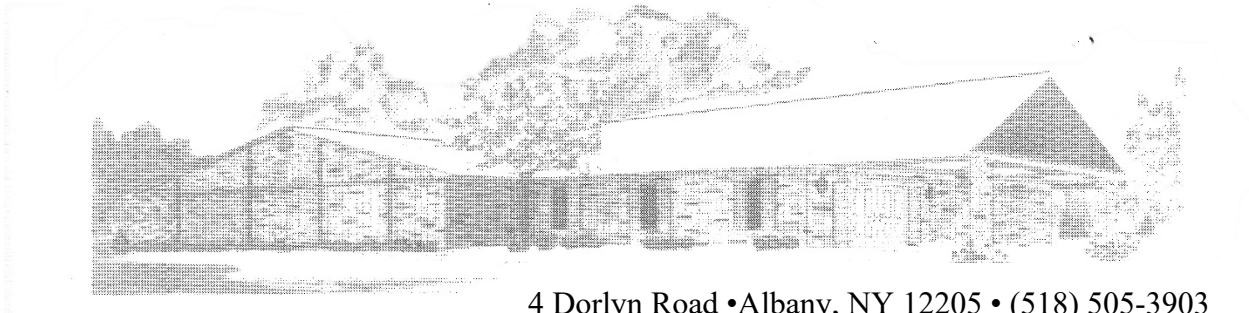


***Richard B. Bovee, P.E.***



4 Dorlyn Road • Albany, NY 12205 • (518) 505-3903

May 13, 2025

To: Hopewell Junction Planning Board

Re: Hopewell Junction, 383 All Angels Hill Rd

In regard to the above-mentioned project:

We've added notes on the drawings indicating no prior work. We also added the total disturbed area that is indicated or depicted on the drawings. The landscape drawing shows a buffer around the septic field.

- A note has been added to the plan indicating that a permit from the DCDPW shall be obtained prior to any work within the County ROW"
- The Applicant has provided a parking calculation table on the plans showing the existing and proposed parking conditions and required parking by code."
- SEQRA. The Applicant has confirmed the total area of disturbance is at 2955 square feet so the application would be considered a Type II action regarding SEQRA and no further SEQRA action would be required.
- This area does include disturbed soils (e.g. where drywells go, trenching, and similar disturbance)

Sincerely,

*Richard B. Bovee*

Richard B. Bovee, PE  
RBB/ps



Please note expiration date of stamp is 3/31/26.