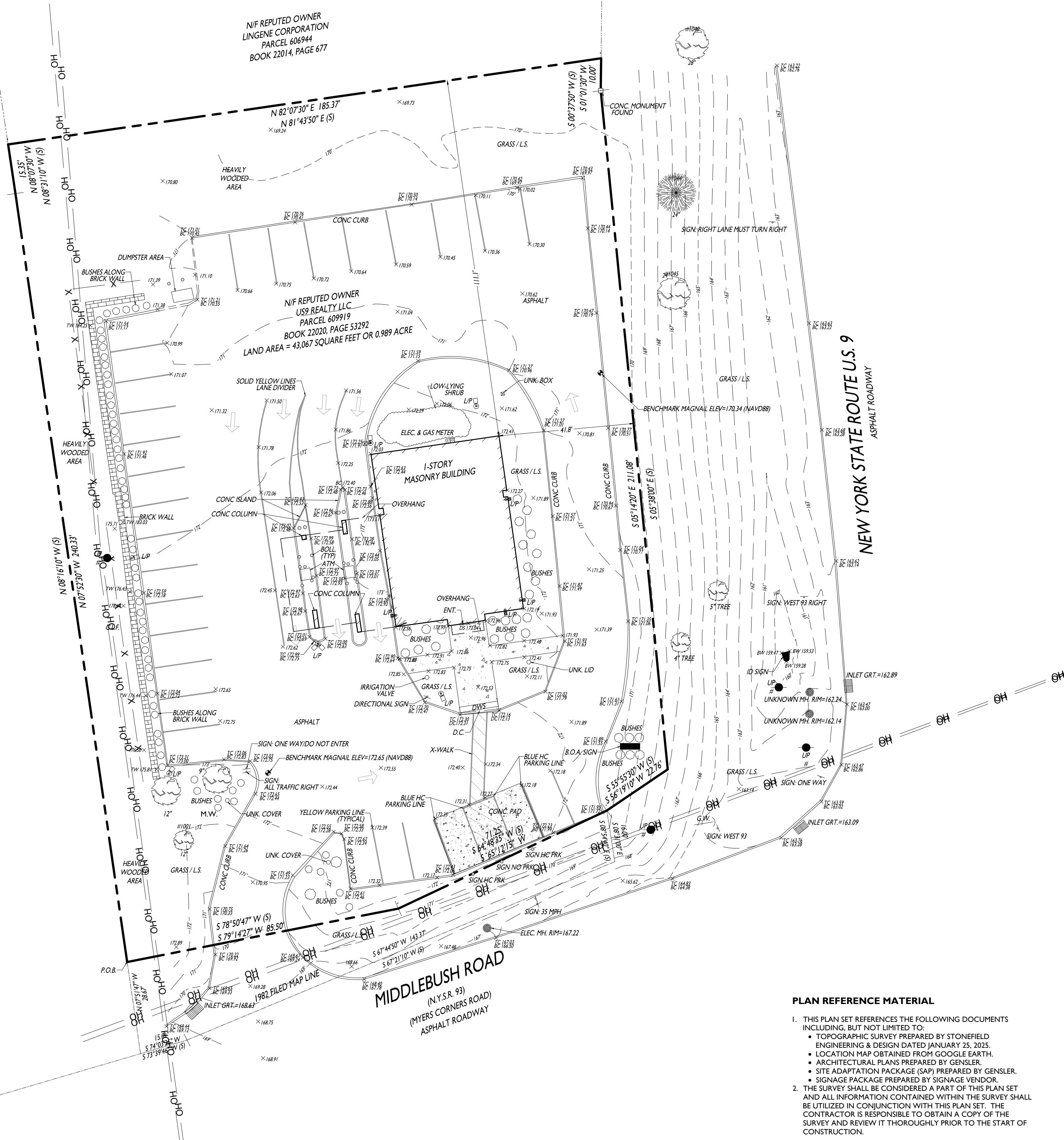


SOURCE: GOOGLE MAPS
LOCATION MAP
SCALE: 1" = 100'



| SYMBOL | DESCRIPTION |
|--------|---|
| | EXISTING BUILDING |
| | EXISTING PROPERTY LINE |
| | EXISTING MAJOR CONTOUR LINE |
| | EXISTING MINOR CONTOUR LINE |
| | EXISTING OVERHEAD WIRE |
| | EXISTING CONCRETE |
| | EXISTING BRICK WALL |
| | EXISTING BOLLARD |
| | EXISTING SIGN |
| | EXISTING GRADE SHOT |
| | EXISTING TOP OF CURB / BOTTOM OF CURB SPOT SHOT |
| | EXISTING DEPRESSED CURB SPOT SHOT |
| | EXISTING LIGHT POLE |
| | EXISTING GAS METER |
| | EXISTING ELECTRIC METER |
| | EXISTING DECIDUOUS TREE |
| | EXISTING BUSHES |
| | EXISTING INLET |
| | EXISTING MANHOLE |
| | EXISTING UTILITY POLE |

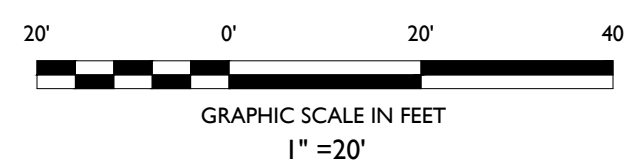


Know what's below.
Call before you dig.

| SHEET INDEX | |
|--------------------------|---------|
| DRAWING TITLE | SHEET # |
| EXISTING CONDITIONS PLAN | C-1 |
| DEMOLITION PLAN | C-2 |
| SITE PLAN | C-3 |
| NOTES AND DETAILS | C-4 |

PLAN REFERENCE MATERIAL

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING BUT NOT LIMITED TO:
 - TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN DATED JANUARY 25, 2025.
 - LOCATION MAP OBTAINED FROM GOOGLE EARTH.
 - ARCHITECTURAL PLANS PREPARED BY GENSLER.
 - SITE ADAPTATION PACKAGE (SAP) PREPARED BY GENSLER.
 - SIGNAGE PACKAGE PREPARED BY SIGNAGE VENDOR.
- THE SURVEY SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



BANK OF AMERICA
Exterior Renovation
Wappingers Falls, NY
BANK ID: NY6-255
Tax Map Parcel: 609919
1469 Route U.S. 9
Town of Wappinger
County of Dutchess, New York

ARCHITECT:
Genzler
10 North Park Place
Suite 400
Morristown, NJ 07960
Telephone 973.290.8500
Facsimile 973.290.8585

CIVIL ENGINEER:
STONEFIELD
engineering & design
Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefielddeng.com

Rivergate Tower, 400 N Ashley Drive, Suite 1950, Tampa, FL 33602
Phone 813.793.2200

| Issue | Date & Issue Description | By | Check |
|-------|---------------------------------|-----|-------|
| 01 | 02/07/2025 FOR CLIENT REVIEW | KLS | JSK |
| 02 | 02/20/2025 FOR CLIENT REVIEW | KLS | JSK |

JAMES S. KINOSIAN, P.E.
NEW YORK LICENSE No. 98131
LICENSED PROFESSIONAL ENGINEER

KLS
DRAWN BY

JSK
CHECKED BY

STONEFIELD
engineering & design, llc.

SCALE: (H) 1" = 20'

PROJECT ID: NYC-240235

TITLE:

EXISTING CONDITIONS PLAN

SHEET:
C-1

BANK OF AMERICA

Exterior Renovation

Wappingers Falls, NY

BANK ID: NY6-255
 Tax Map Parcel: 609919
 1469 Route U.S. 9
 Town of Wappinger
 County of Dutchess, New York

ARCHITECT:

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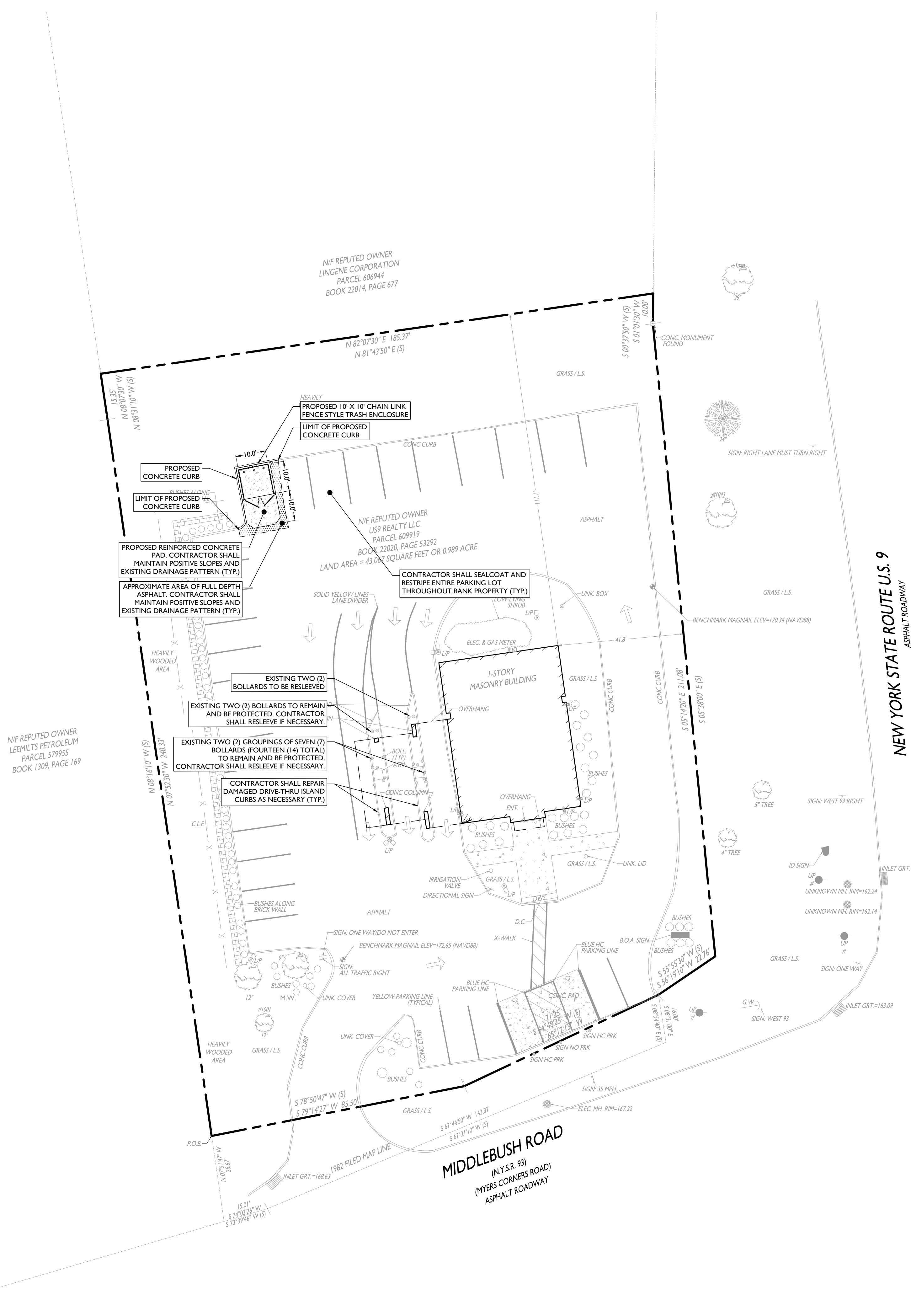
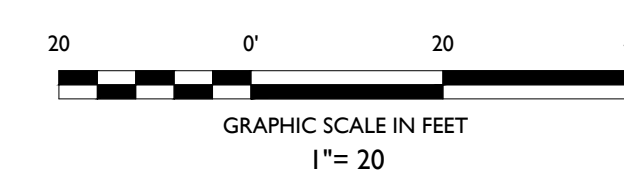
Rivergate Tower, 400 N Ashley Drive, Suite 1950, Tampa, FL 33602
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|-------|---------------------------------|-----|-------|
| 01 | 02/07/2025 FOR CLIENT REVIEW | KLS | JSK |
| 02 | 02/20/2025 FOR CLIENT REVIEW | KLS | JSK |

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

EXISTING UTILITIES AND LIGHTING INFRASTRUCTURE SHALL BE REUTILIZED



SITE LEGEND

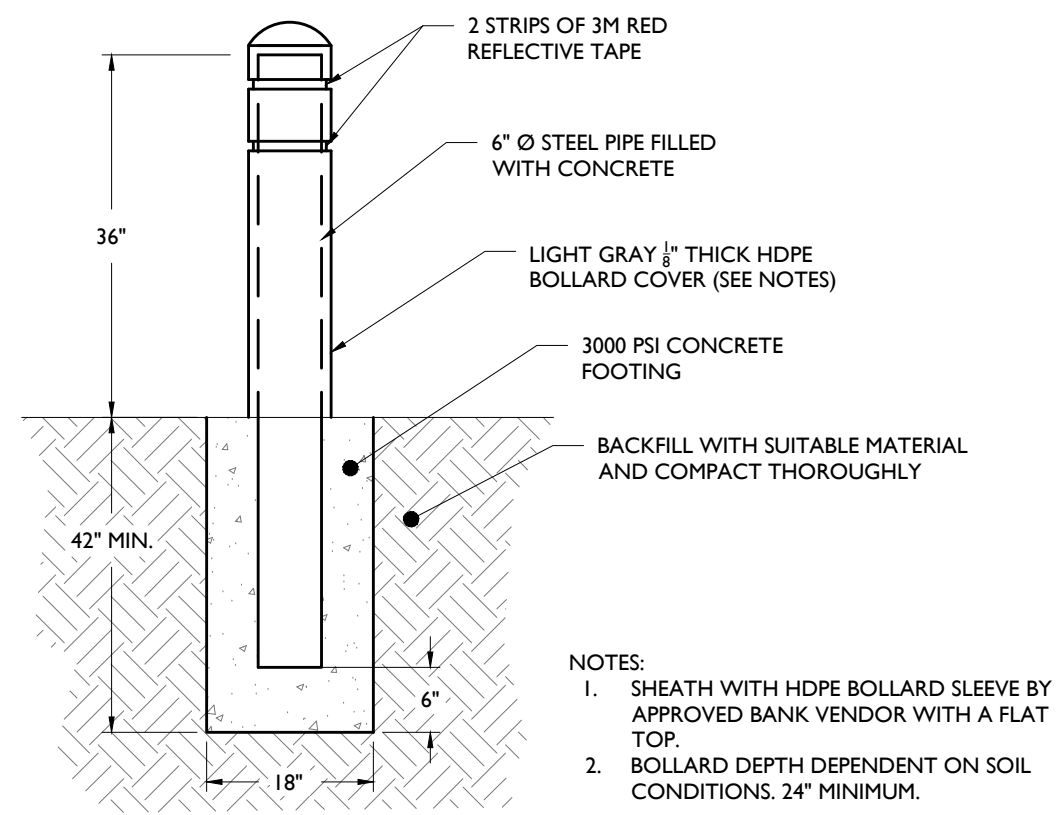
- PROPOSED SIGNS / BOLLARD
- EXISTING BUILDING
- EXISTING CURB

SITE PLAN

SHEET:

C-3

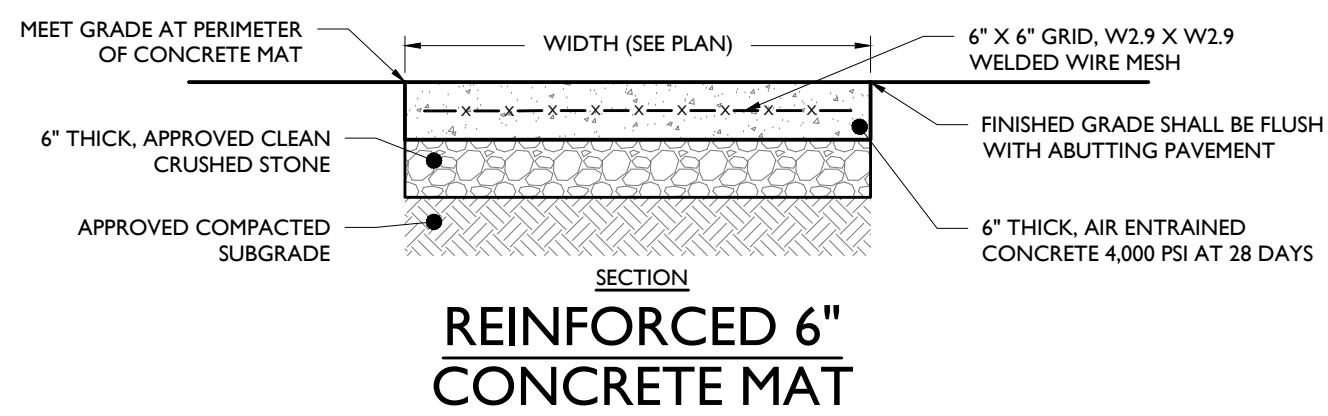
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BOLLARD DETAIL

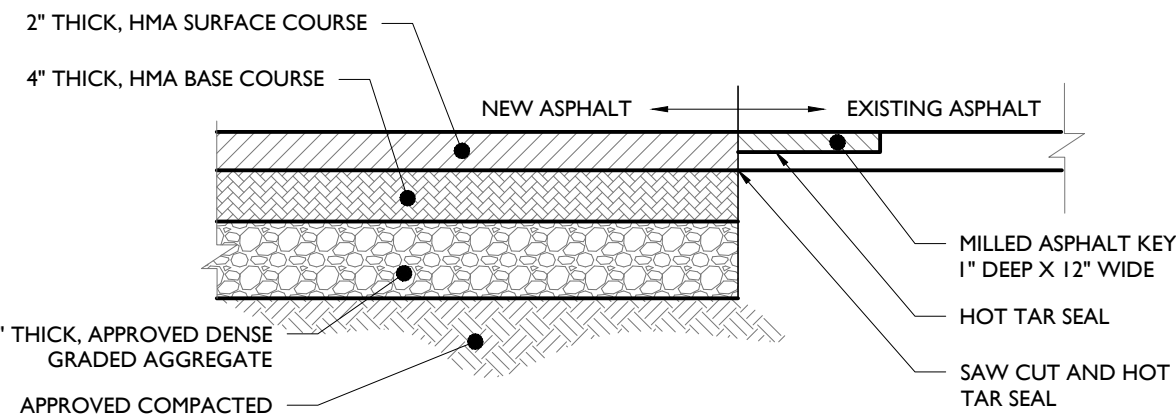
NOT TO SCALE

- NOTES:
1. SHEATH WITH HDPE BOLLARD SLEEVE BY APPROVED BANK VENDOR WITH A FLAT TOP.
 2. BOLLARD DEPTH DEPENDENT ON SOIL CONDITIONS. 24" MINIMUM.
- COLOR: BANK OF AMERICA - LIGHT GRAY CONTACT: (866) 737-8900



REINFORCED 6" CONCRETE MAT

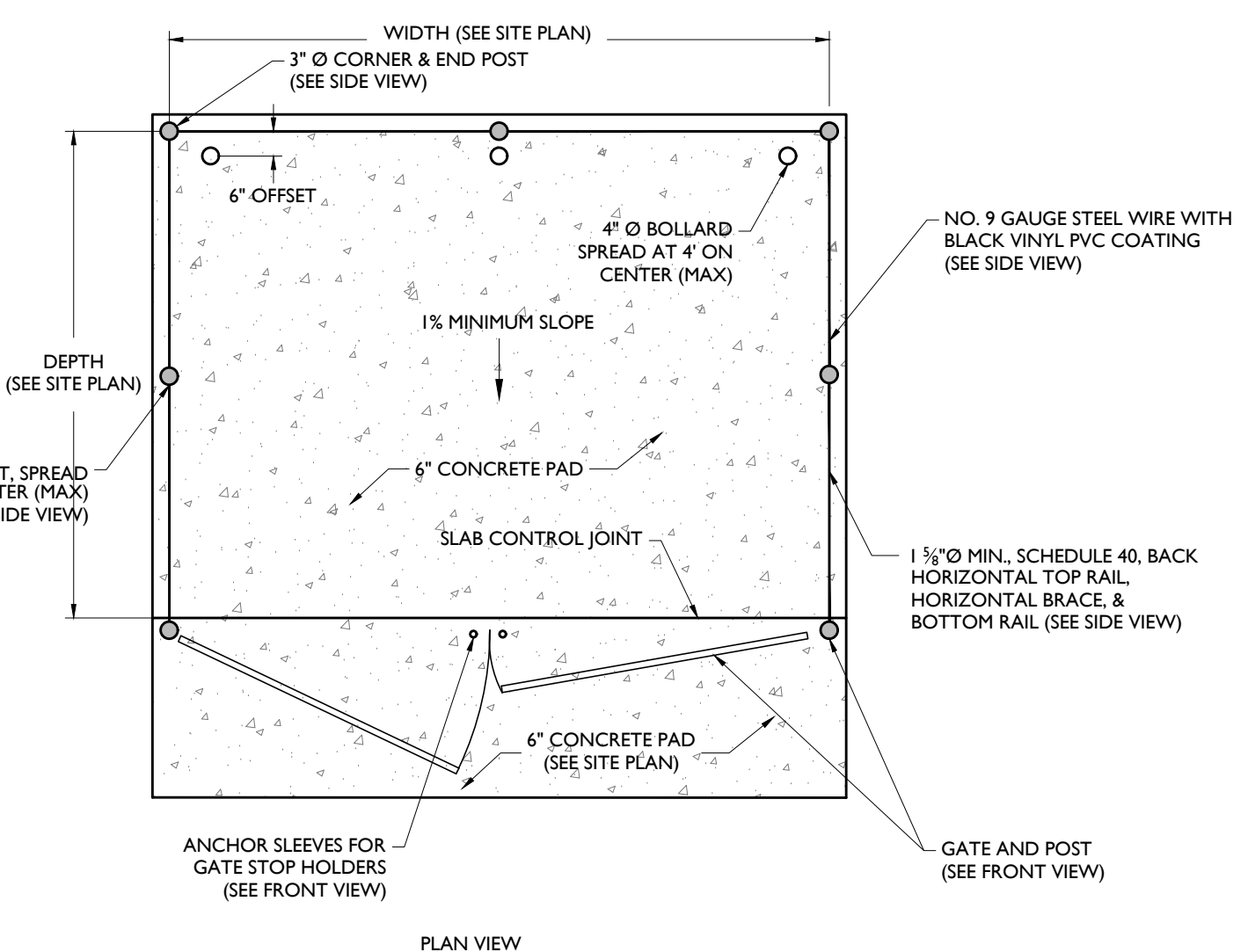
- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.



FULL DEPTH ASPHALT PAVEMENT DETAIL

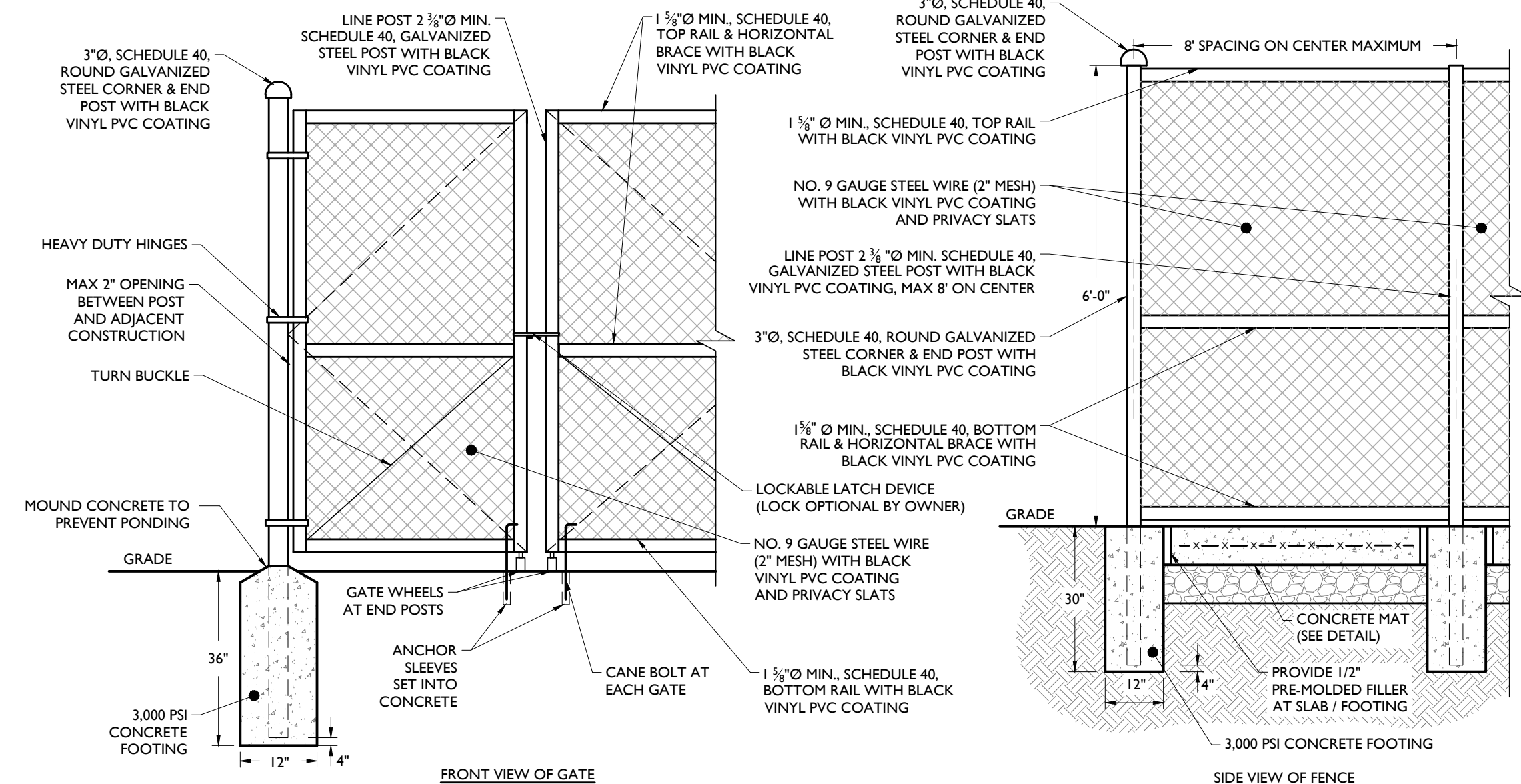
NOT TO SCALE

NOTE: HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



CHAIN LINK FENCE TRASH ENCLOSURE DETAIL

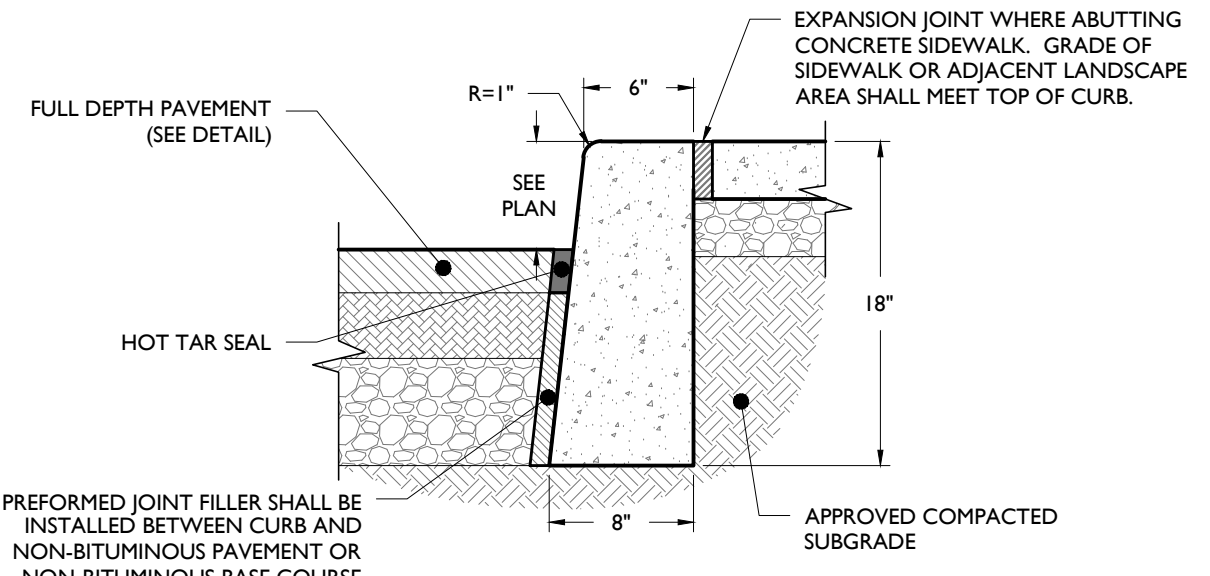
NOT TO SCALE



FRONT VIEW OF GATE

SIDE VIEW OF FENCE

4



CONCRETE CURB DETAIL

NOT TO SCALE

- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

5

GENERAL NOTES

1. THE CONTRACTOR SHOULD FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND PROPOSED SITE WORK (DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY EXISTING SITE CONDITION DIFFER FROM THAT IDENTIFIED HEREIN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION.
2. ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
3. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING.
4. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
5. ALL CONCRETE WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD WILL REVIEW IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
11. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING AND DESIGN LLC BE PRESENT ON-SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
2. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE OTHER SITE PLAN AND GEOTECHNICAL DOCUMENTS AND ASSOCIATED REPORTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
3. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
5. UNLESS AT THE WRITTEN CONSENT OF BOTH THE OWNER AND GOVERNING AGENCIES, EXPLOSIVES SHALL NOT BE USED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
6. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLITION STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
7. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON-SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
8. CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING THE SITE PLAN IMPROVEMENTS.

GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL THE MATERIAL BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES. TO ENSURE THE STRUCTURAL INTEGRITY OF SURROUNDING STRUCTURES AND STABILITY OF SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" TO 7" ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. CONTRACTOR TO SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
CURB GUTTER: 0.50%
CONCRETE SURFACES: 1.00%
ASPHALT SURFACES: 1.00%
5. ELEVATIONS ON RETAINING WALLS ARE FOR THE EXPOSED PORTION OF THE WALL AND DOES NOT INCLUDE THE FOOTING ELEVATION. FOOTING ELEVATIONS SHALL BE DETERMINED BY THE WALL DESIGNER LICENSED IN THE STATE UPON WHICH THE WORK OCCURS.
6. POSITIVE DRAINAGE OF 1% MINIMUM SLOPE SHALL BE PROVIDED AWAY FROM ALL BUILDING.

ADA NOTES

1. CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE/FEDERAL GUIDELINES, WHICHEVER IS MORE STRINGENT.
3. CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 5% RUNNING SLOPE AND A MAXIMUM OF 1.5% CROSS SLOPE ALONG THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR LOCATION OF THE ACCESSIBLE PATH). THE ACCESSIBLE PATH OF TRAVEL SHALL BE 6" WIDE OR GREATER.
4. CONTRACTOR SHALL MAINTAIN A MAXIMUM 2% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, TOP OF ACCESSIBLE RAMP, BOTTOM OF ACCESSIBLE RAMP, BUILDING ENTRANCES, AREA IN FRONT OF WALK UP ATM, AND TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A CLEAR AREA OF 60" X 60" UNLESS INDICATED OTHERWISE ON THE SITE PLAN.
5. CURB RAMP SHALL HAVE A MAXIMUM SLOPE OF 8.33% IN THE DIRECTION OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10% WHERE A LANDING EXISTS AT THE TOP OF THE RAMP. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% WHERE A LANDING IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMP SHALL NOT RAISE MORE THAN 6" IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36" WIDE.
6. BUILT UP RAMPS WITH A RISE GREATER THAN 4" SHALL CONTAIN HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RAISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. ALL SURFACES ALONG THE ACCESSIBLE PATH AND PARKING AREAS SHALL BE CONSTRUCTED WITH A SLIP RESISTANT SURFACE.
8. CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" CHANGE IN LEVEL IS BEVELLED WITH A SLOPE NOT STEEPER THAN 1:2.
9. OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2".

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.

LANDSCAPING NOTES

1. CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS.
2. DISTURBED LAWN AREAS SHALL BE RESTORED WITH 4" OF TOPSOIL AND SEED.
3. MULCH AREAS SHALL BE RESTORED WITH A MINIMUM OF 3" OF MULCH.
4. MAX 3:1 SLOPE ALLOWED IN LANDSCAPE RESTORATION AREAS.
5. CONTRACTOR REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF DISTURBANCE PRIOR TO CONSTRUCTION. CONTRACTOR TO RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. CONTRACTOR TO RE-GRADE DISTURBED LANDSCAPED AREAS TO MEET GRADE AT WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT WHERE A WALL IS NOTED ON PLANS. NO ABRUPT CHANGES IN GRADE PERMITTED IN DISTURBED AREAS.

UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A CONFLICT EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING AND DESIGN LLC IMMEDIATELY IN WRITING.

**Exterior Renovation
Wappingers Falls, NY**

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Tax Map Parcel: 609919
1469 Route U.S. 9
Town of Wappinger
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ARCHITECT:
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JAMES S. KINOSIAN, P.E.
NEW YORK LICENSE No. 78131
LICENSED PROFESSIONAL ENGINEER

KLS **JSK**
DRAWN BY **CHECKED BY**

STONEFIELD
engineering & design, llc.

SCALE: (H) AS SHOWN

PROJECT ID: NYC-240235

TITLE:

NOTES & DETAILS

SHEET:
C-4