL BE TEMPERED GLASS.

8. ALL GLASS UNITS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

9. ALL WINDOWS TO BE CALKED AND SEALED AS PER 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE.

10. PROVIDE FLASHING PANS UNDER ALL SLIDING GLASS DOORS, WINDOWS, OR ANY OTHER TYPE OF GLASS UNIT WHEN WITHIN 8" OF AN EXTERIOR SURFACE.

11. ALL EXTERIOR DOORS ARE TO BE WEATHERED STRAPPED AND PROVIDE ALL SCREENS AND HARDWARE NECESSARY FOR PROPER FUNCTION OF SUCH UNITS.

12. ALL GLASS IS TO BE FREE OF SCRATCHES AND IMPERFECTIONS. GLASS SHOULD BE GUARANTEED BY THE MANUFACTURER FOR A PERIOD OF 5 YEARS.

13. FOR WINDOW MANUFACTURER SUBSTITUTIONS - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CHARACTERISTICS OF THE WINDOW MATCH THE CHARACTERISTICS OF THE WINDOWS SPECIFIED ON THE PLANS. THE CHARACTERISTICS ARE AS FOLLOWS, BUT NOT LIMITED TO: DESIGN PRESSURE, ROUGH OPENING, U-FACTOR, LIGHT AREA, VENT AREA, AND EGRESS AREA / WIDTH / HEIGHT.

14. ALL WINDOWS AND DOORS SHALL MEET A DESIGN PRESSURE EXCEEDING VALUES IN TABLE 301.2(2) OF 2020 RESIDENTIAL CODE OF NEW YORK STATE.

15. WINDOWS / GLAZING IN TUB/SHOWER ENCLOSURES (INCLUDING "SHOWER DOORS") AND WITHIN STAIRWAYS SHALL BE TEMPERED GLASS AS PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, SECTION R308.

PLUMBING

1. CONTRACTOR SHALL INSTALL WATER SUPPLY, DRAIN, WASTE, AND VENT (DWV) SYSTEMS TO MASSACHUSETTS/SUFFOLK COUNTY DEPT. OF HEALTH SERVICES, LOCAL BLDG. DEPT., AND PLUMBING SECTIONS OF THE COMMERCIAL CODE OF THE NY.

2. SITE SANITARY SYSTEMS ARE TO COMPLY W/ N.C.D.H.S./S.C.O.H.S. REQUIREMENTS.

3. PROVIDE HOT AND COLD SHUT OFF VALVES AT ALL FIXTURES.

4. ALL WATER PIPING TO HAVE CLEAN CUTS AT ALL CHANGES IN DIRECTION AND AT BASE OF VERTICAL WATER PIPES.

5. USE 4" CAST IRON THROUGH FOUNDATION WALL AND PITCHED AT 1/8" PER FOOT.

6. GENERAL TRAP AND WASTE SIZES AS FOLLOWS, UNLESS OTHERWISE NOTED:

- DISH WASHER.....	1.5"
- KITCHEN SINK.....	1.5"
- LAVATORY.....	1.25"
- SHOWER/TUB.....	1.5"
- TOILET.....	3"

7. ALL SYSTEMS TO HAVE ONE 3" MAIN VENT STACK AND INCREASED TO 4" THROUGH ROOF.

8. PROVIDE FROST-PROOF HOSE BIBS WITH EASILY ACCESSIBLE DRAIN & DRAIN COCKS AS REQ'D. HOSE BIBS SHALL BE PROVIDED WITH BACKFLOW PROTECTION.

9. WASTE FROM CLOTHES WASHERS AND LAUNDRY TUBS ARE TO BE PROVIDED WITH BACK FLOW PROTECTION.

10. THE WATER SUPPLY AND SANITARY SYSTEM SHALL COMPLY WITH LOCAL HEALTH DEPARTMENT STANDARDS AND REGULATIONS.

11. APPROVAL AND INSPECTION IS REQUIRED BY LOCAL JURISDICTION PRIOR TO CONCEALMENT OF PLUMBING.

12. NOTCHING AND BORING OF STUDS, JOISTS, RAFTERS AS PER BUILDING CODE. NO NOTCHING AND BORING OF STRUCTURAL MEMBERS SHALL BE PERMITTED NOR ANY POTENTIAL DAMAGE THEREOF.

ELECTRICAL

1. ALL NEWLY INSTALLED ELECTRICAL WORK OR APPLIANCES SHALL CONFORM TO THE COMMERCIAL CODE OF THE NY. SECTIONS FOR ELECTRICAL.

2. CONTRACTOR WILL FURNISH A FIRE UNDERWRITERS CERTIFICATE UPON COMPLETION OF WORK.

3. ELECTRICAL WIRING AND EQUIPMENT TO COMPLY W/ CHAPTERS 34-43 AND LOCAL BUILDING DEPARTMENT.

4. SMOKE DETECTORS AS PER N.Y.S. CODE SECTION R314.
- GENERALLY, VERIFY OR PROVIDE HARD WIRED SMOKE DETECTORS W/ BATTERY BACK-UP IN:

A. EACH SLEEPING ROOM

B. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS (GENERALLY THE HALLWAY)

C. EVERY LEVEL OF DWELLING (BASEMENT, FIRST FLOOR, & SECOND FLOOR, ETC.)

MECHANICAL, FUEL GAS

1. MECHANICAL AND FUEL GAS SYSTEMS SHALL COMPLY W/ OF THE NEW YORK CITY BUILDING CODE. SECTIONS FOR MECHANICAL AND FUEL GAS.

FOR ELECTRICAL, PLUMBING, FUEL GAS, AND MECHANICAL SYSTEMS:

1. TRADE CONTRACTORS ARE TO VERIFY THAT THE EXISTING AND PROPOSED SYSTEMS OF THEIR TRADE ARE ABLE TO SUSTAIN THE EXISTING AND PROPOSED LOADS APPLIED TO THAT SYSTEM.

ASPHALT ROOFING SHINGLES

1. ALL SLOPED ROOFING SHINGLES SHALL BE GAF-CLASS-A ASPHALT ROOFING SHINGLES OR APPROVED EQUAL.

2. SHINGLES SHALL BE APPLIED OVER 15# BUILDING FELT, UNLESS OTHERWISE NOTED. ALSO, CONTRACTORS OPTION TO APPLY GAF-WEATHER-WATCH ICE AND WATER BARRIER FROM EDGE OF EAVE TO 24" INSIDE EXTERIOR WALL LINE, & 24" FROM ALL VALLEYS, AND ROOF FLASHING CONDITIONS.

3. PROVIDE FLASHING NECESSARY FOR WATER TIGHT AND WEATHERPROOF CONSTRUCTION.

4. ROOFING IS TO BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

5. NAILING OF ROOFING SHALL BE TO CODE.

6. CORROSION RESISTANT 11 GAGE ROOFING NAILS AND 16 GAGE STAPLES ARE PERMITTED.

7. PROVIDE (2) LAYERS OF 15# ASPHALT BUILDING FELT UNDERLAYMENT FOR 2:12 PITCHES TO 4:12 PITCHES

SITE WORK

1. STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR

2. VERIFY ALL GIVEN DATA ON DRAWINGS. IF THERE IS A DISCREPANCY, REDEME CLARIFICATION FROM ARCHITECT/ENGINEER PRIOR TO PROCEEDING.

3. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIALS.

4. NEW AND EXISTING BACK FILL MATERIAL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS, AND DEBRIS. ALL SURPLUS MATERIAL THAT IS UNSUITABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM SITE.

5. PROTECT TREES WITHIN EIGHT FEET OF THE BUILDING.

NOTCHING AND BORING OF SOLID SAWN RAFTERS

NOTCHES IN THE TOP OR BOTTOM EDGE OF SOLID SAWN RAFTERS SHALL NOT BE CUT IN THE MIDDLE ONE-THIRD OF THE RAFTER SPAN. NOTCHES IN THE OUTER THIRDS OF THE SPAN SHALL NOT EXCEED ONE-SIXTH OF THE ACTUAL RAFTER DEPTH. WHERE NOTCHES ARE MADE AT SUPPORTS THEY SHALL NOT EXCEED ONE-FOURTH THE ACTUAL RAFTER DEPTH. BORED HOLES ARE LIMITED IN DIAMETER TO ONE-THIRD THE ACTUAL RAFTER DEPTH AND THE EDGE OF THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES TO THE TOP OR BOTTOM EDGES.

NOTCHING AND BORING OF STUDS

NOTCHES IN EITHER EDGE OF STUDS SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE STUD LENGTH. NOTCHES IN THE OUTER THIRDS OF THE STUD LENGTH SHALL NOT EXCEED 25% OF THE ACTUAL DEPTH. BORED HOLES SHALL NOT EXCEED 40% OF THE ACTUAL STUD DEPTH AND THE EDGE OF THE HOLE SHALL NOT BE CLOSER THAN 5/8" TO THE EDGE OF THE STUD. NOTCHES AND HOLES SHALL NOT OCCUR IN THE SAME CROSS-SECTION.

MATERIALS STANDARDS

THE PROVISIONS OF THIS STANDARD ARE NOT INTENDED TO PREVENT THE USE OF ANY MATERIAL OR METHOD OF CONSTRUCTION NOT SPECIFICALLY PRESCRIBED HEREIN, WHEN IT CAN BE SHOWN, AND THE AUTHORITY HAVING JURISDICTION FINDS BY EXPERIENCE, MODELING, OR TESTING BY AN APPROVED AGENCY, THAT A PRODUCT OR PROCEDURE PROVIDES EQUIVALENT OR GREATER STRUCTURAL SAFETY OR DURABILITY, SUCH PRODUCT OR PROCEDURE SHALL BE DEEMED TO CONFORM TO THE REQUIREMENTS OF THIS DOCUMENT (THIS DOCUMENT IS TO MEAN A REFERENCE TO THE CURRENT AMERICAN WOOD COUNCIL'S WFCM WOOD FRAME CONSTRUCTION MANUAL, AS APPLICABLE AS A DERIVED WORK).

M1 IDENTIFICATION

ALL SOLID-SAWN LUMBER, GLEUED LAMINATED TIMBER, PREFABRICATED WOOD I-JOISTS, STRUCTURAL COMPOSITE LUMBER, PREFABRICATED WOOD TRUSSES, GYPSUM, HARDBOARD, AND STRUCTURAL PANELS, SHALL CONFORM TO THE APPLICABLE STANDARDS OR GRADING RULES SPECIFIED IN M.1 THROUGH M1.8.

M 1.1 LUMBER

ALL WOOD MEMBERS USED FOR LOAD-BEARING PURPOSES, INCLUDING END-JOINTED AND EDGE-GLEUED LUMBER, SHALL BE IDENTIFIED BY THE GRADEMARK OF A LUMBER GRADING OR INSPECTION AGENCY WHICH PARTICIPATES IN AN ACCREDITATION PROGRAM, SUCH AS THE AMERICAN LUMBER STANDARDS COMMITTEE OR EQUIVALENT. THE GRADEMARK SHALL INCLUDE AN EASILY DISTINGUISHABLE MARK OR INSNOWA OF THE GRADING AGENCY WHICH COMPLIES WITH THE REQUIREMENTS OF U.S. DEPARTMENT OF COMMERCE PS20-39.

M 1.2 GLEUED LAMINATED TIMBERS

GLEUED LAMINATED TIMBERS SHALL MEET THE PROVISIONS OF ANSI/ALTC A 1 90.1 STRUCTURAL GLEUED LAMINATED TIMBERS.

M 1.3 PREFABRICATED WOOD I-JOISTS

ASSEMBLIES USING PREFABRICATED WOOD I-JOISTS SHALL MEET THE PROVISIONS OF ASTM D5055 STANDARD SPECIFICATION FOR ESTABLISHING AND MONITORING STRUCTURAL CAPACITIES OF PREFABRICATED WOOD I-JOISTS, THIS DOCUMENT, THE GOVERNING BUILDING CODE AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.4 STRUCTURAL COMPOSITE LUMBER

SINGLE MEMBERS OR ASSEMBLIES USING STRUCTURAL COMPOSITE LUMBER SHALL MEET THE PROVISIONS OF ASTM D5458 STANDARD SPECIFICATION FOR EVALUATION OF STRUCTURAL COMPOSITE LUMBER PRODUCTS, THIS DOCUMENT, THE GOVERNING BUILDING CODE, AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.5 PREFABRICATED WOOD TRUSSES

ASSEMBLIES USING PREFABRICATED WOOD TRUSSES SHALL MEET THE PROVISIONS OF THIS DOCUMENT, OF THE NEW YORK CITY BUILDING CODE., AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN ANSI/TPI 1 NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, THE TRUSS DESIGN DRAWINGS, OR THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.6 GYPSUM

GYPSUM MATERIAL USED IN A STRUCTURAL APPLICATION SHALL MEET THE PROVISIONS OF ASTM C38 9 SPECIFICATION FOR GYPSUM WALLBOARD, ASTM C37 SPECIFICATION FOR GYPSUM LATH, OR C7ASTM 9 SPECIFICATION FOR GYPSUM SHEATHING BOARD.

M 1.7 HARDBOARD

HARDBOARD USED IN A STRUCTURAL APPLICATION SHALL MEET THE PROVISIONS OF ANSI/AHA A135.4 BASIC HARDBOARD OF ANSI/AHA AL35.6 HARDBOARD SIDING.

M 1.8 STRUCTURAL PANELS

M 1.8.1 PLYWOOD

PLYWOOD USED IN STRUCTURAL APPLICATIONS SHALL MEET THE PROVISIONS OF U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD 1 (PS 1) CONSTRUCTION AND INDUSTRIAL PLYWOOD, U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD 2 (PS2) PERFORME STANDARD FOR WOOD-BASED STRUCTURAL- USE PANELS, APPLICABLE CODE EVALUATION REPORTS.

M 1.8.2

ORIENTED-STRAND BOARD (OSB), WATERBOARD ORIENTED-STRAND BOARD OR WATERBOARD USED IN STRUCTURAL IONS SHALL MEET THE PROVISIONS OF U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD 2 (PS2) PERFORMANCE/VOLUNTARY PRODUCT STANDARD FOR WOOD-BASED STRUCTURAL- USE PANELS OR APPLICABLE CODE EVALUATION REPORTS.

M 1.8.3 PARTICLEBOARD

PARTICLEBOARD USED IN STRUCTURAL APPLICATIONS SHALL CONFORM TO ANSI A208.1 AND ANY REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.8.4 FIBERBOARD

FIBERBOARD USED IN STRUCTURAL APPLICATIONS SHALL MEET THE PROVISIONS OF ANSI/AHA A154.1 CELLULOSIC FIBERBOARD OR ASTM C208 STANDARD SPECIFICATION FOR CELLULOSIC FIBER INSULATING BOARD.

M 1.8.5

STRUCTURAL PANEL SIDING STRUCTURAL PANEL SIDING USED IN STRUCTURAL APPLICATIONS SHALL MEET THE REQUIREMENTS OF U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD 1 (PS- 1), THE GOVERNING BUILDING CODE, AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN APPLICABLE CODE EVALUATION REPORTS.

M 2.2 FASTENERS AND CONNECTORS ALL FASTENERS AND CONNECTORS SHALL CONFORM TO THE STANDARDS SPECIFIED IN M 2.2.1 THROUGH M 2.2.7.

M 2.2.1 BOLTS

BOLTS SHALL COMPLY WITH ANSI/ASME B 18.2.1 SQUARE AND HEX BOLTS AND SCREWS (INCH SERIES).

M 2.2.2 LAG SCREWS

LAG SCREWS OR LAG BOLTS SHALL COMPLY WITH ANSI/ ASME B18.2.1 SQUARE AND HEX BOLTS AND SCREWS (INCH SERIES).

M 2.2.3 TRUSS METAL CONNECTOR PLATES

TRUSS METAL CONNECTOR PLATES SHALL MEET THE REQUIREMENTS OF ANSI/TPI 1 NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, THE GOVERNING BUILDING CODE, AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORTS.

M 2.2.4

METAL CONNECTORS WHERE METAL PLATE OR STRAPPING SIZE AND GAGE ARE SPECIFIED, MINIMUM ASTM A653, STRUCTURAL QUALITY, GRADE 33 STEEL SHALL BE USED. OTHER METAL CONNECTORS SHALL MEET THE REQUIREMENTS OF THE GOVERNING BUILDING CODE AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORTS.

M 2.2.5 NAILS

NAILS SHALL COMPLY WITH ASTM F 1667 STANDARD SPECIFICATION FOR DRIVEN FASTENERS: NAILS, SPIKES, AND STAPLES.

M 2.2.6 PNEUMATIC NAILS AND STAPLES

PNEUMATIC NAILS AND STAPLES SHALL MEET THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORTS.

M 2.2.7 SCREWS

SCREWS SHALL COMPLY WITH ANSI/ASME B 18.8.1 WOODSCREWS (INCH SERIES).

ALL DIMENSIONS

TO BE FIELD

VERIFIED

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SCOPE OF WORK:

NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY
	02-02-2024	

POURED CONCRETE AND STEEL REINFORCEMENT

NOTES:

- ALL EXCAVATIONS SHALL NOT UNDERMINE EXIST. ADJACENT FOUNDATIONS BY AN ANGLE OF 45° PROJECTED OUTWARD AND DOWNWARD FROM THE BOTTOM OF EXISTING ADJACENT FOOTINGS
- IF WATER ENCOUNTERED DURING POURING OF CONC., EXCAVATION SHALL BE DEWATERED. THE POUR SITE SHALL REMAIN DRY FOR ENTIRETY OF POUR CONTACT ARCHITECT WHEN WATER ENCOUNTERED
- CONCRETE MIX DESIGN SHALL BE PERFORMED BY THE CONCRETE PLANT'S PROFESSIONAL ENGINEER AND IN ACCORDANCE WITH ACI 318
- POURED CONCRETE SHALL BE KEPT MOIST FOR A MIN. OF 14 DAYS
- ALL FOUNDATION WORK SHALL BE MIN. 3,000 PSI POURED CONCRETE AT 28 DAYS AND SHALL CONFORM TO THE CURRENT ACI 318 CODE (3,500 MIN. PSI FOR PORCH, PATIO, GARAGE SLABS, AND BASEMENT ENTRIES)
- ALL REINFORCEMENT BARS SHALL BE DEFORMED EPOXY COATED CARBON STEEL ASTM A615 GRADE 60. WWM FOR SLABS DO NOT NEED TO BE EPOXY COATED
- U.O.N., REBAR LAPS SHALL BE A MIN. OF 40 DIAMETERS. ALL LAPS SHALL BE STAGGERED
- PROVIDE MECHANICAL DEVICES TO HOLD STEEL & HARDWARE IN PLACE AT TIME OF POURING & MAINTAIN REQUIRED CLEARANCES, COVERAGES, AND PLUMBNESS
- CEMENT SHALL CONFORM TO ASTM C-33 FOR STANDARD WEIGHT CONCRETE
- ALL POURED CONCRETE SHALL BE AIR ENTRAINED
- 1/2" EXPANSION JOINTS @ PERIMETER OF ALL SLABS

ADDITIONAL FOUNDATION NOTES:

- SEE FLOOR PLANS FOR LOCATIONS OF HOLDDOWNS AND COORDINATE AS REQ'D
- SOLID BLOCK ALL POINT LOADS TO THE FOUND. OR BEAM BELOW IT
- PRESSURE TREATED LUMBER (DENOTED AS "P.T.") SHALL BE ACQ IN ACCORDANCE w/ AWPA U1
- ALL EXTERIOR HARDWARE (BOLTS, HANGERS, NUTS, WASHERS ETC.) SHALL BE STAINLESS STEEL AS PER ASTM F1667 OR HOT DIPPED GALV. STEEL AS RECOMMENDED BY MANUFACTURER OR AS PER ASTM A153 AND ASTM A653 TYPE G185 ZINC COATED GALV. STEEL.
- V.I.F. ALL EXIST. FOUND.'S TO BE OF MIN. 8" THK. WALL w/ MIN. 16"x8" DEEP P. CONC. FOOTING TO 3'-0" BELOW GRADE; IF NOT, CONTACT ARCHITECT PRIOR TO CONSTRUCTION.
- MASON TO DETERMINE HEIGHT OF NEW FOUND. WALL IN FIELD TO ACCOUNT FOR:
 - FINISHED FLOORING TO ALIGN w/ EXIST.
 - DIFFERENCE IN JOIST SIZE
 - NUMBER/THICKNESS OF SILL PL.'S
 - SUB-FLOOR THICKNESS, ETC.
 - MAINTAIN 8" FOUND. EXPOSURE @ EXT. (VERIFY THIS CONDITION IN FIELD)

INTERIOR F.J. LEDGER:

- SEE NOTED DETAIL FOR MORE INFORMATION

SPREAD FOOTING 'A':

- 30"x30"x15" DEEP P. CONC. SPREAD FOOTING w/ (4) #4 REBAR EACH WAY. UPON UNDISTURBED SOIL.
- MIN. 3" REBAR COVER

TYPICAL STEEL COLUMN SUPPORT:

- 3.5" OUTSIDE DIAMETER SCH. 40 STL. PIPE COLUMN
- CAP PLATE - 6" WIDE x 8" LONG x 3/8" THK. STL. CAP.L WELDED TO TOP OF STL. COL. FASTENED w/ (4) 1/2" 0 x 4" LONG LAG BOLTS (PREDRILLED TO WD. 6M)
- BASE PLATE - 8" x 8" x 3/8" THK. STL. BASE PL. WELDED TO BOTTOM OF STL. COL. FASTENED w/ (4) 1/2" HOOKED ANCHOR BOLTS EMBEDDED MIN. 6" INTO FOOTING

PROTECTION FROM HEAT PRODUCING EQUIPMENT:

- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD @ CEILING OVER HEAT PRODUCING EQUIPMENT
- CONFIGURE GYP. DB. TO MIN. 3'-0" BEYOND EACH EDGE OF THE EQUIPMENT.

FOR WOOD STAIRS @ GRADE:

- 4" THK. P. CONC. PAD 8" WIDE x REQ'D LENGTH UPON 6" GRAVEL
- DECK STAIR SHALL HAVE 2"x12" P.T. STRINGERS @ MAX. 12" O.C., U.O.N. (MIN. 3 STRINGERS)
- FASTEN STRINGERS TO SLAB w/ "L" BRACKETS BY 'SIMPSON' (OR EQUAL)

DECK TIE:

- 'SIMPSON' DTT1Z DECK TENSION TIE
- INSTALL AS PER MANU. SPEC.'S

PROVIDE SOLID BLOCKING FROM POST ABOVE TO BEAM

CANTILEVER NEW BEAM TO CARRY EXIST. DBL JOIST

FOUNDATION KEY NOTES

TYPICAL P. CONC. FOUNDATION WALL & P. CONC. FOOTING CONSTRUCTION:

- 8" P. CONC. FOUND. WALL AS PER NOTED DETAIL
- 20"x8" DEEP P. CONC. FOOTING AS PER NOTED DETAIL
- SEE DETAIL 1/A603 FOR MORE INFORMATION

TYPICAL BASEMENT SLAB CONSTRUCTION:

- 4" THICK (MIN.) P. CONC. SLAB w/ 6x6 10/10 WWM OVER 6 MIL POLY VAPOR BARRIER OVER 6" COMPACTED FILL

V.I.F. PRIOR TO ALL CONSTRUCTION THAT EXIST. FOUNDATION IS IN SOLID AND SOUND CONDITION w/ MIN. 8" THK. WALL AND 16"x8" P. CONC. FOOTING. IF NOT, CONTACT ARCHITECT.

NEW ACCESS WAY:

- BREAK OUT OR SAW CUT EXIST. FOUND. FOR NEW ACCESSWAY
- APPROX. SIZE OF CLEAR OPENING SHALL BE 3'-0"x6'-4" (V.I.F.)
- PROVIDE P.T. HDR AND POSTS AS NOTED ON PLANS
- PROVIDE COPPER FLASHING @ ALL INTERFACES OF CONC. AND FRAMING.

POINT LOAD FROM ABOVE POST (TYP.)

BEAM POCKET IN EXIST. FOUND.:

- FORM OUT BEAM POCKET TO FIT NOTED BEAM DEPTH AND WIDTH. MINIMUM 4" BEARING FOR ALL BEAMS/GIRDERS
- WIDTH SHALL HAVE 1/2" CLEARANCES ON BOTH SIDES OF BEAM
- PROVIDE ALUM. OR COPPER FLASHING WITH NON-TREATED LUMBER
- ONLY COPPER FLASHING SHALL BE USED WITH TREATED LUMBER

GENERAL CONSTRUCTION NOTES

- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE REQUIRED TO CHECK AND VERIFY ALL DIMENSIONS AND FILED CONDITIONS AT BUILDINGS SITE AND PREMISES AND NOTIFY THE LANDLORD, THE INTERIOR DESIGNER OR TENANTS CONSTRUCTION REPRESENTATIVE OF ANY AND ALL DISCREPANCIES AND LIST ANY WORK NOT YET COMPLETED BY LANDLORD BEFORE STARTING WORK.
- ALL WORK ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL CODES, (COMMERCIAL CODE OF THE NY) SUB CODES AND BUILDING DEPARTMENTS HAVING JURISDICTION GENERAL CONTRACTOR TO CONTACT LOCAL BUILDING OFFICIALS FOR SPECIFIC REQUIREMENTS FOR THIS USE. ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH UL29.
- ALL CONTRACTORS SHALL CHECK AND VERIFY ALL FIELD CONDITIONS AND SHALL HAVE SOLE RESPONSIBILITY FOR VERIFICATION OF CLEAR HEIGHTS WITHIN THE PREMISES, ANY DISCREPANCIES SHALL BE REPORTED TO THE APPLICANT IMMEDIATELY. THE GENERAL CONTRACTOR IS TOTALLY RESPONSIBLE FOR ALL "HOLD" DIMENSIONS AND IS TO CONTACT THE INTERIOR DESIGNER AND/OR THE TENANT'S CONSTRUCTION REPRESENTATIVE FIRST, PRIOR TO BUILDING WALLS, IF THERE IS A QUESTION. TENANTS FIXTURES FIT INTO PLACE WITH NO ROOM FOR ERROR.
- THE GENERAL CONTRACTORS AND ALL SUBCONTRACTORS WORKING ON THIS PROJECT ARE RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITY COMPANIES SUPPLYING UTILITIES TO THE AREA WHERE THE PROJECT IS LOCATED, IN ORDER TO VERIFY LOCATIONS OF UTILITIES, UNDERGROUND OR OVERHEAD, AND SECURE THE PROPER PROCEDURES WHILE WORKING ADJACENT TO, ABOVE OR NEAR SUCH UTILITIES TO AVOID ANY PROBLEMS WITH LOCATIONS OF UNDERGROUND UTILITIES EXPLOSIONS, DISCONNECTION, REMOVAL, ETC.
- GENERAL CONTRACTOR SHALL LAY OUT WORK AS SPECIFIED IN THE DRAWINGS AND SHALL BE HELD RESPONSIBLE FOR PROPER ESTABLISHMENT AND MAINTENANCE OF ALL LINES AND DIMENSIONS. BEFORE DOING ANY WORK, THIS GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE SITE AND NOTIFY THE APPLICANT OF RECORD OF ANY DISCREPANCIES VERBALLY AND THEN IN WRITING.
- ALL CONTRACTORS SHALL BE BONDABLE, LICENSED CONTRACTORS POSSESSING GOOD LABOR RELATIONS AND MUST BE CAPABLE OF QUALITY WORKMANSHIP, IN HARMONY WITH OTHER CONTRACTORS WORKING ON THE PROJECT.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE GENERAL CONTRACTOR SHALL CONTACT AND MEET WITH OWNER FOR A PRE-CONSTRUCTION MEETING, AT WHICH TIME THE GENERAL CONTRACTOR WILL PRESENT TO ALL PARTIES A LIST OF NAMES, ADDRESSES, BUSINESS AND HOME TELEPHONE NUMBERS OF THE SUBCONTRACTORS FOR THIS PROJECT.
- THE GENERAL CONTRACTOR, ALL SUBCONTRACTORS OR OUTSIDE SERVICES COMPLETING WORK ON THIS PROJECT SHALL COMPLY WITH ALL THE PROVISIONS OF O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ACT).
- ALL CLEARANCES OF PIPES AND DUCT WORK INSTALLED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS MUST BE MAINTAINED FOR ADEQUATE HEIGHTS REQUIRED FOR CEILING SYSTEM AND LIGHT FIXTURES. THE STOCK ROOM CEILING (IF REQUIRED) SHOULD BE AS HIGH AS POSSIBLE AND WITHIN CODE REQUIREMENTS.
- THE GENERAL CONTRACTOR IS TO ARRANGE WITH THE OWNER FOR THE BUILDING, WHERE BUILDING EQUIPMENT AND MATERIALS AREA TO BE LOCATED AND HOW TRUCK TRAFFIC IS TO BE ROUTED TO AND FROM THE BUILDING. ALL REMOVAL OF CONSTRUCTION DEBRIS TO AN APPROVED DUMPING SITE TO BE INCLUDED IN THE GENERAL CONTRACTOR'S WORK.
- AN APPROVAL BY THE OWNER WILL BE REQUIRED IN WRITING AND SIGNED BY THE OWNER, FOR ANY STRUCTURAL CHANGES DURING THE COURSE OF THE CONSTRUCTION PHASE OF PROJECT, AS WELL AS VERIFICATION OF CORRECT INSTALLATION AND SPECIFICATION FOR MISCELLANEOUS STEEL FOR H.V.A.C. EQUIPMENT (IF APPLICABLE), DUCTS, CONDUITS, ETC. THE GENERAL CONTRACTOR IS TO SUPPLY THE MILLWORK, AS WELL AS SHOP DRAWINGS OF ALL MILLWORK, PRIOR TO START OF CONSTRUCTION, FOR APPROVAL OF ARCHITECT OR OWNER.
- ALL EQUIPMENT, MILLWORK AND FIXTURES SUPPLIED BY THE CONTRACTOR TO BE UNLOADED ASSEMBLED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER OR ARCHITECT.
- ANY SUBSTITUTIONS OF FINISH MATERIALS MUST BE APPROVED BY THE ARCHITECT OR TENANT'S CONSTRUCTION REPRESENTATIVE IN WRITING. THE TENANT'S GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TWO (2) SAMPLES OF EACH SUBSTITUTION.
- EACH CONTRACTOR OR HIS SUBCONTRACTOR PERFORMING WORK SHALL MAINTAIN CONTINUOUS PROTECTION OF ADJACENT PREMISES IN SUCH MANNER AS TO PREVENT ANY DAMAGE TO TENANT'S WORK OR ADJACENT PROPERTY AND IMPROVEMENTS BY REASON OF THE PERFORMANCE OF TENANT'S WORK.
- PROTECTION OF WORK IN PLACE. WORK IN PLACE THAT IS SUBJECT TO INJURY BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP, OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION. ALL FORMS OF PROTECTION SHALL BE CONSTRUCTED IN A MANNER SUCH THAT, UPON COMPLETION, THE ENTIRE WORK WILL BE DELIVERED TO THE OWNER IN PROPER, WHOLE, AND UNBLEMISHED CONDITION.
- THE APPLICANT IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR EXISTING CONDITIONS AT THE JOB SITE.
- THE STRUCTURAL SYSTEM OF THE BUILDING HAS BEEN DESIGNED TO CARRY A MINIMUM LIVE LOAD AS SPECIFIED IN THE BUILDING CODE OF THE NY. LOADING IMPOSED BY THE CONTRACTOR ON A TEMPORARY OR PERMANENT BASIS SHALL NOT EXCEED SUCH SPECIFIED LOAD.
- ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL NOT CREATE ANY WORK STOPPAGE, PICKETING, LABOR DISRUPTION OR DISPUTE OR VIOLATE OWNER'S LABOR CONTRACTS AFFECTING THE BUILDING OR INTERFERE WITH THE BUSINESS OR USE OF THE BUILDING. IN THE EVENT OF THE OCCURRENCE OF ANY WORK STOPPAGE, PICKETING, LABOR DISRUPTION OR DISPUTE RESULTING FROM ACTIONS OR OMISSIONS OF THE GENERAL CONTRACTOR OR SUBCONTRACTORS OR ANY SUBTENANT OR CONCESSIONAIRE, OR THEIR RESPECTIVE EMPLOYEES, CONTRACTORS OR SUBCONTRACTORS, GENERAL CONTRACTOR SHALL, IMMEDIATELY UPON NOTICE FROM LANDLORD, CEASE THE CONDUCT GIVING RISE TO SUCH CONDITION. THIS CLAUSE MUST BE PART OF ALL GENERAL CONTRACTOR AGREEMENTS AND IF SUCH CLAUSE IS NOT INCLUDED, IT WILL NOT RELIEVE THE GENERAL CONTRACTOR OF THE REQUIREMENTS OR WORK STATED HEREIN.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTION OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS. SEE A.I.A. DOCUMENT A021 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, ARTICLE 3, SECTION 3.3.1 (1987 EDITION).
- THE INTERIOR DESIGNER SHALL NOT HAVE CONTROL OVER OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. SEE A.I.A. DOCUMENT B141 STANDARD FORM OF AGREEMENT BETWEEN OWNER AND INTERIOR DESIGNER, ARTICLE 2, SECTION 2.6.6 (1987 EDITION).

20. WHEN BIDDING THIS PROJECT, EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND VERIFYING EXISTING CONDITIONS AS REFLECTED IN THESE CONTRACT DOCUMENTS. ANY EXTRA WORK REQUIRED BUT NOT INCLUDED IN THE DOCUMENTS SHALL BE REPORTED TO THE TENANT OR TENANT'S INTERIOR DESIGNER IMMEDIATELY.

21. THE GENERAL CONTRACTORS AND ALL SUBCONTRACTORS ARE REQUIRED TO FURNISH THE FOLLOWING MINIMUM COVERAGE AND LIMITS OF LIABILITY. IF THE OWNER'S REQUIREMENTS ARE MORE STRINGENT, CONTRACTORS ARE REQUIRED TO ADHERE TO MOST STRINGENT REQUIREMENTS.

A. WORKMAN'S COMPENSATION, AS REQUIRED BY STATE LAW, AND INCLUDING EMPLOYER'S LIABILITY INSURANCE WITH A LIMIT OF NOT LESS THAN \$2,000,000 AND ANY INSURANCE REQUIRED BY ANY EMPLOYEE BENEFITS ACTS OR OTHER STATUTES APPLICABLE WHERE THE WORK IS TO BE PERFORMED AS WILL PROTECT THE CONTRACTOR AND SUB CONTRACTORS FROM ANY AND ALL LIABILITY UNDER THE AFOREMENTIONED ACTS.

B. COMPREHENSIVE GENERAL LIABILITY INSURANCE (INCLUDING CONTRACTOR'S PROTECTIVE LIABILITY) IN AN AMOUNT NOT LESS THAN \$2,000,000 FOR ANY ONE OCCURRENCE WHETHER INVOLVING BODILY INJURY LIABILITY (OR DEATH RESULTING THEREFROM) OR PROPERTY DAMAGE LIABILITY OR A COMBINATION THEREOF WITH A AGGREGATE LIMIT OF \$2,000,000. SUCH INSURANCE SHALL PROVIDE FOR EXPLOSION, COLLAPSE AND UNDERGROUND COVERAGE. SUCH INSURANCE SHALL INSURE THE OWNER, FROM GENERAL CONTRACTOR'S AGAINST ANY AND ALL CLAIMS FOR BODILY INJURY, INCLUDING DEATH RESULTING THEREFROM AND DAMAGE TO OR DESTRUCTION OF PROPERTY OF ANY KIND WHATSOEVER AND WHATEVER BELONGING AND ARISING FROM ITS OPERATIONS, UNDER THE CONTRACT AND WHETHER SUCH OPERATIONS ARE PERFORMED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR ANY OF THEIR SUBCONTRACTORS, OR BY ANY ONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.

21. THE GENERAL CONTRACTOR AND OWNER, TO THE FULLEST EXTENT PERMITTED BY LAW ARE TO INDEMNIFY, HOLD HARMLESS, AND DEFEND THE ARCHITECT/ENGINEER, ITS CONSULTANTS, AND THE EMPLOYEES AND AGENTS OF ANY OF THEM FROM AND AGAINST ANY AND ALL CLAIMS, SUITS, DEMANDS, LIABILITIES, LOSSES, DAMAGES, AND COSTS ("LOSSES"), INCLUDING BUT NOT LIMITED TO COSTS OF DEFENSE, ARISING IN WHOLE OR IN PART OUT OF THE NEGLIGENCE OF THE CONTRACTOR, ITS SUBCONTRACTORS, THE OFFICERS, EMPLOYEES, AGENTS AND SUBCONTRACTORS OF ANY OF THEM, OR ANYONE FOR WHOM ACTS ANY OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT SUCH LOSSES ARE CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. SPECIFICALLY EXCLUDED FROM THE FOREGOING ARE LOSSES ARISING OUT OF (1) THE PREPARATION OR APPROVAL OF MAPS, DRAWINGS, OPINIONS, REPORTS SURVEYS, CHANGE ORDERS, DESIGNS, OR SPECIFICATIONS, AND (2) THE GIVING OF OR FAILURE TO GIVE DIRECTIONS BY THE INTERIOR DESIGNER, ITS CONSULTANTS, AND THE AGENTS AND EMPLOYEES OF ANY OF THEM. PROVING SUCH GIVING OR FAILURE TO GIVE IS THE PRIMARY CAUSE OF LOSS.

22. THE GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE ALL PERSONS AND SUBCONTRACTOR WORKING ON THIS PROJECT WITH THESE GENERAL NOTES AND THE CONTRACT DOCUMENTS NOTED IN THESE DRAWINGS.

23. THE CONTRACTORS SHALL BE RESPONSIBLE FOR FULLY ACQUAINTING THEMSELVES WITH THE CONTENT AND SCOPE OF THESE SPECIFICATIONS AND SPECIAL ATTENTION SHOULD BE GIVEN TO THE SPECIFICATIONS THROUGHOUT THE SPAN OF THIS PROJECT. IF WORK IS DECLARED UNACCEPTABLE BY THE OWNER, IT SHALL BE CORRECTED IN A MANNER AND TO A DEGREE OF QUALITY WHICH IS ACCEPTABLE BY THE OWNER.

C. THE GENERAL CONDITIONS OF THE "CONTRACT FOR CONSTRUCTION" DOCUMENT A-201, ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS, 1991 EDITION, RELATES TO THE WORK OF THIS PROJECT AND IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED IN THESE DRAWINGS.

24. THE TENANT'S GENERAL CONTRACTORS AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY NUMBER OF COPIES OF DOCUMENT A-201, TO ACQUANT HIMSELF WITH THE ARTICLES CONTAINED THEREIN AND TO REVIEW WITH ALL SUBCONTRACTORS, SUPPLIERS AND ANY OTHER PARTIES TO THE CONTRACT OR INDIVIDUALS OR AGENCIES ENGAGED ON THE WORK AS TO ITS CONTENTS.

25. THE ARCHITECT OR OWNER MAY ORDER EXTRA WORK, ALTER, ADD TO, OR DEDUCT FROM THE CONTRACT WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY, AND SUCH COSTS SHALL BE COMPETITIVE WITH LOCAL CONSTRUCTION COSTS.

AT THE TIME OF FINAL SUBMITTAL OF BID: ALL COSTS BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS TO COMPLETELY FURNISH AND COMPLETE THE WORK CONTAINED IN THESE PLANS.

A WRITTEN GUARANTEE STIPULATING THE WORKMANSHIP & MATERIALS ARE TO BE GUARANTEE FOR ONE YEAR AT NO ADDITIONAL COST TO THE OWNER. ANY DEFECTIVES IN WORKMANSHIP OR MATERIALS SHALL BE REPAIRED OR REPLACED FOR THE SAME PERIOD OF ONE YEAR AFTER ACCEPTANCE OF WORK, UNLESS OTHERWISE NOTED.

NO CONSTRUCTION EXTRAS FOR MATERIALS OR LABOR WILL BE CONSIDERED OR PAID WITHOUT THE DIRECT AUTHORIZATION AND APPROVAL IN WRITING BY THE ARCHITECT OR OWNER, AGREEING TO SUCH COST. THE ISSUANCE OF CREDITS TO BE CALCULATED BASED ON COMPETITIVE RATES AND EQUIPMENT COSTS APPROVED BY THE ARCHITECT.

THE GENERAL CONTRACTOR SHALL UNLOAD, PROTECT AND INSTALL (INSTALL ONLY IF NOTED TO DO SO), FIXTURES AND FURNISHINGS.

THE ARCHITECT LEAVES ZERO OR MINIMAL CLEARANCE FOR ERROR IN REGARD TO FIXTURE LAYOUT. "HOLD DIMENSION" INDICATIONS ARE TO BE ADHERED.

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SCOPE OF WORK:

NEW 2 STORY & CELLAR
ADDITION

REVISIONS	DATE	BY
	02-02-2024	



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PROJECT

HARVESTS
CHURCH
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

GENERAL NOTES

SEAL &
SIGNATURE



DATE: 11-17-2023

PROJECT No.:

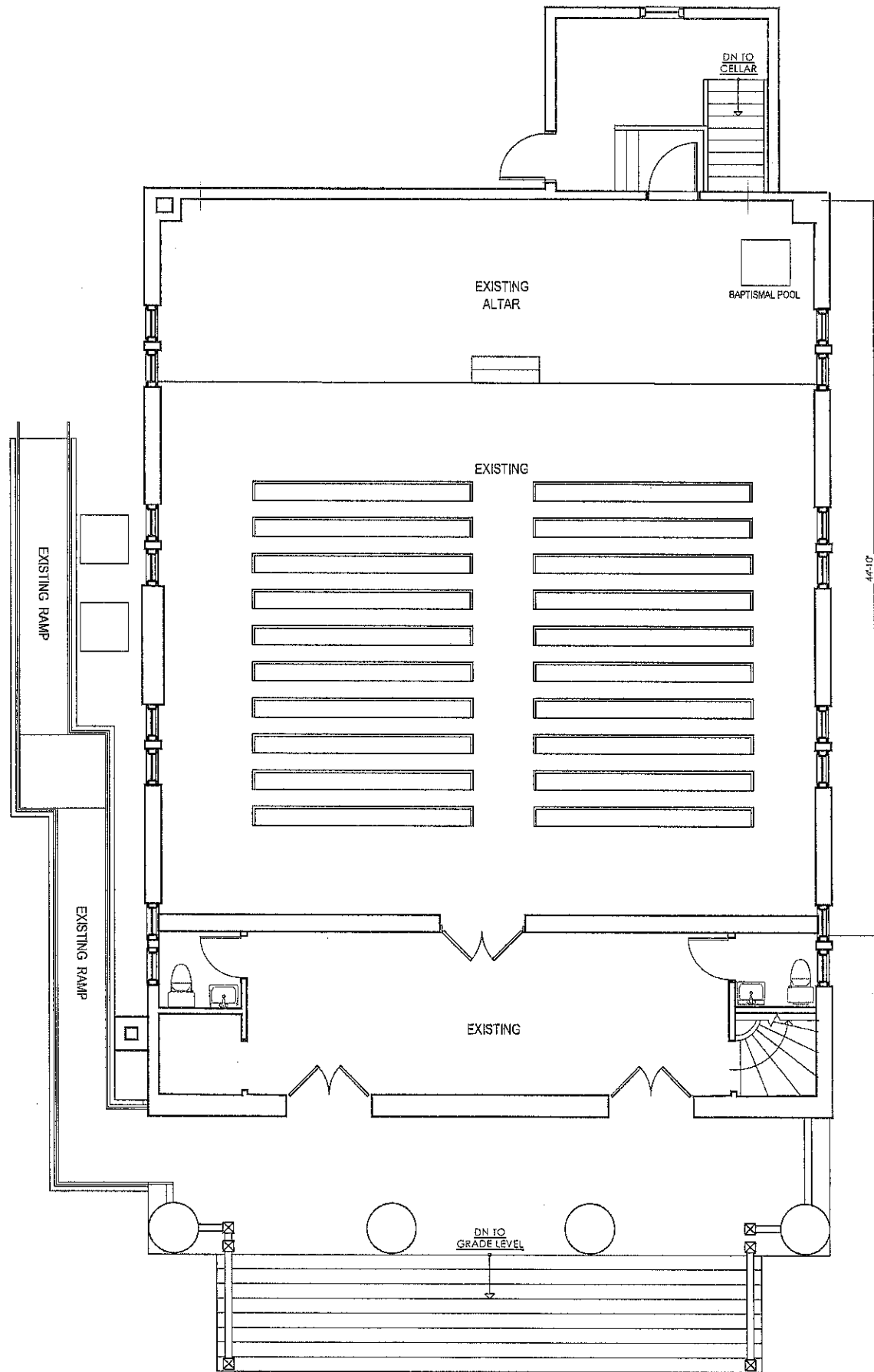
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CHECKED BY:

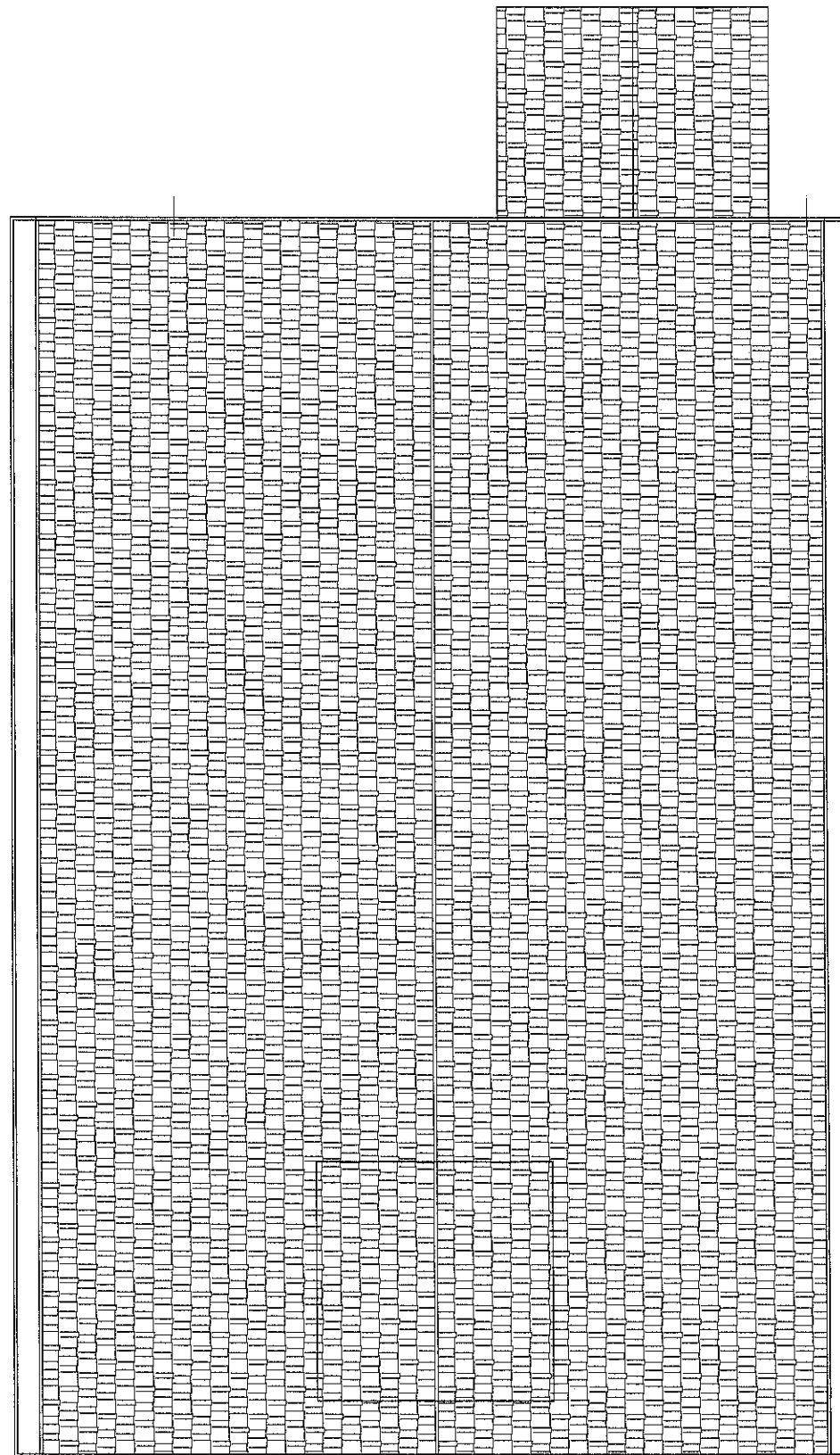
DWG. No.:

G-002.00

OF



1
A-001
EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2
A-001
EXISTING ROOF PLAN
Scale: 1/4" = 1'-0"

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SCOPE OF WORK:


NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

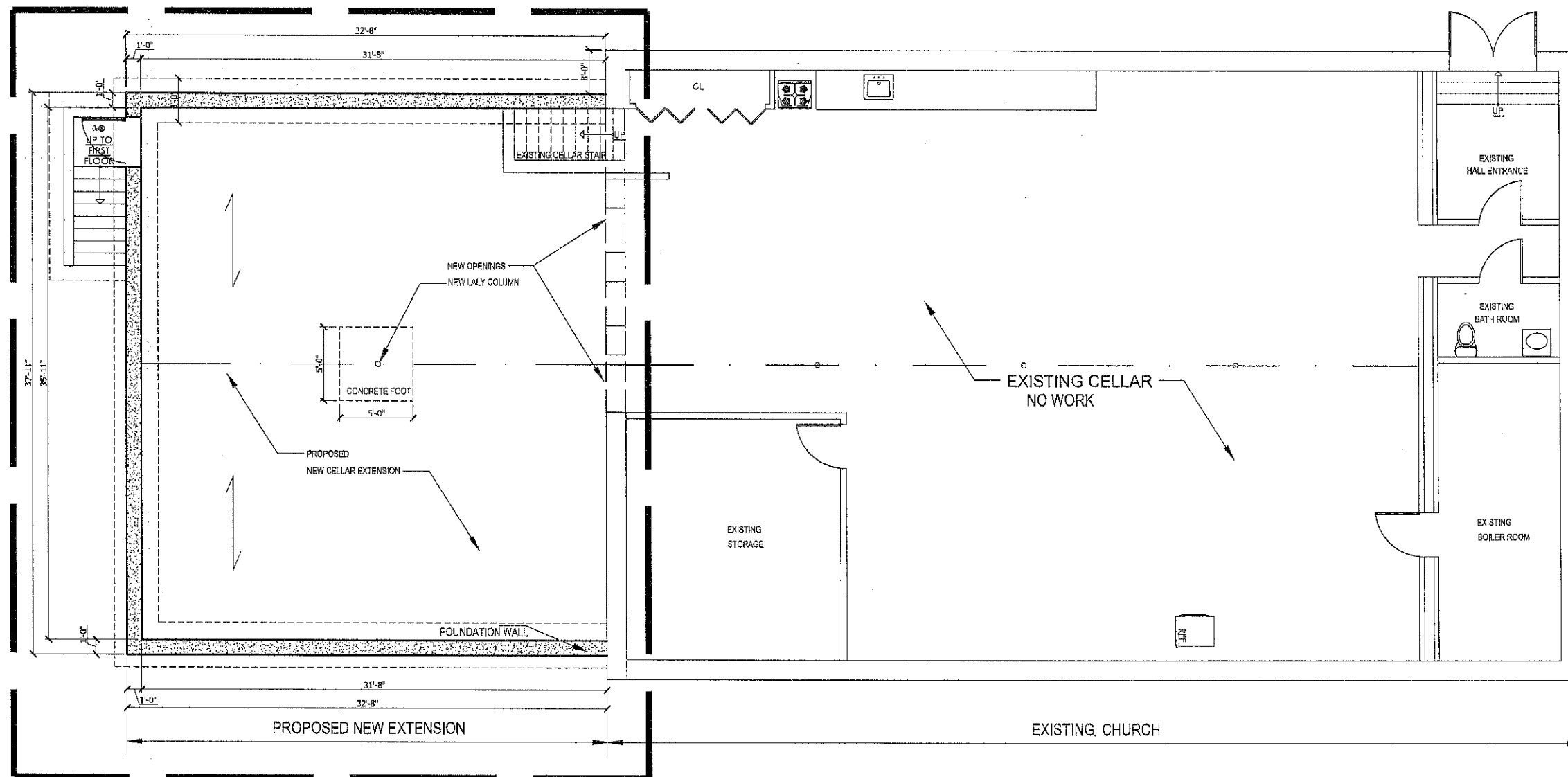
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PROJECT
**HARVEST
CHURCH**
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

**EXISTING
FIRST FLOOR & ROOF
PLAN**

SEAL & SIGNATURE

DATE: 11-17-2023
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
A-001.00
SHEET No. OF

AREA OF WORK



PROPOSED CELLAR FLOOR PLAN
 Scale: 1/4" = 1'-0"

LEGEND	
	EXISTING FOUNDATION
	NEW FOUNDATION

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

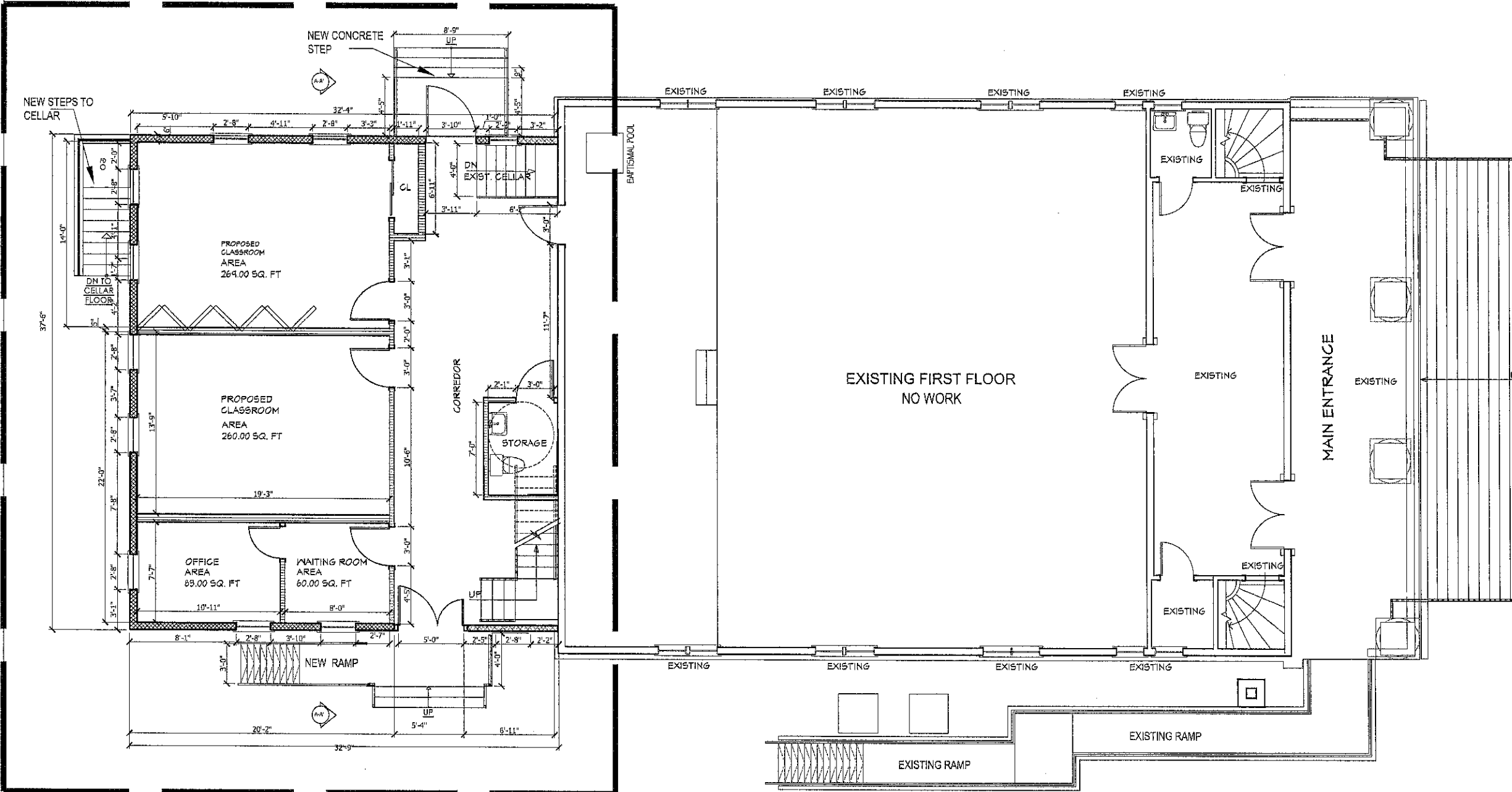
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PROJECT
HARVESTS CHURCH
 2368 ROUTE 90
 WAPPINGER FALLS 12590
 DUCHESS COUNTY NY

PROPOSED CELLAR FLOOR PLAN

SEAL & SIGNATURE 	DATE: 11-17-2023
	PROJECT No.:
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DWG. No.: A-002.00	
SHEET No.	OF

AREA OF WORK



PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING INTERIOR WALL
	NEW EXTERIOR PARTITION 2x6
	NEW INTERIOR PARTITION 2x4
	NEW CONCRETE FOUNDATION

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

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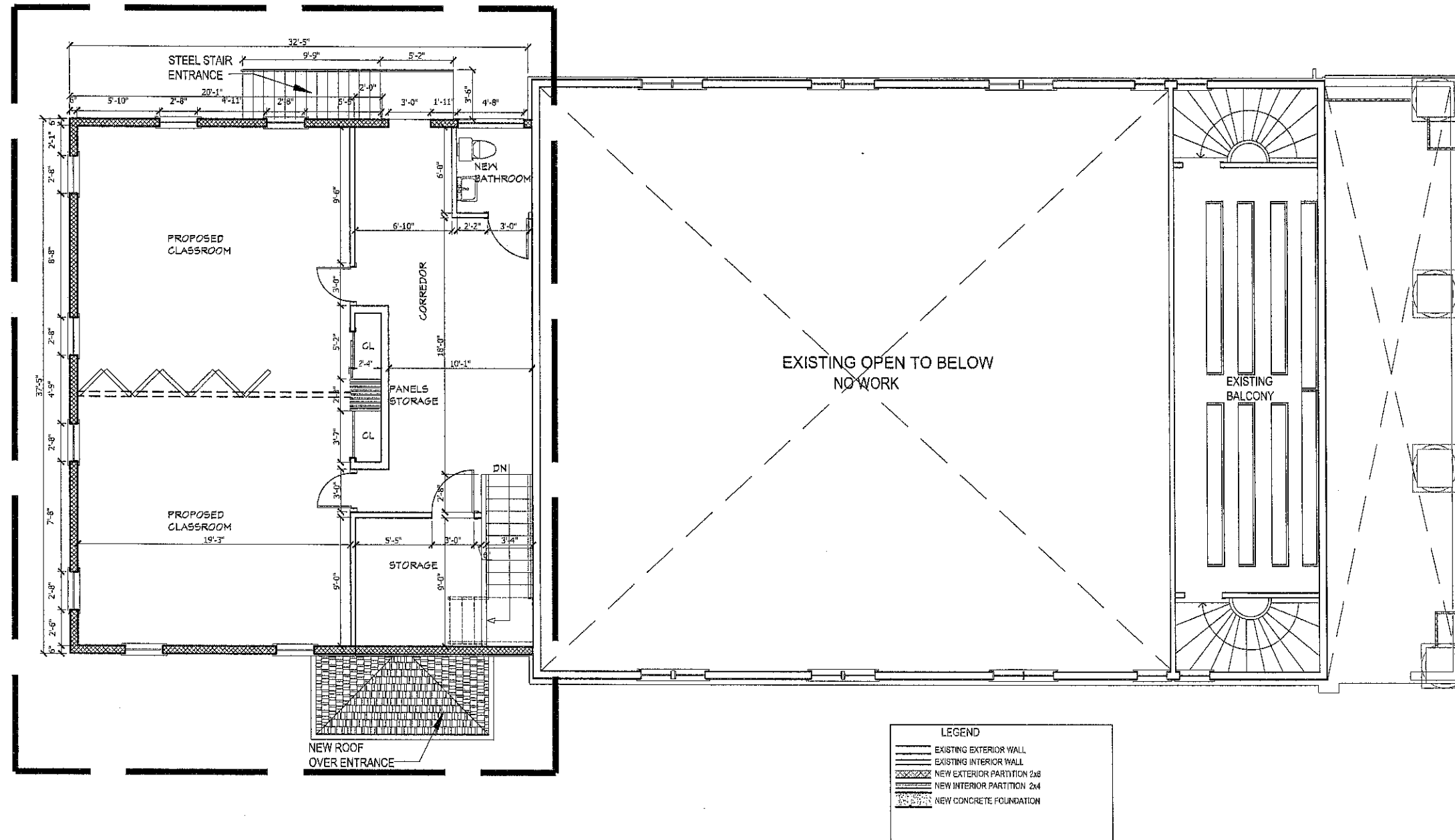
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HARVESTS CHURCH
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DUCHESS COUNTY NY

PROPOSED FIRST FLOOR PLAN

SEAL & SIGNATURE

DATE: 11-17-2023
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
A-003.00
SHEET No. OF

AREA OF WORK



1
A-004

PROPOSED SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

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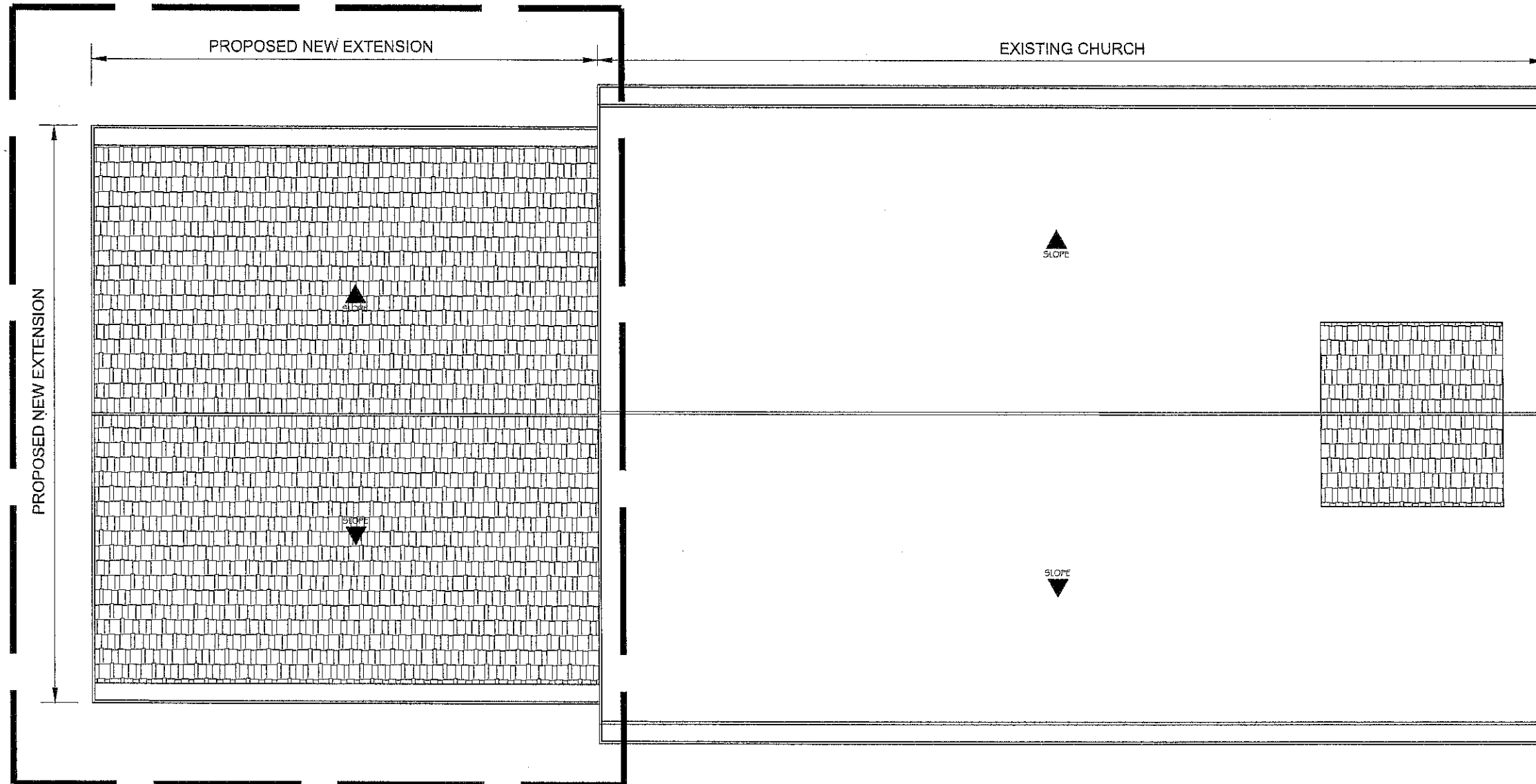
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PROJECT
HARVESTS CHURCH
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

**PROPOSED
SECOND
FLOOR PLAN**

SEAL & SIGNATURE 	DATE: 11-17-2023
	PROJECTING:
	DRAWING BY:
	CHECKED BY:
	DWG. No.: A-004.00
SHEET No. 1	OF 1

AREA OF WORK



1
A-005

PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"

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SCOPE OF WORK:


NEW 2nd STORY
& CELLAR ADDITION

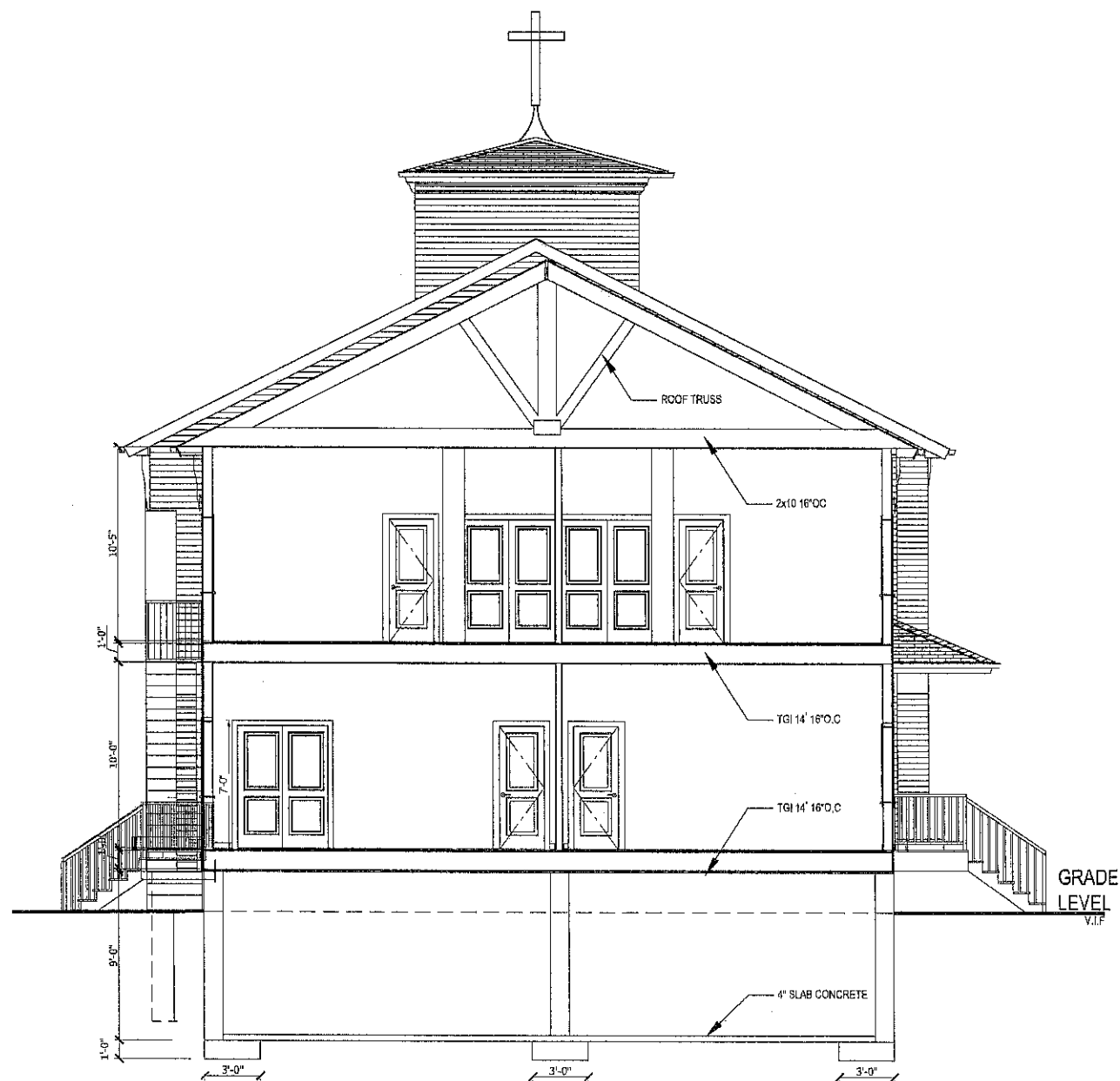
REVISIONS	DATE	BY

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PROJECT
**HARVESTS
CHURCH**
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

**PROPOSED
ROOF PLAN**

	DATE: 11-17-2023
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	CHECKED BY:
	DWG. No.: A-005.00
SHEET No.:	OF



1
A-006

PROPOSED SECTION A-A'

Scale: 1/4" = 1'-0"

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

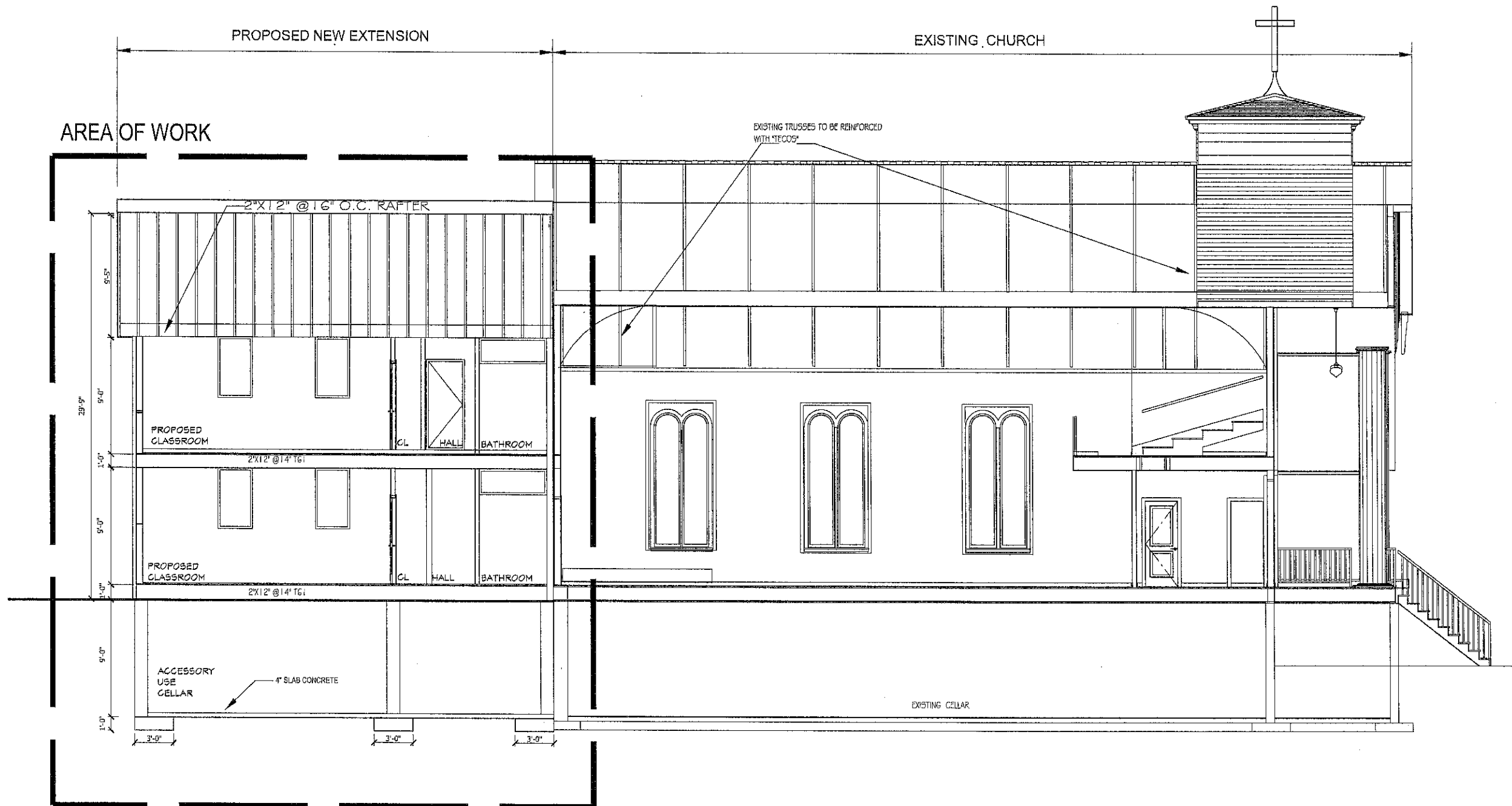
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PROJECT
**HARVESTS
CHURCH**
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

SECTION

SEAL & SIGNATURE

DATE: 11-17-2023
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
A-006.00
SHEET No. OF



1
A-007

PROPOSED SECTION B-B'

Scale: 1/4" = 1'-0"

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

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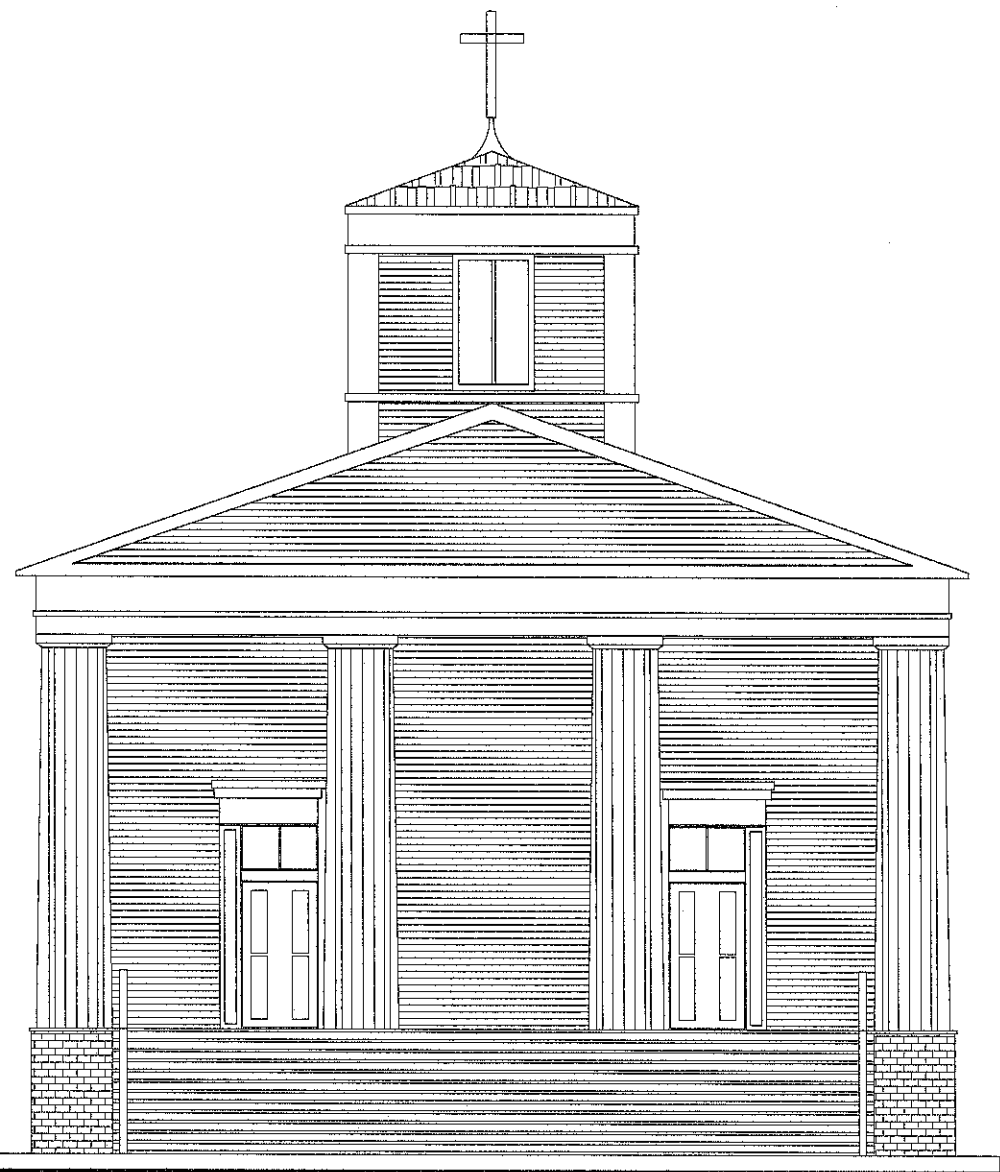
PROJECT
**HARVESTS
CHURCH**
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

SECTION

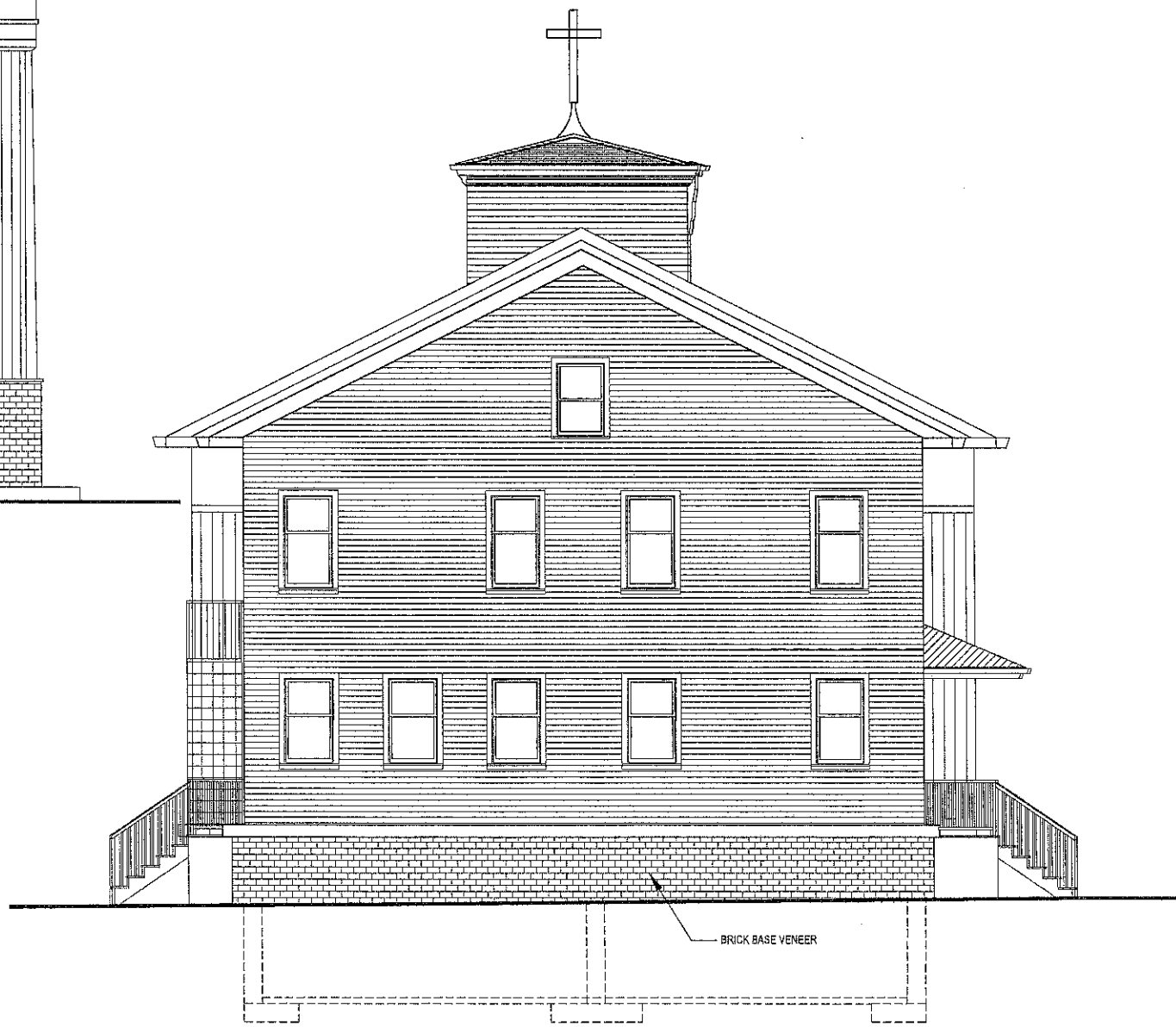
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SIGNATURE



DATE: 11-17-2023
PROJECT No.:
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CHECKED BY:
DWG. No.:
A-007.00
SHEET
No. OF



2
A-006
EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0" NO WORK



2
A-006
PROPOSED LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT
**HARVESTS
CHURCH**
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

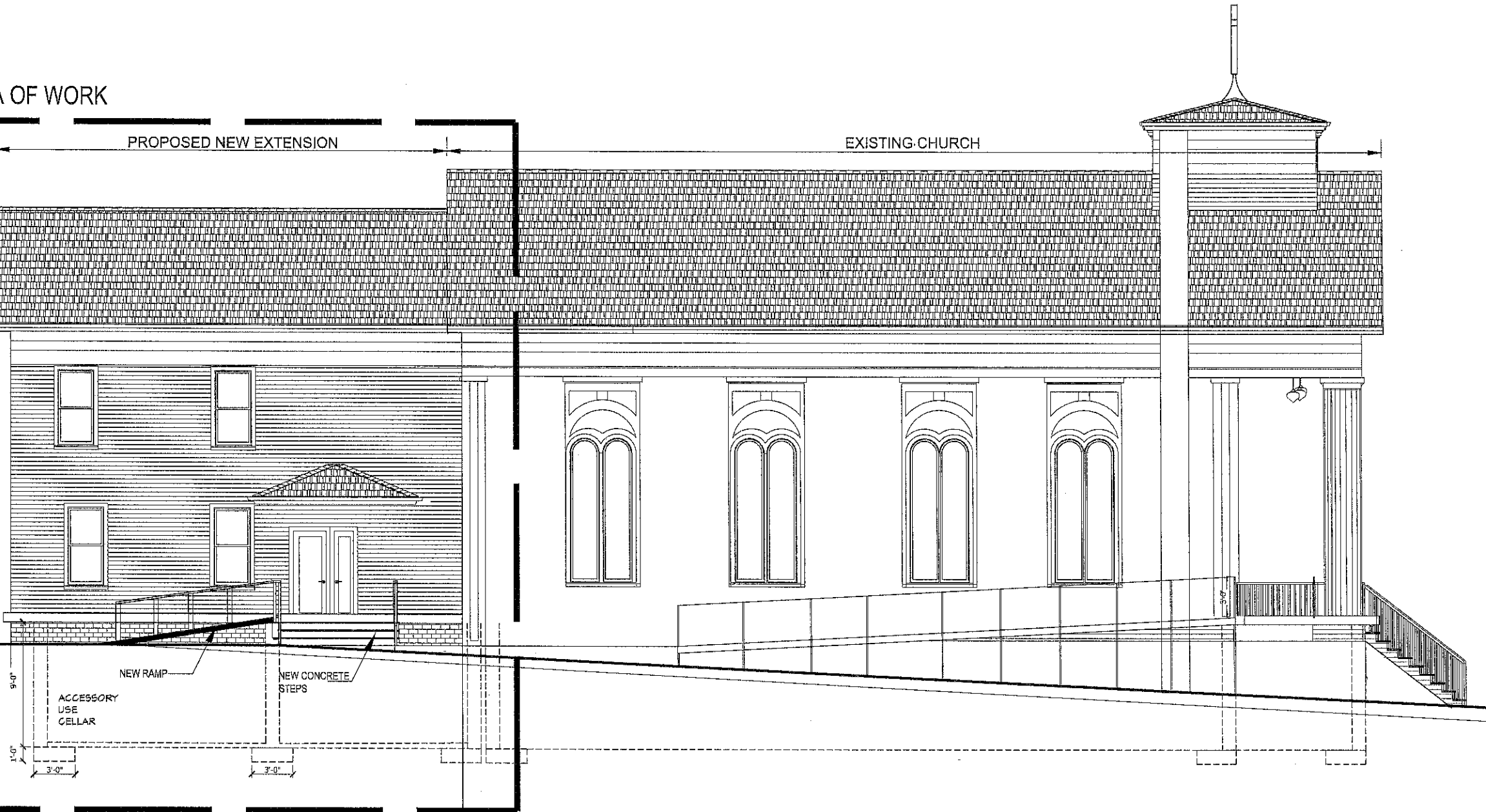
ELEVATIONS

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	DWG. No.:
	A-008.00
SHEET No.	OF

AREA OF WORK

PROPOSED NEW EXTENSION

EXISTING CHURCH



1
A-007

PROPOSED LEFT SIDE ELEVATION

Scale: 1/4" = 1'-0"

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

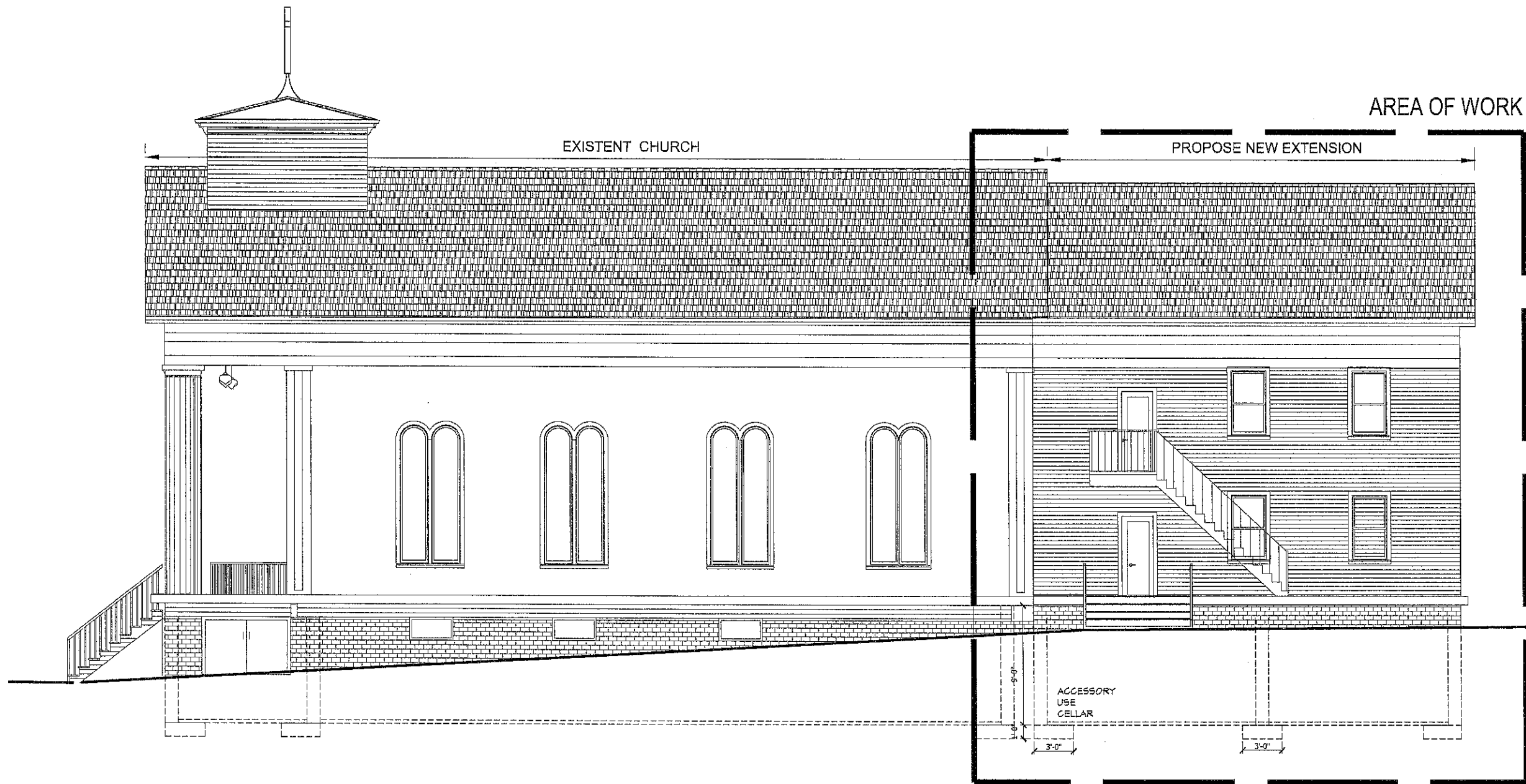
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PROJECT
**HARVESTS
CHURCH**
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

LEFT
ELEVATION

SEAL &
SIGNATURE

DATE: 11-17-2023
PROJECT No.:
DRAWING BY:
CHECKED BY:
DWG. No.:
A-009.00
SHEET
No. OF



1
A-008

PROPOSED RIGHT SIDE ELEVATION

Scale: 1/4" = 1'-0"

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT
**HARVESTS
CHURCH**
2368 ROUTE 90
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DUCHESS COUNTY NY

RIGHT
SIDE ELEVATION

SEAL &
SIGNATURE



DATE: 11-17-2023

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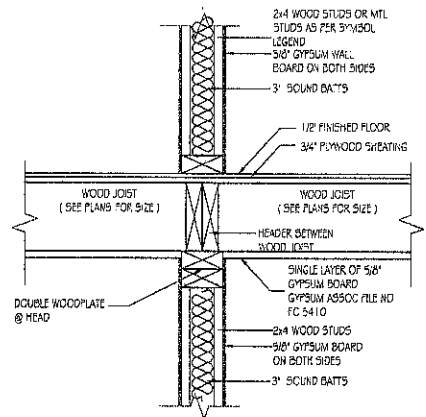
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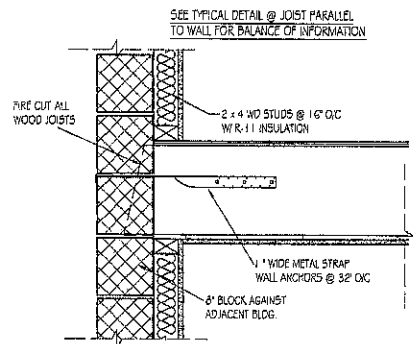
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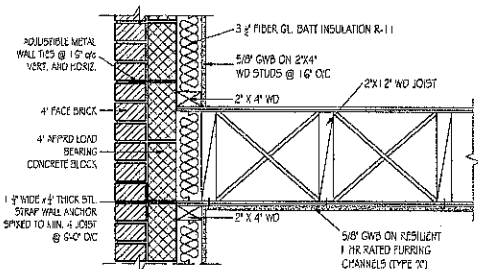
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No. OF



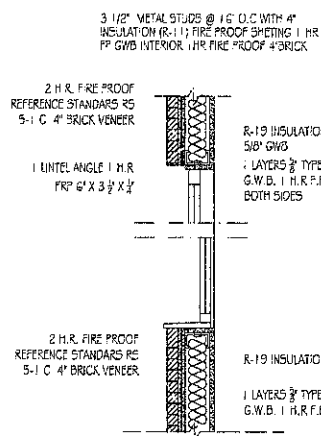
INTERIOR BEARING PARTITION DETAIL
SCALE: 1" = 1'-0"



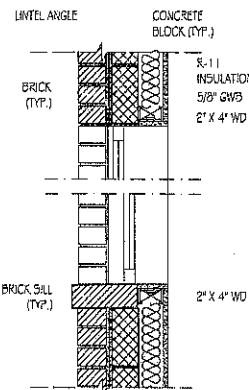
TYP. DETAIL @ JOIST PERPENDICULAR TO WALL
SCALE: NTS



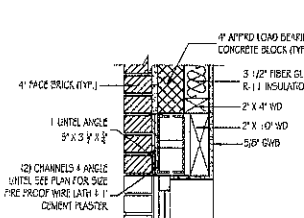
TYP. DETAIL @ JOIST PARALLEL TO WALL
SCALE: 1" = 1'-0"



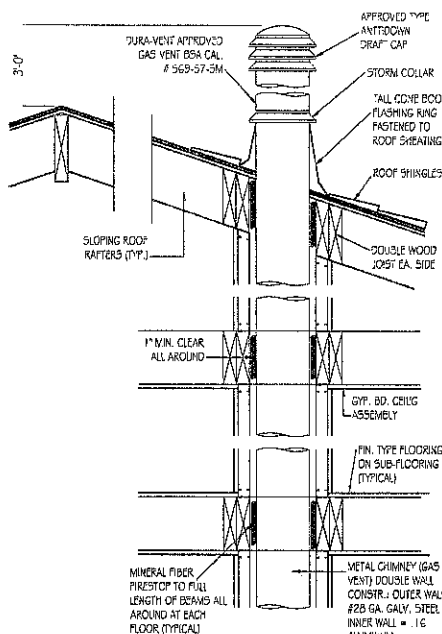
SECTION I-I (WINDOW DETAIL)
SCALE: 1" = 1'-0"



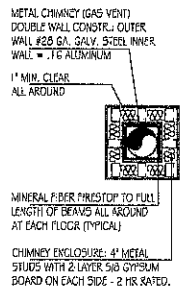
SECTION I-I (WINDOW DETAIL)
SCALE: 1" = 1'-0"



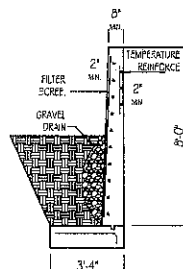
TYP. LINTEL DETAIL
@ OPENINGS 4'-0" WIDE OR LARGER
SCALE: 1" = 1'-0"



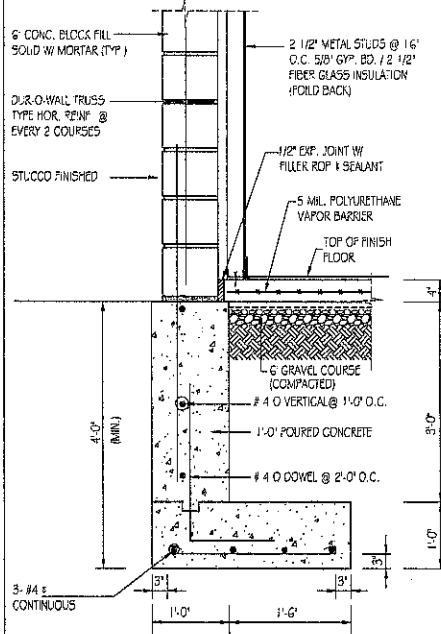
TYPICAL CHIMNEY GAS VENT DETAIL
SCALE: 1" = 1'-0"



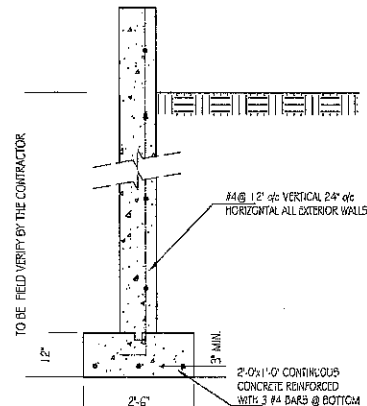
CHIMNEY DETAIL
SCALE: NTS



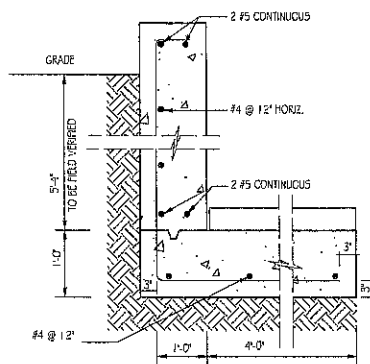
RETENTION DETAIL
SCALE: 1" = 1'-0"



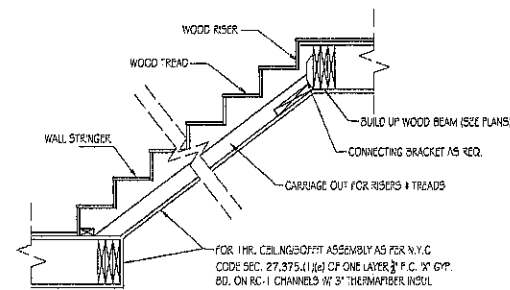
FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



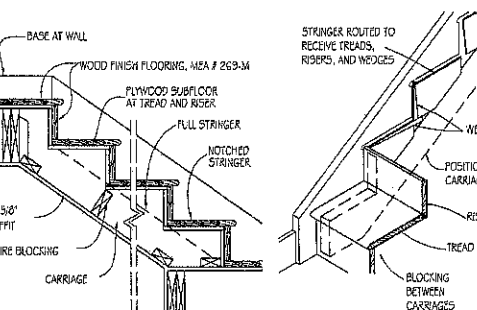
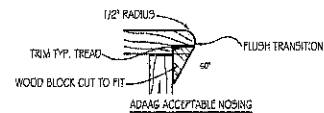
CONCRETE FOOTING DETAIL
SCALE: 1/2" = 1'-0"



RETAINING WALL DET.
SCALE: 3/4" = 1'-0"



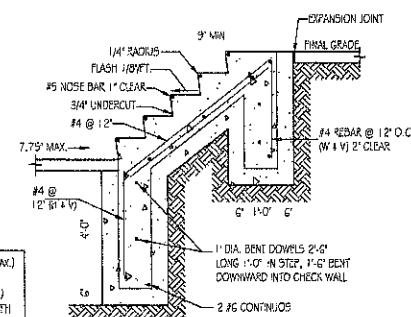
WOOD STAIRS DETAIL
SCALE: 1/2" = 1'-0"



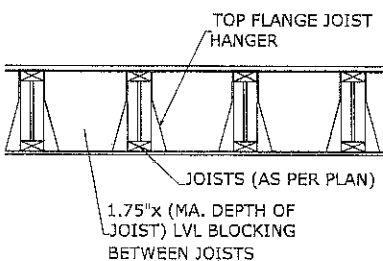
WOOD STAIRS DETAIL
SCALE: NTS

CONCRETE STAIR DETAILS

SCALE: 3/4" = 1'-0"



- 2 RISER + 1 TREAD = 25" (MAX.)
EXCLUSIVE 1" NOSING
- RISER HEIGHT = 7 3/4" (MAX.)
- LANDING WIDTH = STAIR WIDTH
- HEADROOM = 7'-0" (MIN.)



TJI JOIST BLOCKING DETAIL
SCALE: NTS

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SCOPE OF WORK:

NEW 2nd STORY
& CELLAR ADDITION

REVISIONS	DATE	BY

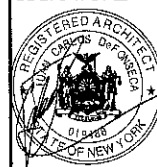
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PROJECT
**HARVESTS
CHURCH**
2368 ROUTE 90
WAPPINGER FALLS 12590
DUCHESS COUNTY NY

DETAILS

SEAL &
SIGNATURE



DATE: 11-07-2023

PROJECT No.:

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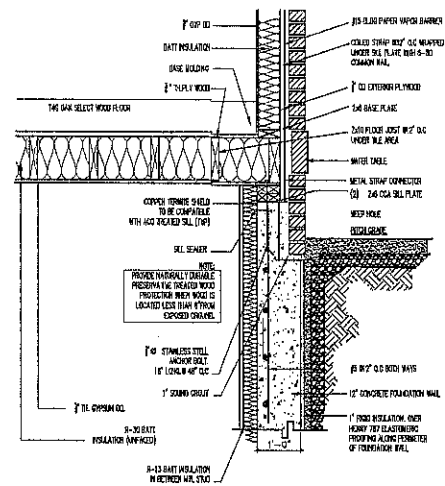
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SHEET

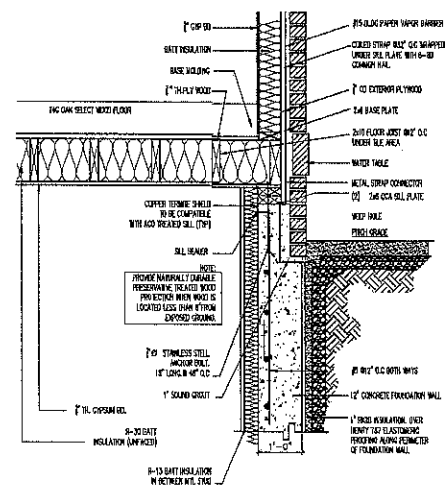
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OF

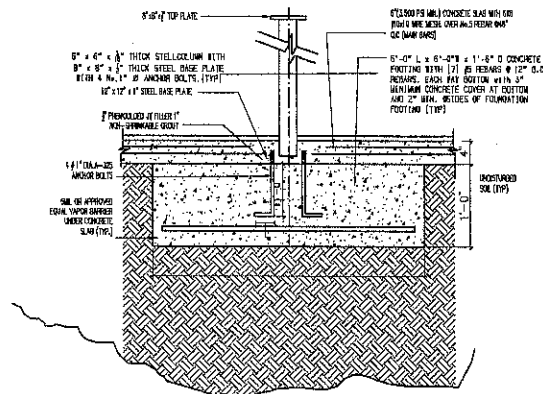
CONCRETE FOUNDATION DETAIL



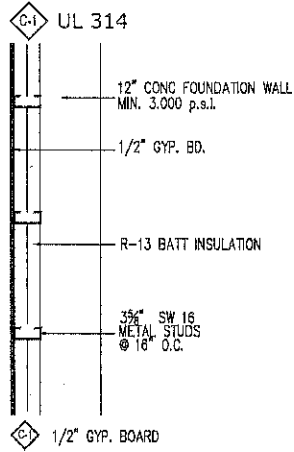
EXTERIOR WALL/ FLOOR CONNECTION DETAIL



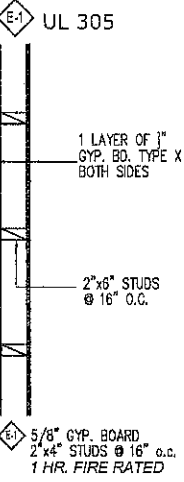
CONCRETE FOOTING UNDER STEEL COLUMN DETAIL



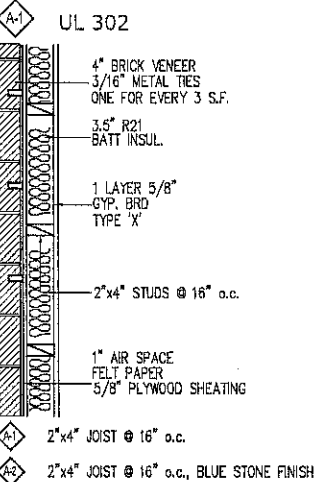
TYP. EXTERIOR FOUND. WALL



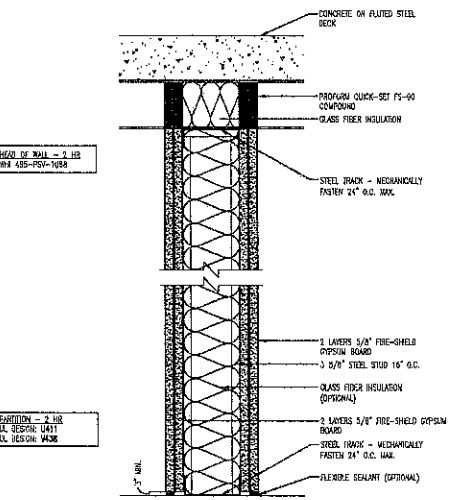
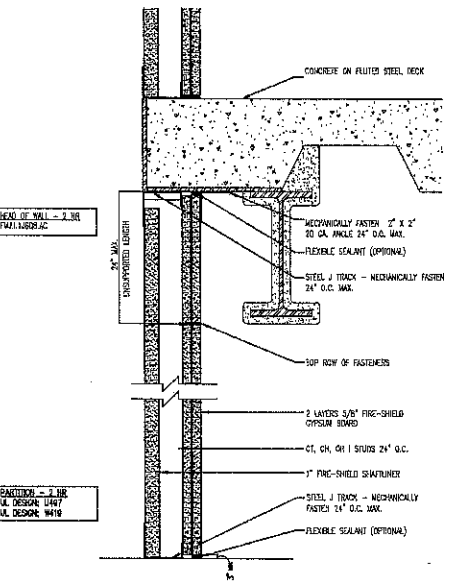
TYP. INTERIOR PART. 1 HR. FIRE RATED



TYP. EXTERIOR PART. 1 HR. FIRE RATED



W TYPICAL WALL DETAIL N.T.S.



W 2 HR SHAFT WALL PARTITION N.T.S.

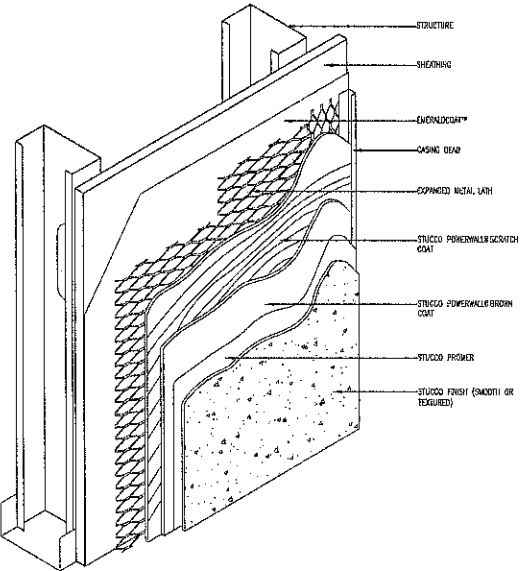
- (1) 5/8" GYP. BOARD
- (2) 1" FIRE SHED SHAFTLINER
- 2 HR. FIRE RATED

W 2 HR PARTITION TO STEEL WALL N.T.S.

- (1) 5/8" GYP. BOARD
- (2) 3/4" SW 18 METAL STUDS @ 16" O.C.
- 2 HR. FIRE RATED

W STUCCO FINISH EXTERIOR WALL N.T.S.

- 3-5/8" J 1/4 METAL STUDS @ 16" O.C.



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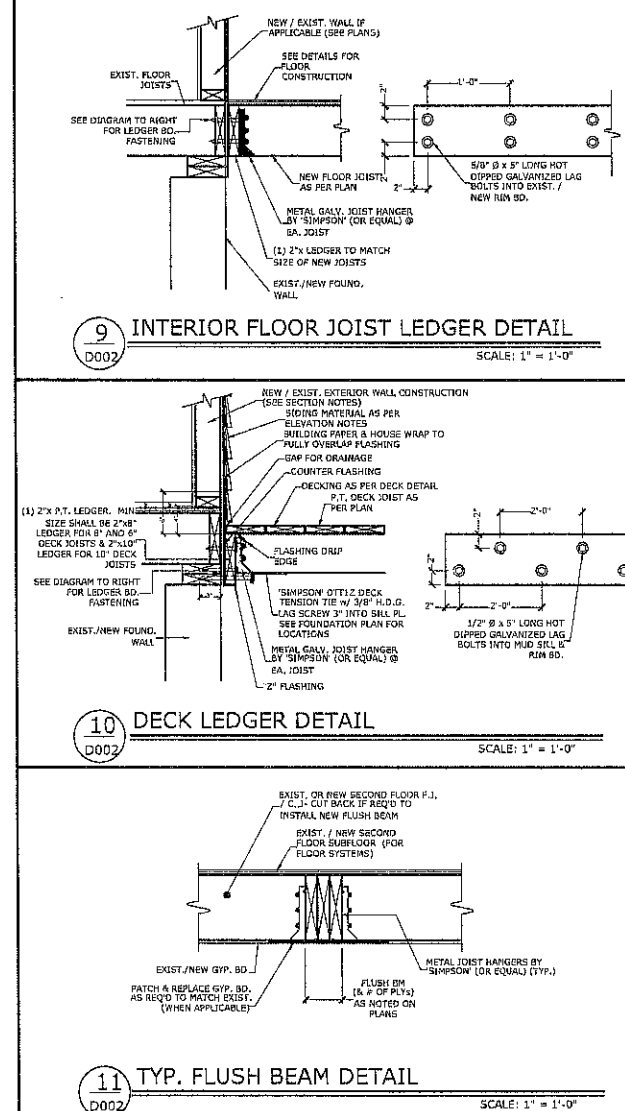
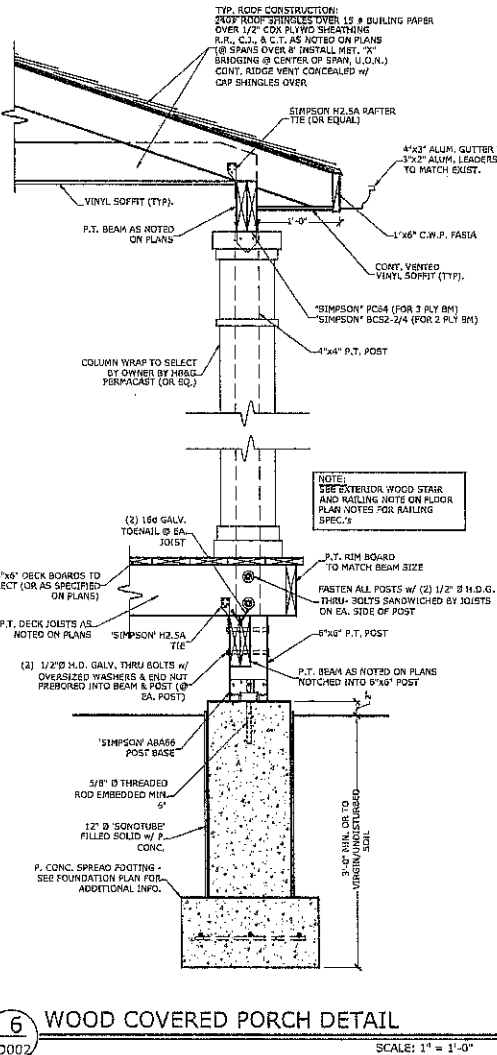
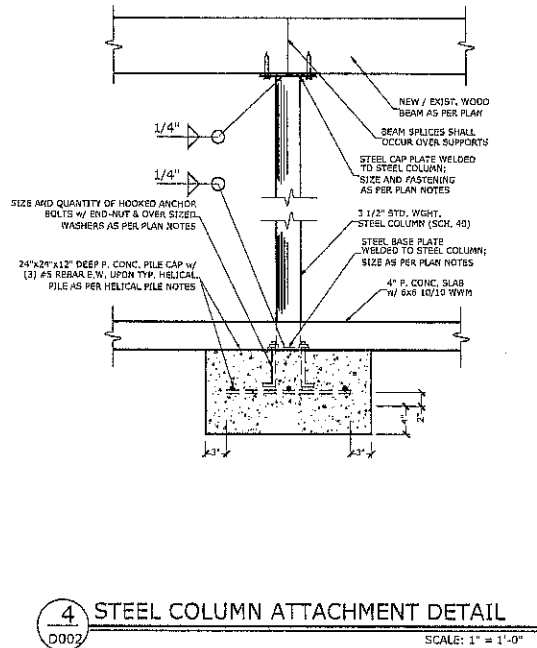
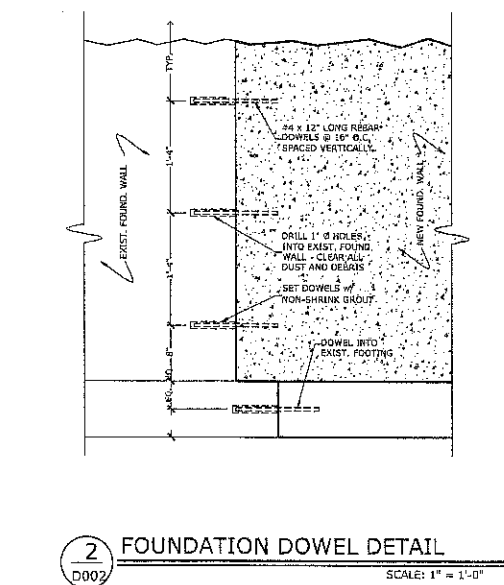
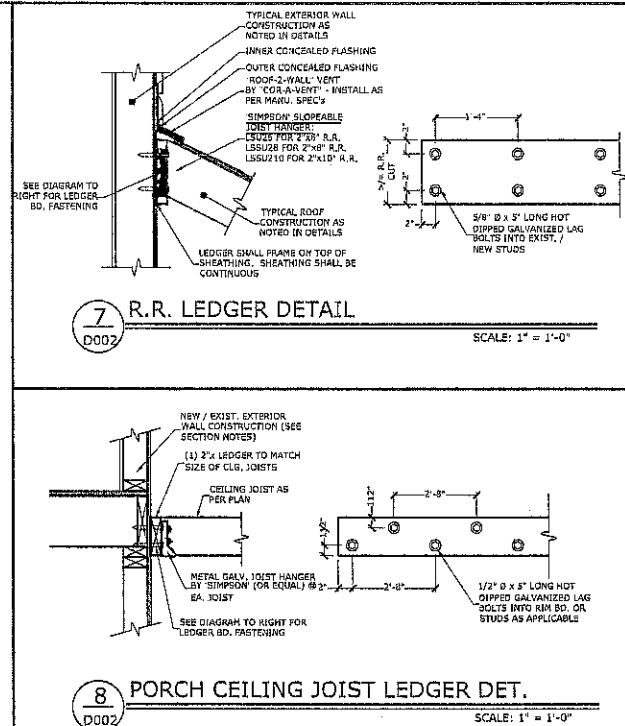
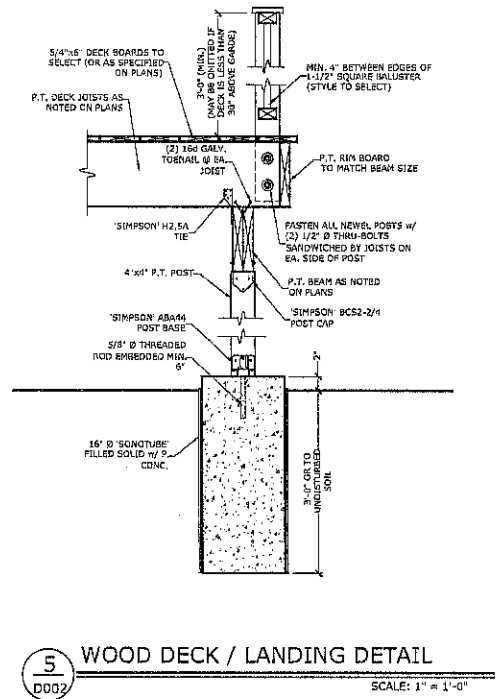
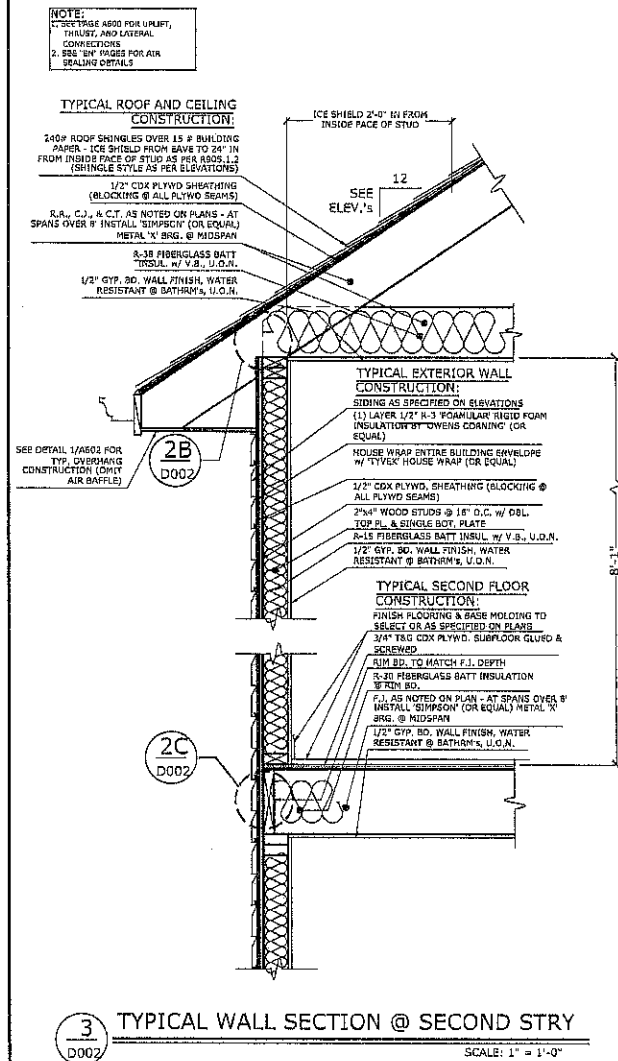
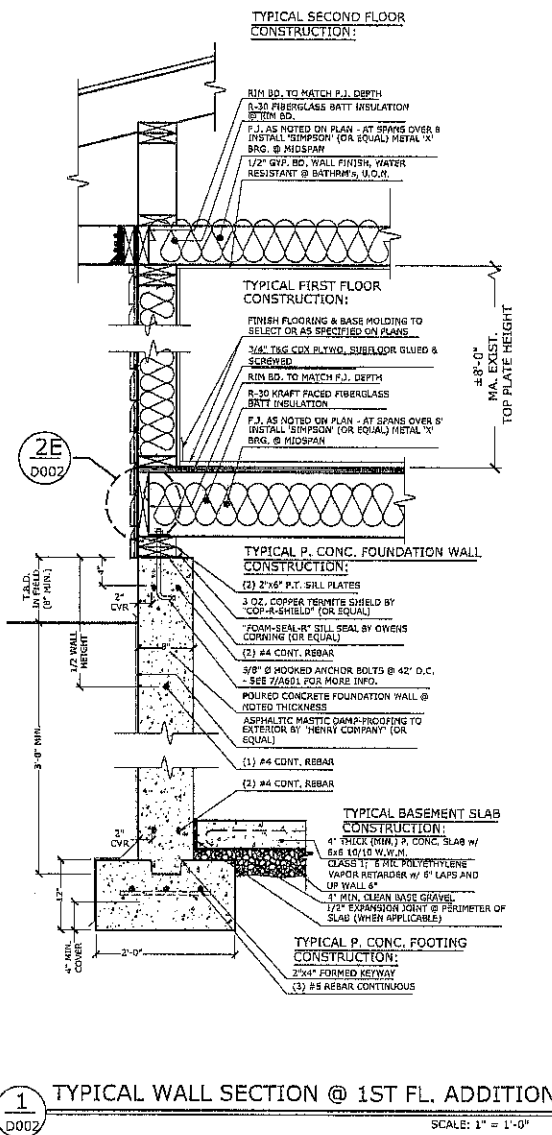
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SHEET No. OF



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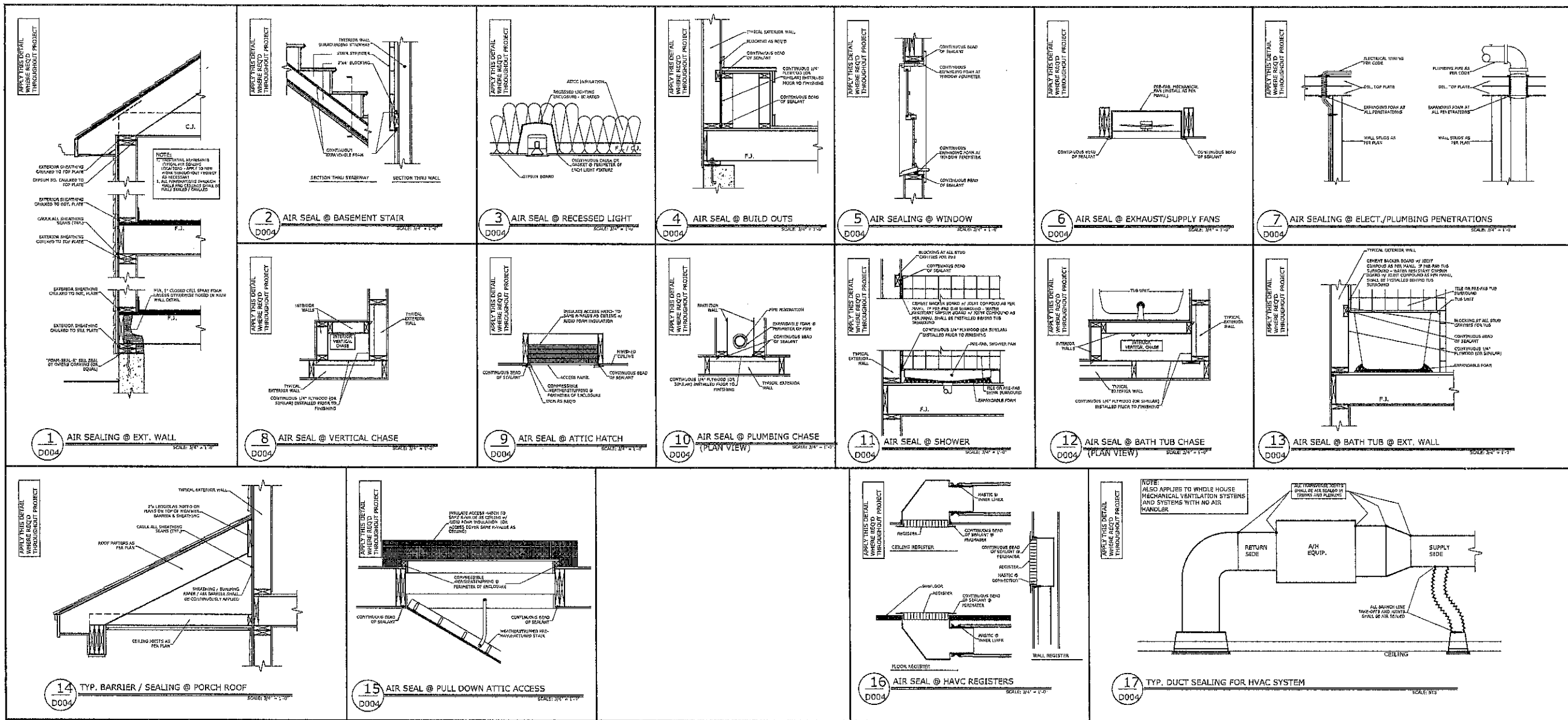
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PROJECT No.:
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DWG. No.:
D-004.00
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1 FASTENING SCHEDULE

NOTE: THIS SCHEDULE DOES NOT INCLUDE NAILING FOR UPLIFT CONNECTIONS (SEE PAGE A601 FOR NAILING OF UPLIFT CONNECTIONS)
ALL NAILING IS A GENERAL SPECIFICATION, IT APPLIES UNLESS NOTED OTHERWISE

DESCRIPTION	FASTENER SPEC. AND QUANTITY	FASTENER SPACING
ROOF & CEILING FRAMING		
RAFTER TO TOP PLATE (TOE-NAIL)	SEE 4A TO 4G / A600	PER RAFTER
CESILING JOIST TO TOP PLATE (TOE-NAIL)	SEE 4A TO 4G / A600	PER JOIST
CESILING JOIST TO PARALLEL RAFTER (FACE-NAIL)	SEE 4A TO 4G / A600	EACH LAP
CEILING JOIST LAPS OVER PARTITIONS (FACE-NAIL)	SEE 4A TO 4G / A600	EACH LAP
COLLAR TIE TO RAFTER (FACE-NAIL)	3-16d COMMON	PER TIE
BLOCKING TO RAFTER (TOE-NAIL)	2-8d COMMON	EACH END
RIN BOARD TO RAFTER (END-NAIL)	SEE 4A TO 4G / A600	EACH RAFTER

WALL FRAMING		
TOP PLATE TO TOP PLATE (FACE-NAIL)	SEE 4A TO 4G / A600	PER FOOT
TOP PLATES AT INTERSECTIONS (FACE-NAIL)	4-16d COMMON	JOISTS - BA. SIDE
STUD TO STUD (FACE-NAIL)	2-16d COMMON	24" O.C.
HEADER TO HEADER (FACE-NAIL)	1-16d COMMON	16" O.C. ALONG EDGES
TOP or BOTTOM PLATE TO STUD (END-NAIL)	SEE 4A TO 4G / A600	PER STUD
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, ENDJOIST, or BLOCKING (FACE-NAIL)	2-16d COMMON	PER FOOT

FLOOR FRAMING		
JOIST TO SILL, TOP PLATE or GIRDER (TOE-NAIL)	4-6d COMMON	PER JOIST
BIDDING TO JOIST (TOE-NAIL)	2-5d COMMON	EACH END
BLOCKING TO JOIST (TOE-NAIL)	2-5d COMMON	EACH END
BLOCKING TO SILL or TOP PLATE (TOE-NAIL)	3-16d COMMON	EACH BLOCK
LEDGER STRIP TO BEAM (FACE-NAIL)	3-16d COMMON	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAIL)	3-5d COMMON	PER JOIST
BAND JOIST TO JOIST (END-NAIL)	3-16d COMMON	PER JOIST
BAND JOIST TO SILL or TOP PLATE (TOE-NAIL)	2-16d COMMON	PER FOOT

ROOF SHEATHING		
WOOD STRUCTURAL PANELS (PLYWOOD SHEATHING)	8d COMMON	6" EDGE / 12" FIELD

CEILING SHEATHING		
GYPSON WALLBOARD	5d COOLERS	7" EDGE / 10" FIELD

WALL SHEATHING		
WOOD STRUCTURAL PANELS (PLYWOOD SHEATHING)	8d COMMON	6" EDGE / 12" FIELD UNLESS OTHERWISE NOTED FOR THE REASONED SHORSTALL CAPACITY, SEE FLOOR PLANS FOR NOTING WHEN APPLICABLE
GYPSON WALLBOARD	5d COOLERS	7" EDGE / 10" FIELD

FLOOR SHEATHING (SUBFLOOR)		
WOOD STRUCTURAL PANELS (PLYWOOD SHEATHING)	8d COMMON 10d COMMON	6" EDGE / 12" FIELD 6" EDGE / 12" FIELD

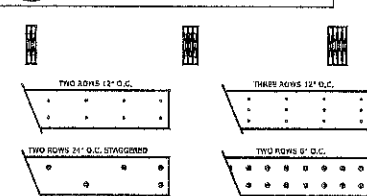
2 TYPICAL JOIST HANGERS

FOR JOISTS FLUSH FRAMED TO BEAM - DIMENSIONAL LUMBER	
JOIST SIZE	HANGER
2"x6"	SIMPSON LUS26 (OR EQUAL)
2"x8"	SIMPSON HUS28 (OR EQUAL)
2"x10"	SIMPSON HUS210 (OR EQUAL)
2"x12"	SIMPSON HUS212 (OR EQUAL)

FOR RAFTERS FLUSH FRAMED TO BEAM - DIMENSIONAL LUMBER	
RAFTER SIZE	HANGER
2"x6"	SIMPSON LRU26 (OR EQUAL)
2"x8"	SIMPSON LRU28 (OR EQUAL)
2"x10"	SIMPSON LRU210 (OR EQUAL)
2"x12"	SIMPSON LRU212 (OR EQUAL)

FOR I'-JOISTS FLUSH FRAMED TO BEAM - PRE ENGINEERED JOISTS	
JOIST SIZE	HANGER
-	-
-	-
-	-
-	-

3 BEAM CONNECTIONS

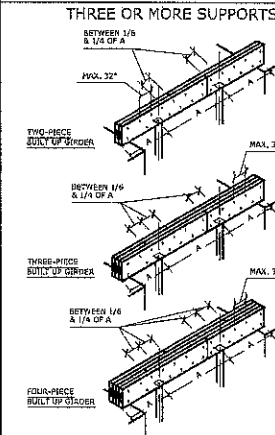


CONNECTION PATTERN SCHEDULE

CONNECTION PATTERN	DESCRIPTION
A	(2) ROWS 1/2" NAILS @ 12" O.C.
B	(3) ROWS 1/2" NAILS @ 12" O.C.
C	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS
D	(2) ROWS 1/2" NAILS @ 12" O.C.
E	(2) ROWS 1/2" NAILS @ 24" O.C.
F	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS
G	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS
H	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS
I	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS
J	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS
K	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS
L	(2) ROWS 1/2" NAILS @ 12" O.C. STAGGERED 18" 9" ENDS

NOTE:
1. WHEN BEAMS ARE NOTED WITH CONNECTION PATTERN ON PLAN, SHALL USE CONNECTION PATTERN 'A' UNLESS OTHERWISE NOTED.
2. WHEN SCREWING OR NAILING FROM BOTH SIDES OF MEMBER - OFFSET FASTENERS 1/2" FROM ONE SIDE TO THE OTHER.
3. BOLT HOLES ARE TO BE THE SAME DIMENSION AS THE BOLT AND SHOULD BE LOCATED 1/2" FROM THE TOP AND BOTTOM OF THE MEMBER. BOLT MUST EXTEND THROUGH THE FULL THICKNESS OF THE MEMBER. USE WASHERS UNDER HEAD AND NUT.

4 CONTINUOUS BUILT-UP GIRDERS



ASSEMBLY REQUIREMENTS:
WHEN GIRDERS MADE UP OF JOISTS NAILED TOGETHER, SIDE BY SIDE ARE CONTINUOUS OVER THREE OR MORE SUPPORTS, JOINTS ARE TO BE LOCATED BETWEEN ONE SIXTH AND ONE QUARTER THE SPAN LENGTH FROM AN INTERMEDIATE SUPPORT. NO TWO ADJACENT JOISTS, NOR MORE THAN ONE THIRD THE TOTAL NUMBER, ARE TO BE JOINTED ON THE SAME SIDE OF THE SUPPORT.

NAILING:
TWO-PIECE GIRDERS ARE TO BE NAILED FROM ONE SIDE WITH 16d NAILS, TWO PER BACK END OF EACH PIECE, OTHERS STAGGERED WITH A DISTANCE OF 14" INCHES BETWEEN NAILS IN A HORIZONTAL LINE; OR GIRDERS ARE TO BE NAILED FROM EACH SIDE WITH 16d NAILS, TWO PER EACH END OF EACH JOIST, OTHERS STAGGERED WITH A DISTANCE OF 32" BETWEEN NAILS IN A HORIZONTAL LINE.

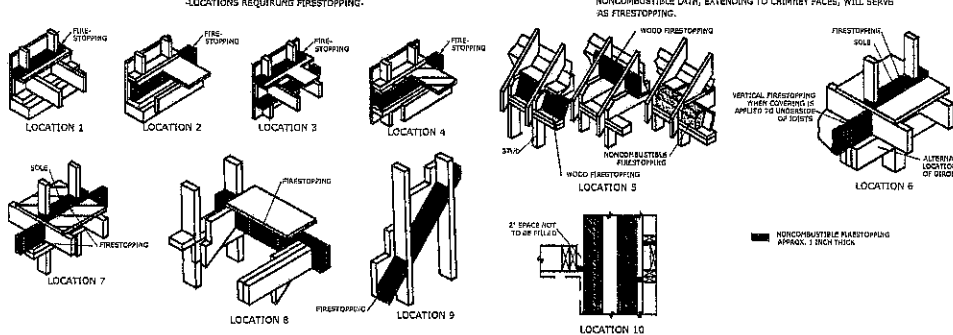
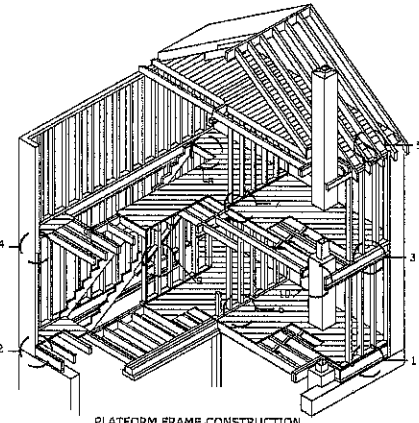
THREE-PIECE GIRDERS ARE TO BE NAILED W/ 20d NAILS OR 5d, SIDE W/ TWO PER END, END OF 5d, PIECES, INCLUDING INTERMEDIATE JOINTS, AND W/ THE OTHERS STAGGERED W/ A DISTANCE OF NOT MORE THAN 32" BETWEEN NAILS IN A HORIZONTAL LINE.

FOUR-PIECE GIRDERS ARE TO BE ASSEMBLED AS SHOWN, AND NAILED W/ 20d NAILS AS SPECIFIED FOR THE THREE-PIECE GIRDER.

ANCHORING:
GIRDERS ARE TO BE SECURELY ANCHORED TO MASONRY PIERS, NAILED TO WOOD POSTS OR BOLTED TO STEEL COLUMNS.

5 FIREBLOCKING FOR PLATFORM WOOD FRAMING

(FOR ENGINEERED LUMBER (Ie. WOOD I-JOISTS) SEE MANU. SPEC.'S FOR ADDITIONAL INFO.)



1. FOR PLATFORM FRAME CONSTRUCTION, THE SOLE SERVES AS FIRESTOPPING.
2. FOR PLATFORM FRAME CONSTRUCTION, THE DOUBLE JOIST SERVES AS FIRESTOPPING.
3. FOR PLATFORM FRAME CONSTRUCTION, THE SOLE AND DOUBLE JOIST SERVES AS FIRESTOPPING.
4. FOR PLATFORM FRAME CONSTRUCTION, THE DOUBLE JOIST SERVES AS FIRESTOPPING.
5. FIRESTOPPING SHALL BE 2 INCHES OF WOOD BLOCKING OR OF NONCOM-BUSTIBLE FILL.
6. FOR PLATFORM FRAME CONSTRUCTION, THE SOLE AND 2 INCHES OF WOOD BLOCKING PLACED BETWEEN JOISTS SERVE AS FIRESTOPPING.
7. FOR PLATFORM FRAME CONSTRUCTION, THE SOLE AND 2 INCHES OF WOOD BLOCKING PLACED BETWEEN JOISTS SERVE AS FIRESTOPPING.
8. THE HEADER SERVES AS FIRESTOPPING.
9. TWO-INCH WOOD BLOCKING OR THE EQUIVALENT SHALL BE ADDED BETWEEN STUDS IN PARTITION ADJACENT TO STRINGER TO SERVE AS FIRESTOPPING.
10. THE SPACE BETWEEN A CHIMNEY AND COMBUSTIBLE FLOOR FRAMING SHALL BE FIRESTOPPED AT THE BOTTOM WITH APPROXIMATELY 1-INCH DEPTH OF NONCOMBUSTIBLE MATERIAL HELD IN PLACE BY METAL LATH OR WIRE FABRIC. SUCH FIRESTOPPING SHALL NOT BE REQUIRED WHEN THE BOTTOM OF THE VERTICAL CHIMNEY IS SEALED BY PLASTER ON THE CEILING AND CHIMNEY. THE SPACE ABOVE THE FIRESTOPPING SHALL BE LEFT UNFILLED SO THAT HEAT FROM THE CHIMNEY CAN BE CARRIED AWAY BY AIR CURRENTS MOVING UPWARD AND OUT THROUGH NORMAL SHRAPNAGE CRACKS OF THE INTERIOR FINISH. PLASTER CEILING ON NONCOMBUSTIBLE LATH, EXTENDING TO CHIMNEY FACES, WILL SERVE AS FIRESTOPPING.

6 REQUIREMENTS FOR WINDBORNE DEBRIS REGIONS

IF PROJECT IS WITHIN ONE MILE OF ANY BODY OF WATER IN 130mph WIND ZONE, THEN THIS SECTION APPLIES - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CARRY OUT REQUIREMENTS AS SPECIFIED BELOW

2020 RESIDENTIAL CODE OF NEW YORK STATE:
R301.2.1.2 PROTECTION OF OPENINGS
EXTERIOR GLAZING IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL BE PROTECTED FROM WINDBORNE DEBRIS. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1886 AND ASTM E 1886 AS MODIFIED IN SECTION 301.2.1.2.1. GARAGE DOOR GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF AN APPROVED IMPACT-RESISTANCE STANDARD OR ADEQUATE 115.

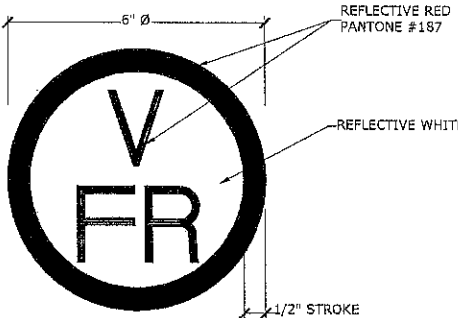
EXCEPTION: WOOD STRUCTURAL PANELS WITH A THICKNESS OF NOT LESS THAN 7/16 INCH AND A SPAN OF NOT MORE THAN 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING.

NOTE:
THE GENERAL CONTRACTOR IS TO PROVIDE THIS STRUCTURE W/ 1/2" COX PLYWOOD SHEATHING PANELS W/ PRE-DRILLED HOLES FOR THE FASTENING HARDWARE (SCREWS-SEE TABLE R301.2.1.2) FOR ALL WINDOWS AND DOORS. THE FASTENERS SHALL BE PRE-INSTALLED READY FOR PLYWOOD PANELS TO BE APPLIED PRIOR TO A STORM EVENT.

1. THIS TABLE IS BASED ON 130 MPH ULTIMATE DESIGN WIND SPEEDS AND 33-FOOT MEAN ROOF HEIGHT.
2. FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL. FASTENERS SHALL BE LOCATED NOT LESS THAN 1 INCH FROM THE EDGE OF THE PANEL.
3. ANCHORS SHALL PENETRATE THROUGH THE EXTERIOR WALL COVERING WITH AN EMBEDMENT LENGTH OF NOT LESS THAN 2 INCHES INTO THE BUILDING FRAME. FASTENERS SHALL BE LOCATED NOT LESS THAN 2 INCHES FROM THE EDGE OF CONCRETE BLOCK OR CONCRETE.
4. PANELS ATTACHED TO MASONRY OR MASONRY/STUCCO SHALL BE ATTACHED USING VIBRATION RESISTANT ANCHORS HAVING AN ULTIMATE WITHDRAWAL CAPACITY OF NOT LESS THAN 1,500 POUNDS.

7 ENGINEERED WOOD PLACARD

NOTE:
ENGINEERED WOOD PLACARD SHALL BE AFFIXED ON OR ADJACENT TO ELECTRIC METER BOX @ EXTERIOR OF BUILDING AS PER PART 1265 OF TITLE 19 NYCRR.



8 STRUCTURAL CRITERIA

MINIMUM UNIFORMLY DISTRIBUTED DESIGN LOADS
[LIVE LOADS AS PER TABLE R301.5 AND SNOW LOAD AS PER FIGURE R301.2(6) OF 2020 RESIDENTIAL CODE OF NEW YORK STATE]

USE	LIVE LOAD	DEAD LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10 psf	10 psf
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20 psf	10 psf
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30 psf	10 psf
EXT. BALCONIES AND DECKS	40 psf	15 psf
FIRE ESCAPES	40 psf	AS PER PLAN
GUARDRAILS AND HANDRAILS	200 psf	
GUARDRAILS INFILL COMPONENTS	50 psf	
PASSENGER VEHICLE GARAGES	50 psf	AS PER PLAN
ROOMS OTHER THAN SLEEPING ROOMS	40 psf	15 psf
SLEEPING ROOMS	30 psf	15 psf
STAIRS	40 psf	15 psf
ROOF LOADING (LIVE + GROUND SNOW LOAD)	20 psf	12 psf FOR ATTIC 15 psf FOR CATH.

SEE CODE FOR FOOTNOTES

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS
[TABLE R301.7 OF 2020 RESIDENTIAL CODE OF NEW YORK STATE]

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 1/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYPSON BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS - WIND LOADS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS - WIND LOADS WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

NOTE: L = SPAN LENGTH
H = SPAN HEIGHT
SEE CODE FOR FOOTNOTES

MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE
[TABLE R402.2 OF 2020 RESIDENTIAL CODE OF NEW YORK STATE]

TYPE OR LOCATIONS OF CONCRETE CONSTRUCTION	MIN. SPECIFIED COMPRESSIVE STRENGTH (f'c)
ALL BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK	3,000
PORCHES, CHAMOT SLABS AND STEPS EXPOSED TO WEATHER, AND GARAGE FLOOR SLABS	3,500

SEE CODE FOR FOOTNOTES

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS
[TABLE R401.4.1 OF 2020 RESIDENTIAL CODE OF NEW YORK STATE]

CLASS OF MATERIAL	LOAD BEARING PRESSURE (PSF)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY AND FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW AND GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, AND GC)	2,000
CLAY, SANDY, SILTY CLAY, CLAYEY SILT, SILT, AND SANDY SILTCLAY (CL, ML, MH, AND CH)	1,500

SEE CODE FOR FOOTNOTES

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