



LOCATION MAP SCALE: 1" = 500'

ADJOINING OWNERS - 100' PER DC GIS:

LOUIS A. CAMACHO
49 MYERS CORNERS RD
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028849820000

JOHN DALLARA
11 ALLADIN CT
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028909420000

BELEN C. DIONO
660 WHEELER HILL RD
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028749530000

MARLA KHAJ
13 HENRY DR
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028539470000

LAWRENCE C. MCKAY
5 HENRY DR
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028529340000

NYREE DAWN PIECK, TRUSTEE
9 ALLADIN CT
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028759350000

WILLIAM W. STEACY
45 MYERS CORNERS RD
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028589820000

TOWN OF WAPPINGER
20 MIDDLEBUSH RD
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700029629330000

ANNA C. WISE
7 HENRY DR
WAPPINGER FALLS, NY 12590
FOR PROPERTY: 13568900615700028619240000

ZONE CLASSIFICATION
R20 RESIDENTIAL

TAX MAP PARCEL NO
135689-6157-02-874953

TOPOGRAPHIC DATUM
TOTAL ACRES: 1.26 AC.
WATER SUPPLY: INDIVIDUAL WELL
SEWAGE DISPOSAL: UNITED WAPP SWR DIST
COUNTY ROAD #: CR93
SPEED LIMIT: 40 MPH

Bulk Regulations:	Required	PROPOSED LOT #1	PROPOSED LOT #2
Minimum Lot Area (sf)	20,000	27,550	27,399
Minimum lot width (feet)	100	135'	135'
Minimum lot depth (feet)	125	192'	192'
Minimum lot frontage (feet)	50	135.62'	135.1'
Maximum dwelling units per net lot area	--	--	--
Minimum Front Yard (feet) from:			
County/state highway	75	77'	78'
Minimum side yard (feet)	20	31'51"	49'33"
Accessory building <15 feet high and < 200 square feet	10	N/A	N/A
Minimum rear yard (feet)	40	69'	65'
Accessory building <15 feet high and < 200 square feet	10	N/A	N/A
Maximum building height (stories/feet)	2.5/35	2.5/35	2.5/35
Maximum building coverage	15%	6.5%	6.5%
Maximum floor area ratio	0.15	0.06	0.06

LEGEND

- 2' CONTOURS
- 10' CONTOURS
- BUILDING SETBACK
- LIMIT OF DISTURBANCE
- TREE LINE
- BRUSH LINE
- OVERHEAD ELEC
- SEWER MAIN/MANHOLE LOCATION
- EXISTING GAS LINE
- ROOF LEADER
- FOOTING DRAIN
- WATER SERVICE LINE
- PROPOSED ELEC/COM
- SILT FENCE LOCATION
- SPOT ELEVATION
- UTILITY POLE
- EXISTING OWTS LOCATION
- CLEAN OUT LOCATION

PROPOSED PLAT PLAN

SCALE: 1" = 30'

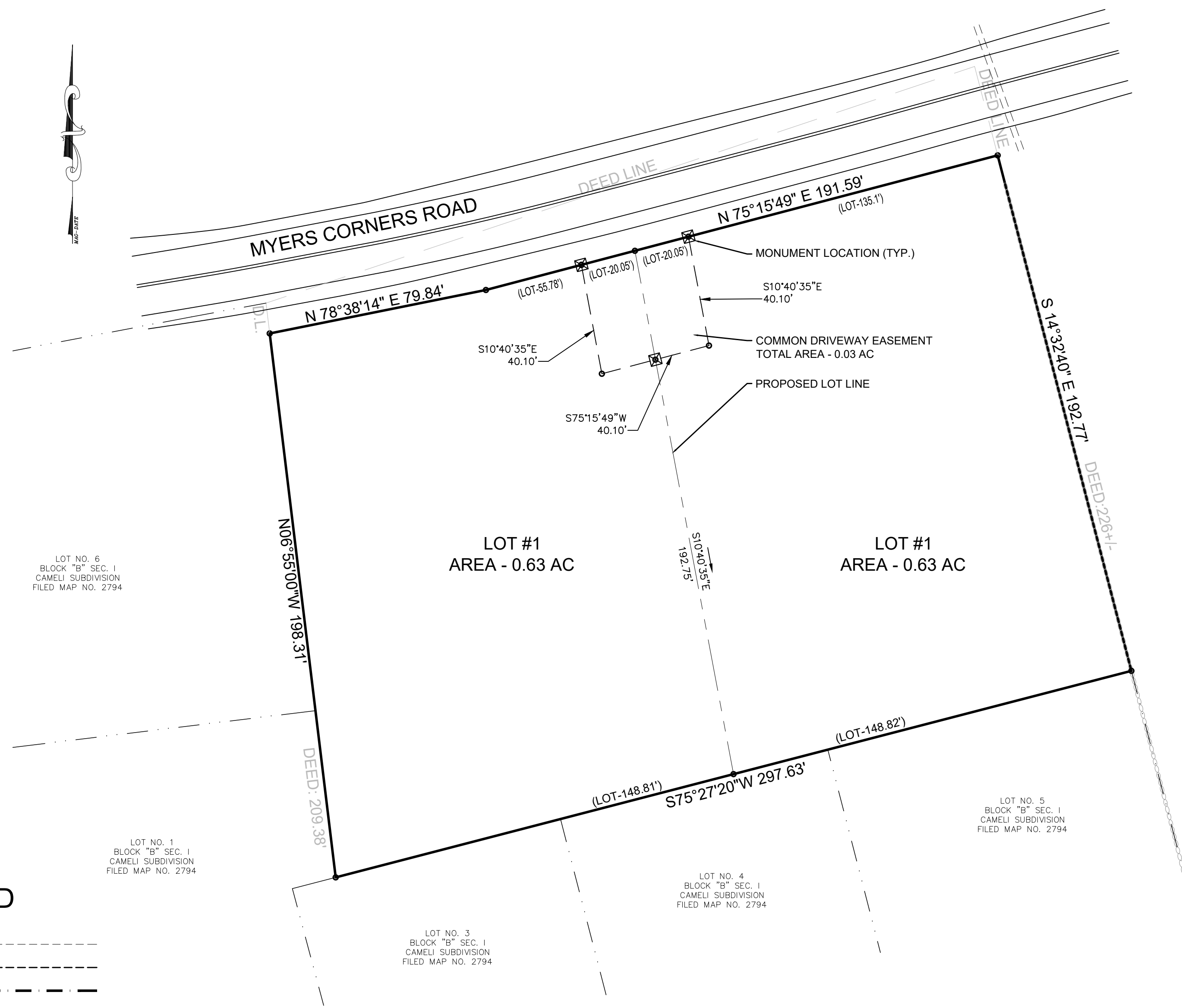


TABLE OF CONTENTS:

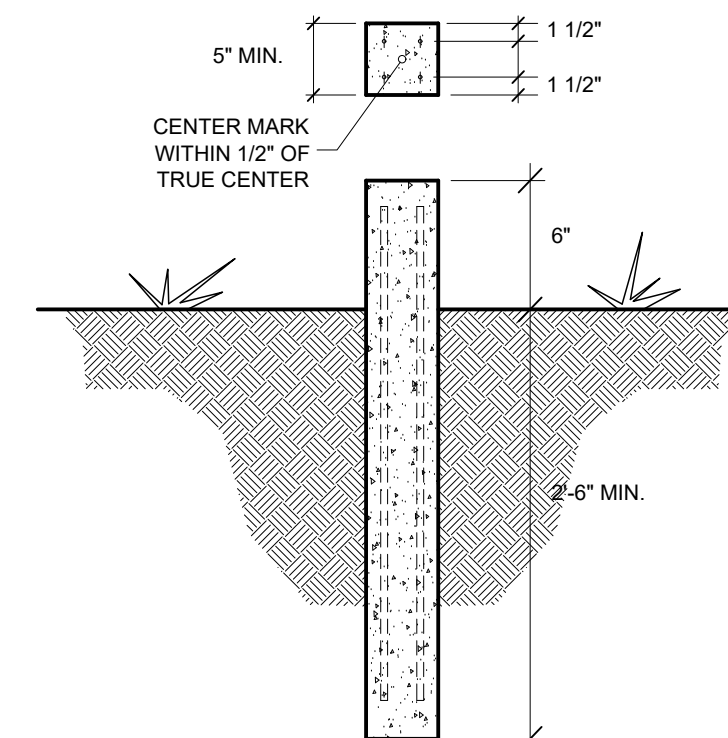
- SHEET #1 PROPOSED PLAT
- SHEET #2 PROPOSED CONDITIONS
- SHEET #3 CONSTRUCTION DETAILS
- SHEET #4 EROSION & SEDIMENT CONTROL PLAN
- SHEET #5 MPT PLAN

CONSTRUCTION NOTES:

1. ENCASE LOWER 24" OF MONUMENT IN CONCRETE CAST AGAINST UNDISTURBED GROUND, TO DETERIORATION OF MONUMENT WHERE REQUIRED.
2. THE CONCRETE MIX RATIO SHALL BE 1:2:3 1/2.
3. MONUMENTS SHALL BE CUT GRANITE OR CONCRETE, FREE FROM IMPERFECTIONS.
4. MONUMENTS SHALL NOT BE SET UNTIL THE ROADWAY HAS BEEN COMPLETED, NOR SHALL THEY BE SET WHILE FROST IS IN THE GROUND. THEY SHALL BE SET & TAMPED TO PREVENT SETTLEMENT, SHIFTING OR MOVING.
5. THE DEVELOPERS LAND SURVEYOR SHALL CERTIFY THAT THE LOCATION OF THE MONUMENTS ARE ACCURATE PRIOR TO THE ACCEPTANCE OF THE HIGHWAY BY THE TOWN BOARD.
6. ALL MONUMENT LOCATIONS SHALL BE SHOWN ON AN "AS BUILT" DRAWING PREPARED BY A N.Y.S. LICENSED LAND SURVEYOR.

CONCRETE MONUMENT DETAIL

N.T.S.



VICINITY MAP SCALE: 1" = 200'

SITE SPECIFIC NOTES:

1. IT IS THE INTENT OF THE APPLICANT-OWNER TO SUBDIVIDE PARCEL 135689-6157-02-874953 INTO TWO PARCELS. EACH PARCEL WILL BE SERVED VIA INDIVIDUAL DRILLED WELL AND CENTRAL SEWER CONNECTION.
2. THE BOUNDARY, TOPO, AND AS-BUILT FOUNDATION LOCATION INFORMATION AS TAKEN FROM THE BOUNDARY AND TOPOGRAPHY PERFORMED BY ROBERT V. OSWALD, L.S. AUGUST 2024.
3. ALL STEPS SHALL MEET NYS BUILDING CODE REQUIREMENTS AS STATED ON HOUSE DESIGN PLANS.
4. PROVIDE VERTICAL "Y" CLEANOUTS ON ALL ROOF LEADER DOWNSPOUTS AS PER SECTION 1108.1 OF THE 2010 PLUMBING CODE OF NYS.
5. FOOTING AND ROOF DRAINS SHALL BE CONVEYED VIA SEPARATE PIPES. ALL PIPING SHALL TERMINATE/BE STABILIZED PRIOR TO THE PROPERTY LINE.
6. PROVIDE 4" MIN. ANGULAR STONE STABILIZATION AT FOOTING & ROOF DRAIN OUTLETS(S), (6" WIDE X 30' LONG FLARED OUT X 8" DEEP).
7. A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AT THE SITE WITH THE OWNER OR DEVELOPER AND A REPRESENTATIVE FROM THE DUTCHESS COUNTY DEPARTMENT OF HEALTH PRIOR TO THE INSTALLATION OF THE SEWAGE DISPOSAL SYSTEM TO DISCUSS APPROVED ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL. THE WELL AND SDS SHALL BE STAKED PRIOR TO CONSTRUCTION.
8. THE HOUSE LOCATION SHALL MEET THE MINIMUM REQUIREMENTS AS SET FOR BY THE TOWN ZONING ORDINANCE. THE TOWN ZONING AND BUILDING DEPARTMENTS SHALL BE CONSULTED TO INSURE CONFORMITY WITH ALL APPLICABLE ZONING REQUIREMENTS PRIOR TO CONSTRUCTION.
9. THE HOUSE SHALL BE CONSTRUCTED IN SUCH A MANNER TO PROMOTE GROUNDWATER AND STORMWATER AWAY FROM THE FOUNDATION.
10. ALL DISTURBED AREAS SHALL BE STABILIZED / SEEDED AND MULCHED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
11. ANY EXPOSED SOILS GREATER THAN 7 DAYS ARE REQUIRED TO BE TEMPORARILY STABILIZED.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE

 Project No: 2025.390 License No. 083970

DAY STOKOSA
ENGINEERING P.C.
 3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

O'DONNELL FLP SUBDIVISION
 Town of Wappinger Dutchess County, New York
PROPOSED PLAT PLAN
 SCALE: No Scale DRAWN BY: BJS
 DATE: 9-2-25 CHECKED BY: BJS
1
 1 of 5

TOWN OF WAPPINGERS PLANNING BOARD
 APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGERS FALLS, NEW YORK ON THE _____ DAY OF _____, 2025 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
 TOWN OF WAPPINGERS FALLS PLANNING BOARD
 SIGNED THIS _____ DAY OF _____, 2025
 TOWN OF WAPPINGER PLANNING BOARD CHAIR

SURVEY CERTIFICATION
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED IN AUGUST 2024.
 ROBERT V. OSWALD, L.S. SEAL

OWNER CONSENT
 THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.
 OWNER _____ DATE _____

OWNER/APPLICANT
 O'DONNELL FAMILY LIMITED PARTNERSHIP
 640 WHEELER HILL ROAD,
 WAPPINGER FALLS NY 12590

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

- "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDEC
- "RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (TEN STATES);"
- "RECOMMENDED STANDARDS FOR WATER WORKS, (TEN STATES);"
- "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."
- "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."
- "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."

THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND WATER SUPPLY FACILITIES.

UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC EHS BY THE NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC EHS.

APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE SEWAGE COLLECTION SYSTEM.

ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE SEWAGE COLLECTION SYSTEM.

ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORM WATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.

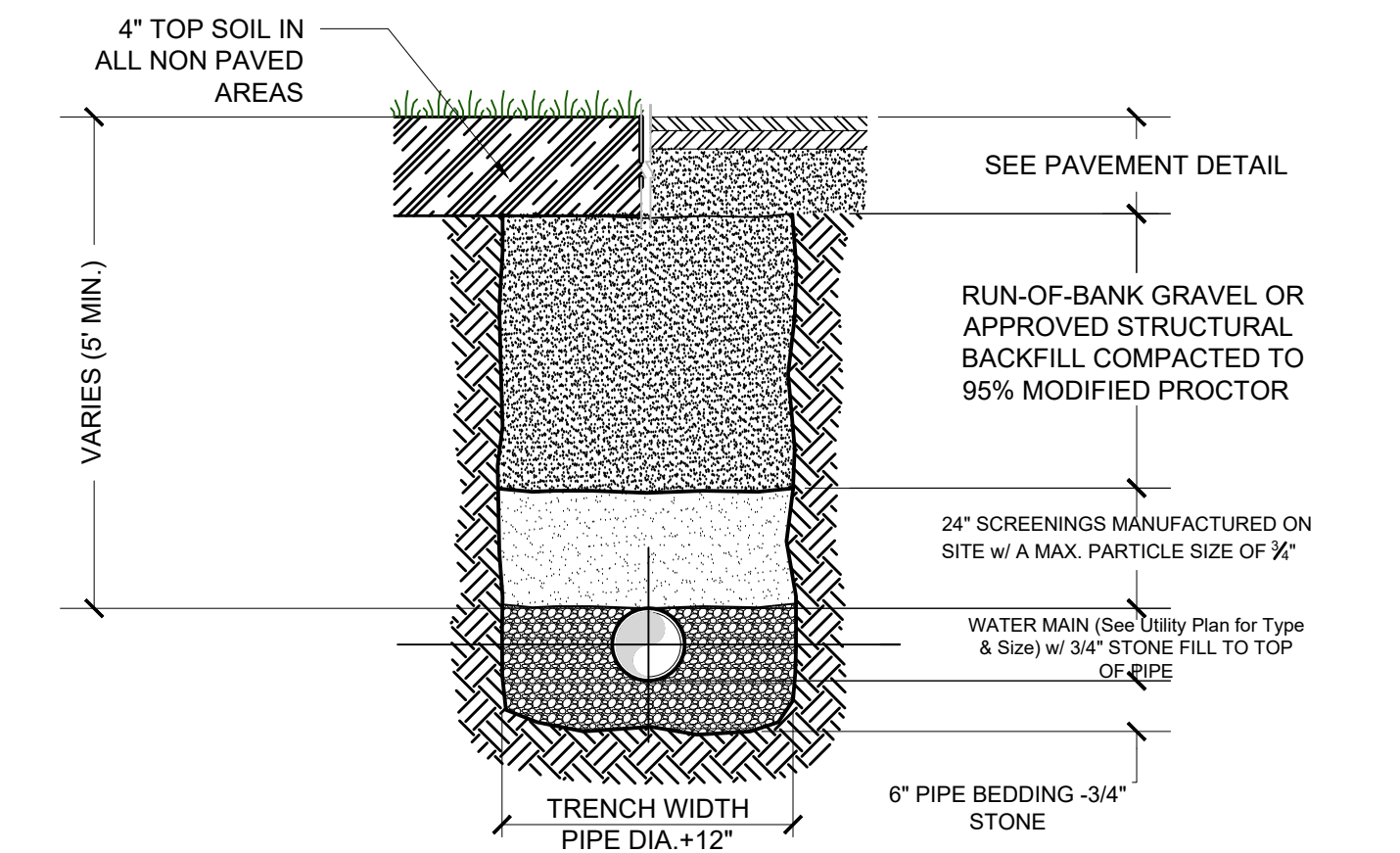
THE DC EHS SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE-APPROVAL BY THE DC EHS.

NO BUILDINGS ARE TO BE OCCUPIED AND THE NEW WATER SYSTEM SHALL NOT BE PLACED INTO SERVICE, UNTIL A "COMPLETED WORKS APPROVAL" IS ISSUED UNDER SECTION 5-1.22(D) OF PART 5 OF THE NEW YORK STATE SANITARY CODE (10NYCRR5).

NO BUILDINGS ARE TO BE OCCUPIED AND THE NEW WASTEWATER COLLECTION SYSTEM SHALL NOT BE PLACED INTO SERVICE UNTIL A "CERTIFICATE OF CONSTRUCTION COMPLIANCE" IS ISSUED UNDER SECTION 19.7 OF ARTICLE 19 OF THE DUTCHESS COUNTY SANITARY CODE.

ALL SERVICE LINES ARE THE RESPONSIBILITY OF THE OWNER UP TO THE PROPERTY LINE. THE WATER AND SEWER COMPANIES SHALL BE RESPONSIBLE FOR ALL VALVES AND PIPES WHICH ARE NOT ON THE OWNER'S PROPERTY.

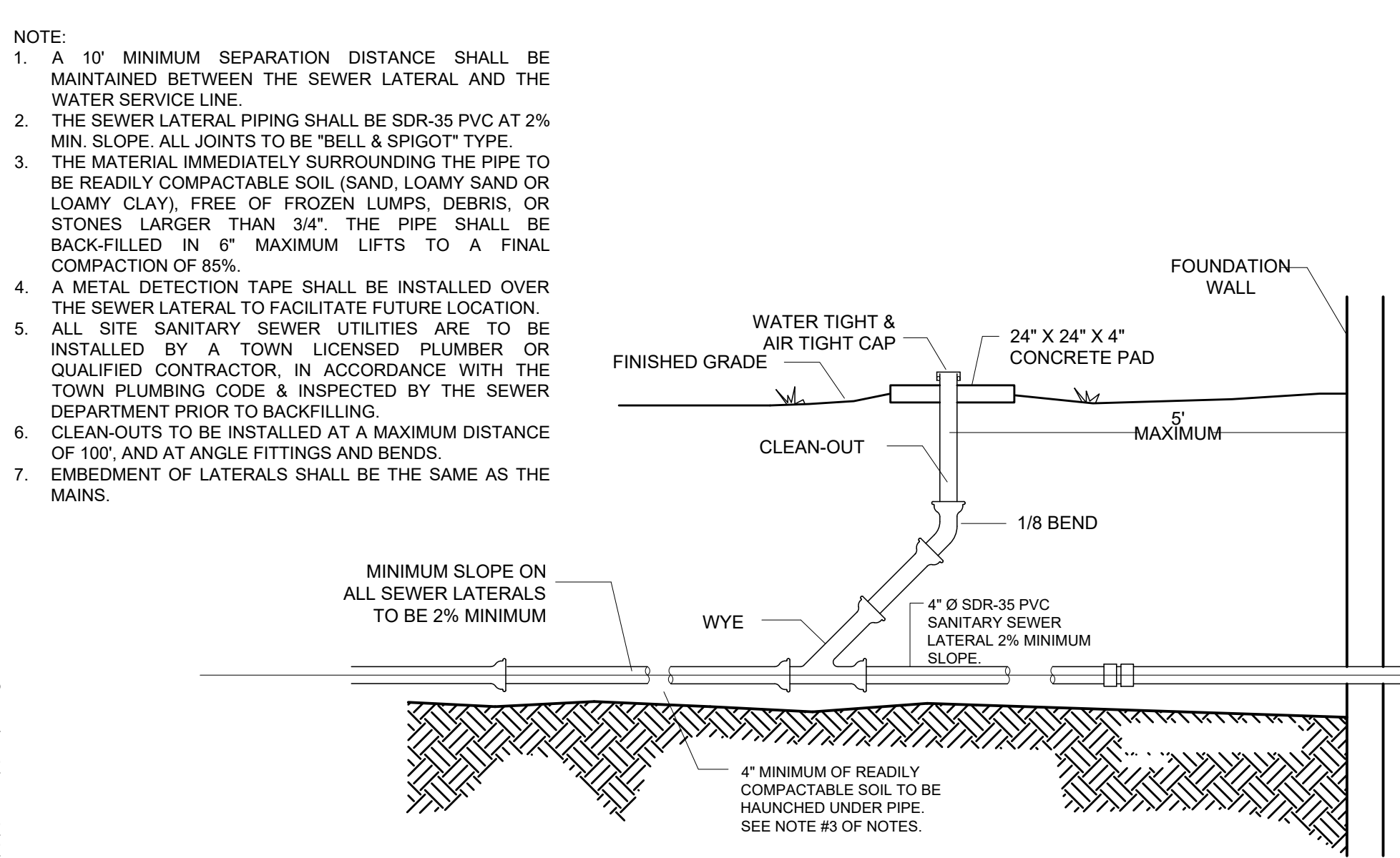
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREOF STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON



- CONSTRUCTION NOTES:
1. PIPE & FITTINGS SHALL MEET ASTM D2729-11 SPECIFICATIONS.
 2. FILL OR BACKFILL MATERIAL SHALL BE DEPOSITED IN 12" LIFTS. EACH LIFT SHALL BE COMPACTED TO 95% STANDARD PROCTOR PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
 3. BACKFILLING AROUND PIPES SHALL BE DONE UNIFORMLY ON EACH SIDE OF THE PIPE. BACKFILL MATERIAL SHALL BE 3/4" CRUSHED STONE.
 4. ALL SITE SANITARY SEWER UTILITIES ARE TO BE INSTALLED BY A QUALIFIED CONTRACTOR & INSPECTED BY THE DESIGN ENGINEER PRIOR TO BACKFILLING.
 5. THOROUGHLY CLEAN ALL SANITARY SEWER MAINS PRIOR TO ACCEPTANCE TESTING.
 6. IN THE EVENT THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, THE CONTRACTOR SHALL LINE THE TRENCH WITH FILTER FABRIC & BED THE PIPE IN 3/4" CRUSHED STONE INSIDE THE FILTER FABRIC AT THE DISCRETION OF THE SUPERINTENDENT OF SEWERS.
 7. BACKFILL MATERIAL SHALL BE FREE FROM ORGANICS, BOULDERS, FROZEN SOILS OR OTHER DELETERIOUS MATERIAL.

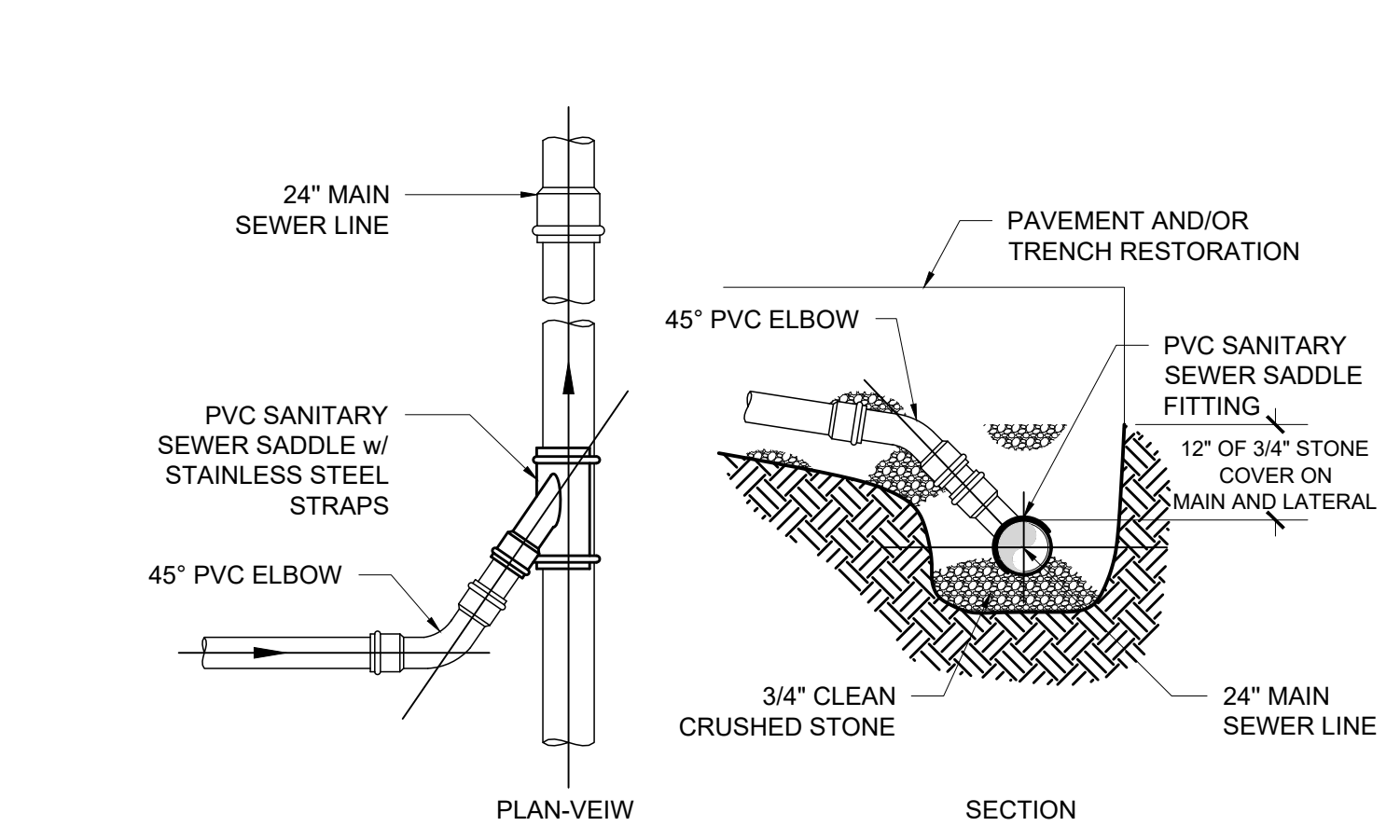
2 SEWER TRENCH DETAIL

NOT TO SCALE



3 TYPICAL HOUSE SANITARY SEWER LATERAL DETAIL

NOT TO SCALE

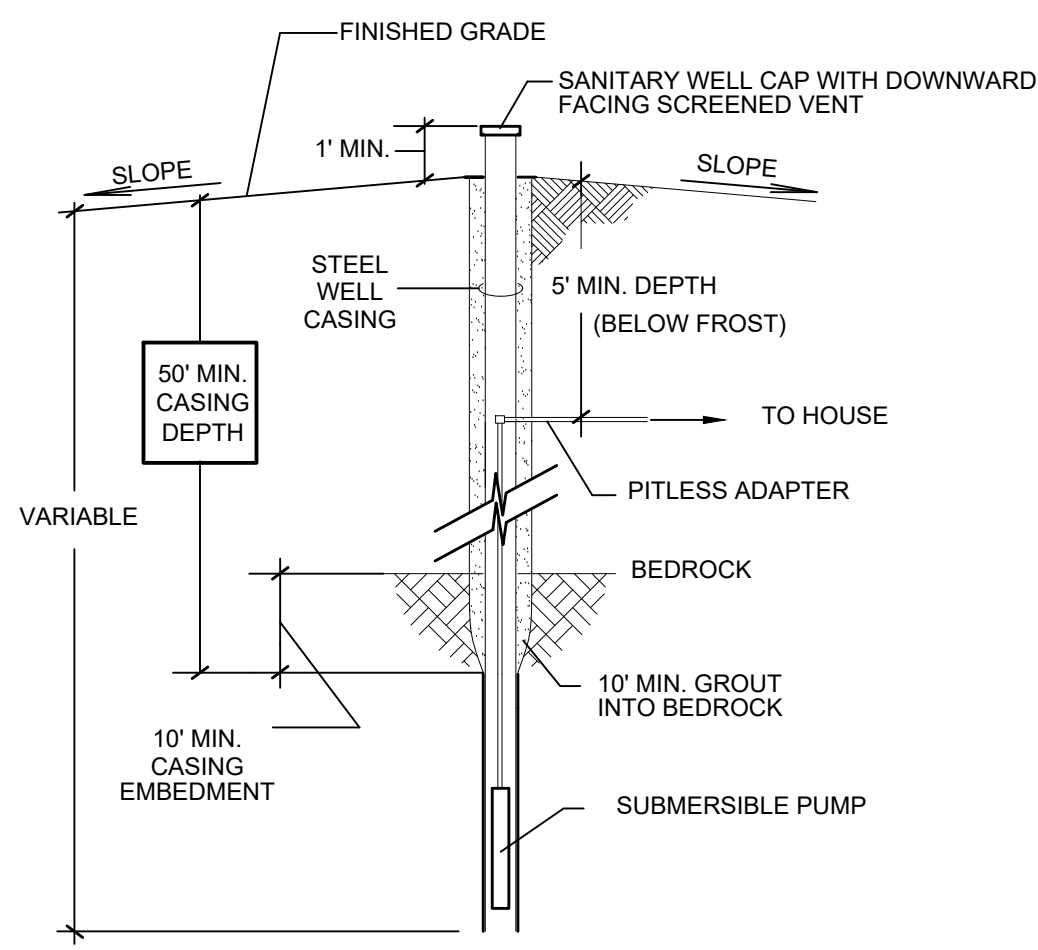


- NOTES:
1. FIELD LOCATION AND ALIGNMENT OF NEW SADDLE TO BE APPROVED BY CAMO PRIOR TO CUTTING EXISTING SANITARY SEWER MAIN.
 2. NEW PVC SADDLE ON SANITARY SEWER MAIN IN ACCORDANCE WITH SADDLE MANUFACTURER'S REQUIREMENT, TOWN OF WAPPINGER SEWER CODE AND TEN STATE STANDARDS

4 SANITARY SEWER LATERAL CUT-IN DETAIL

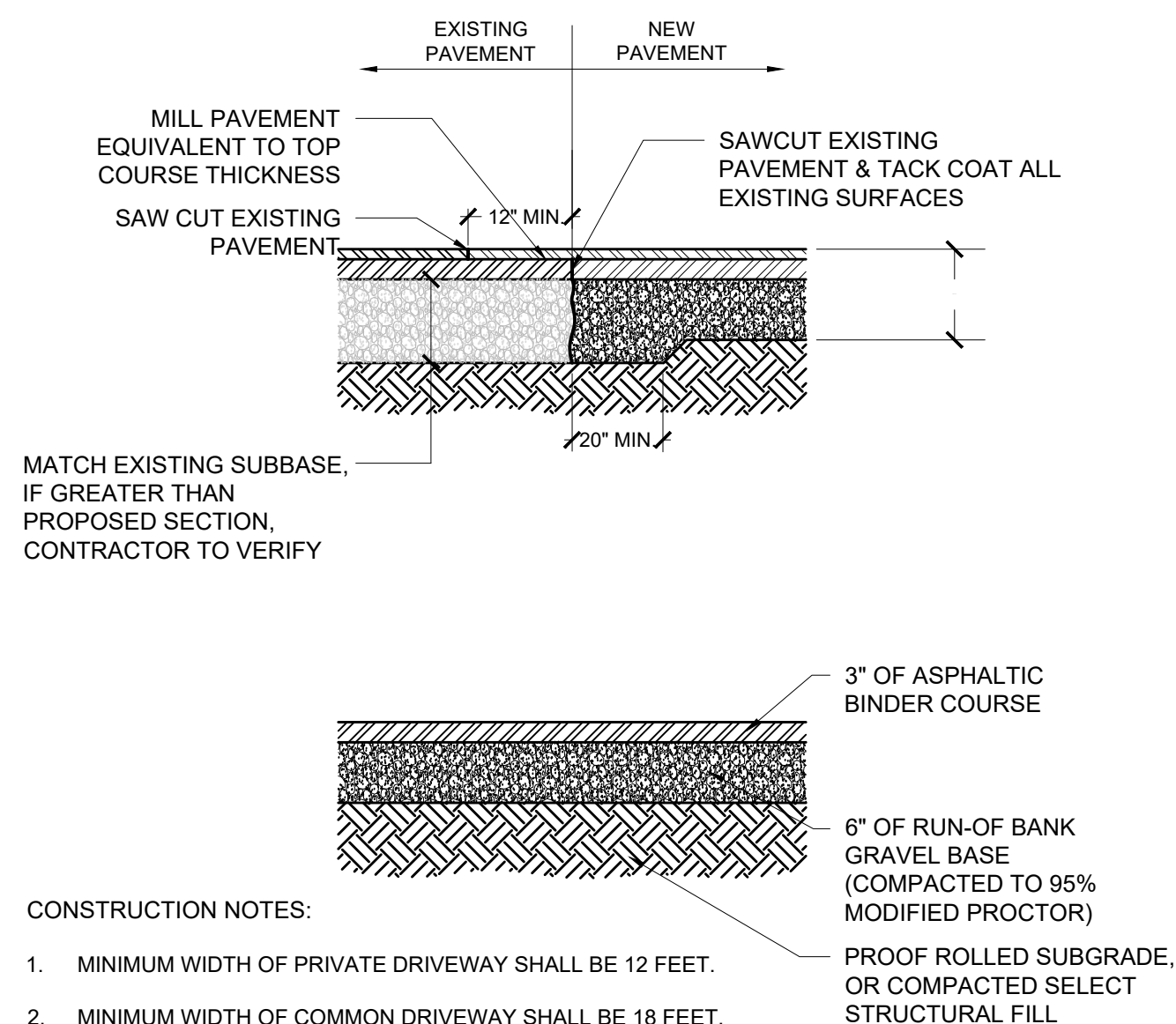
NOT TO SCALE

1 DUTCHESS COUNTY DEPARTMENT OF HEALTH STANDARD NOTE FOR PROJECTS w/CENTRAL WATER & SEWER



- CONSTRUCTION NOTES:
1. WELL TO BE INSTALLED PER THE REQUIREMENTS OF 5-B 10NYCRR

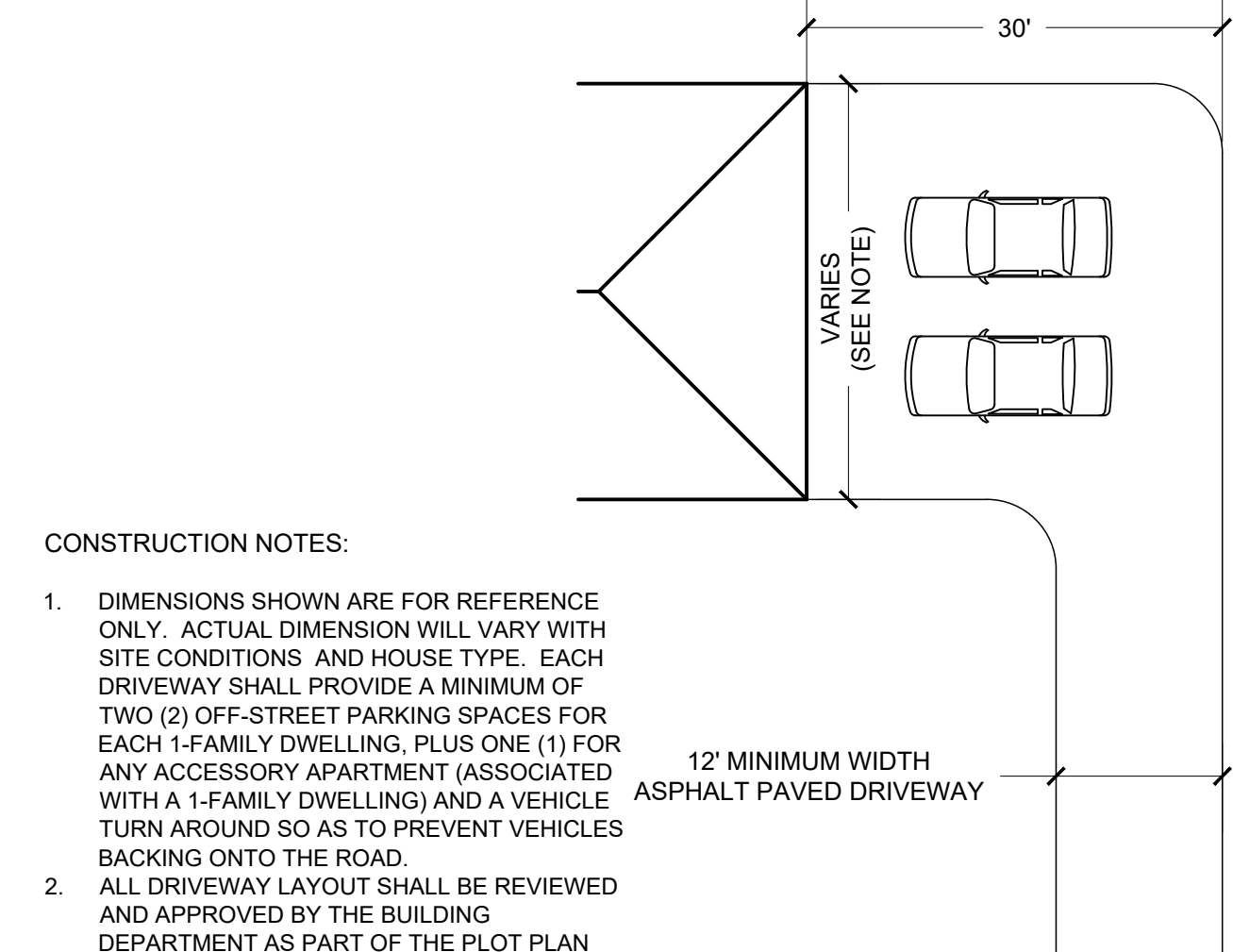
5 TRYPICAL WELL DETAIL



- CONSTRUCTION NOTES:
1. MINIMUM WIDTH OF PRIVATE DRIVEWAY SHALL BE 12 FEET.
 2. MINIMUM WIDTH OF COMMON DRIVEWAY SHALL BE 18 FEET.
 3. ALL DRIVEWAYS SHALL BE PAVED PER TOWN CODE

6 TYPICAL DRIVEWAY DETAIL

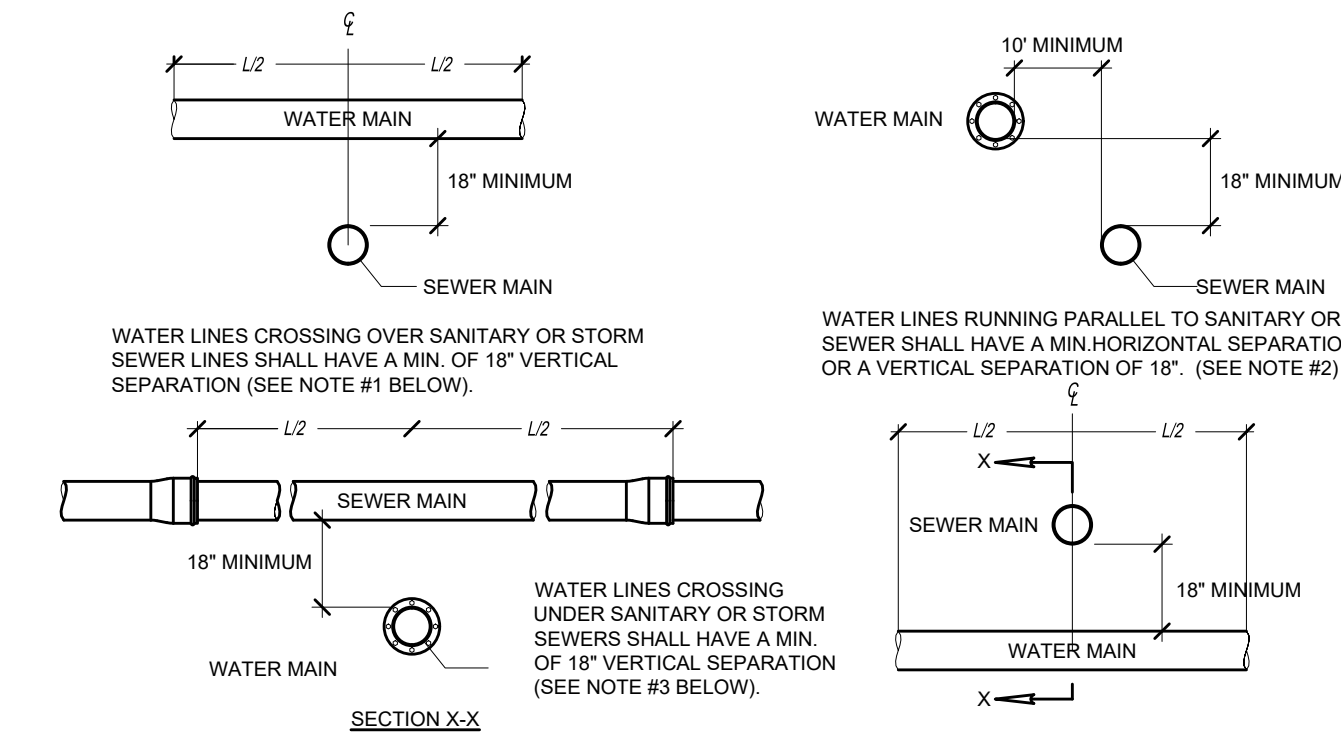
NOT TO SCALE



- CONSTRUCTION NOTES:
1. DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. ACTUAL DIMENSION WILL VARY WITH SITE CONDITIONS AND HOUSE TYPE. EACH DRIVEWAY SHALL PROVIDE A MINIMUM OF TWO (2) OFF-STREET PARKING SPACES FOR EACH 1-FAMILY DWELLING, PLUS ONE (1) FOR ANY ACCESSORY APARTMENT (ASSOCIATED WITH A 1-FAMILY DWELLING) AND A VEHICLE TURN AROUND SO AS TO PREVENT VEHICLES BACKING ONTO THE ROAD.
 2. ALL DRIVEWAY LAYOUT SHALL BE REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT AS PART OF THE PLOT PLAN REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

7 TYPICAL DRIVEWAY LAYOUT

NOT TO SCALE



- NOTES:
1. WATER LINES CROSSING OVER SANITARY OR STORM SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" FROM TOP OF SEWER TO BOTTOM OF WATER LINE.
 2. WATER LINES RUNNING PARALLEL TO SANITARY OR STORM SEWERS SHALL HAVE A MINIMUM OF 10' HORIZONTAL SEPARATION. WHEN 10' OF HORIZONTAL SEPARATION CANNOT BE MAINTAINED, A MINIMUM OF 18" VERTICAL SEPARATION FROM THE BOTTOM OF THE WATER MAIN AND TOP OF SEWER SHALL BE MAINTAINED PROVIDED THAT THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER. SANITARY SEWERS LOCATED NEARER THAN THIS MINIMUM SEPARATION REQUIREMENT SHALL BE WATER WORKS GRADE 150 PSI PRESSURE PIPE MEETING AWWA STANDARDS OR PIPE APPROVED BY THE APPROVING AUTHORITY AND PRESSURE TESTED TO ENSURE WATER TIGHTNESS.
 3. WATER LINES CROSSING UNDER SANITARY OR STORM SEWERS SHALL HAVE THE FOLLOWING:
 - A. A MINIMUM VERTICAL SEPARATION OF 18" FROM THE TOP OF THE WATER MAIN TO THE BOTTOM OF THE SEWER LINE (UNLESS OTHERWISE SHOWN).
 - B. ADDITIONAL STRUCTURAL SUPPORT FOR THE SEWER TO PREVENT DEFLECTION OF THE SEWER LINE.
 - C. AN 18" FOOT MINIMUM LENGTH OF SEWER PIPE CENTERED OVER THE POINT WHERE THE SEWER LINE CROSSES OVER THE WATER MAIN SO THAT THE JOINTS OF THE SEWER MAIN ARE EQUIDISTANT FROM THE CENTERLINE OF THE WATER MAIN.
 4. WHERE WATER AND SEWER SEPARATION CANNOT BE MAINTAINED IN ACCORDANCE WITH THIS DETAIL, OR INSTANCES WHERE IT IS OTHERWISE SPECIFIED AND APPROVED IN THIS PLAN SET, UTILITY ENCASEMENT (K-RETE OR PIPE SLEEVE) SHALL BE AN ACCEPTABLE MEANS TO MITIGATE THE INABILITY TO PROVIDE SAID MINIMUM HORIZONTAL AND/OR VERTICAL SEPARATION.
 5. ALL INSTANCES WHERE MITIGATION FOR SUBSTANDARD UTILITY SEPARATION IS PROVIDED SHALL BE WITNESSED AND DOCUMENTED BY THE PROFESSIONAL SUPERVISING INSTALLATION AND INCLUDED AS PART OF ANY REQUIRED CERTIFICATION OF COMPLETED WORKS AND AS-BUILT SURVEY.

8 WATER & SEWER SEPARATION

NOT TO SCALE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE	
Project No.	2025.390
License No.	083970

DAY STOKOSA ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

O'DONNELL FLP SUBDIVISION

Town of Wappinger Dutchess County, New York

CONSTRUCTION DETAILS

SCALE	Drawn BY	Checked BY
No Scale	BJS	
DATE	Drawn BY	Checked BY
9-2-25	BJS	

3

3 of 5

TOWN OF WAPPINGERS PLANNING BOARD

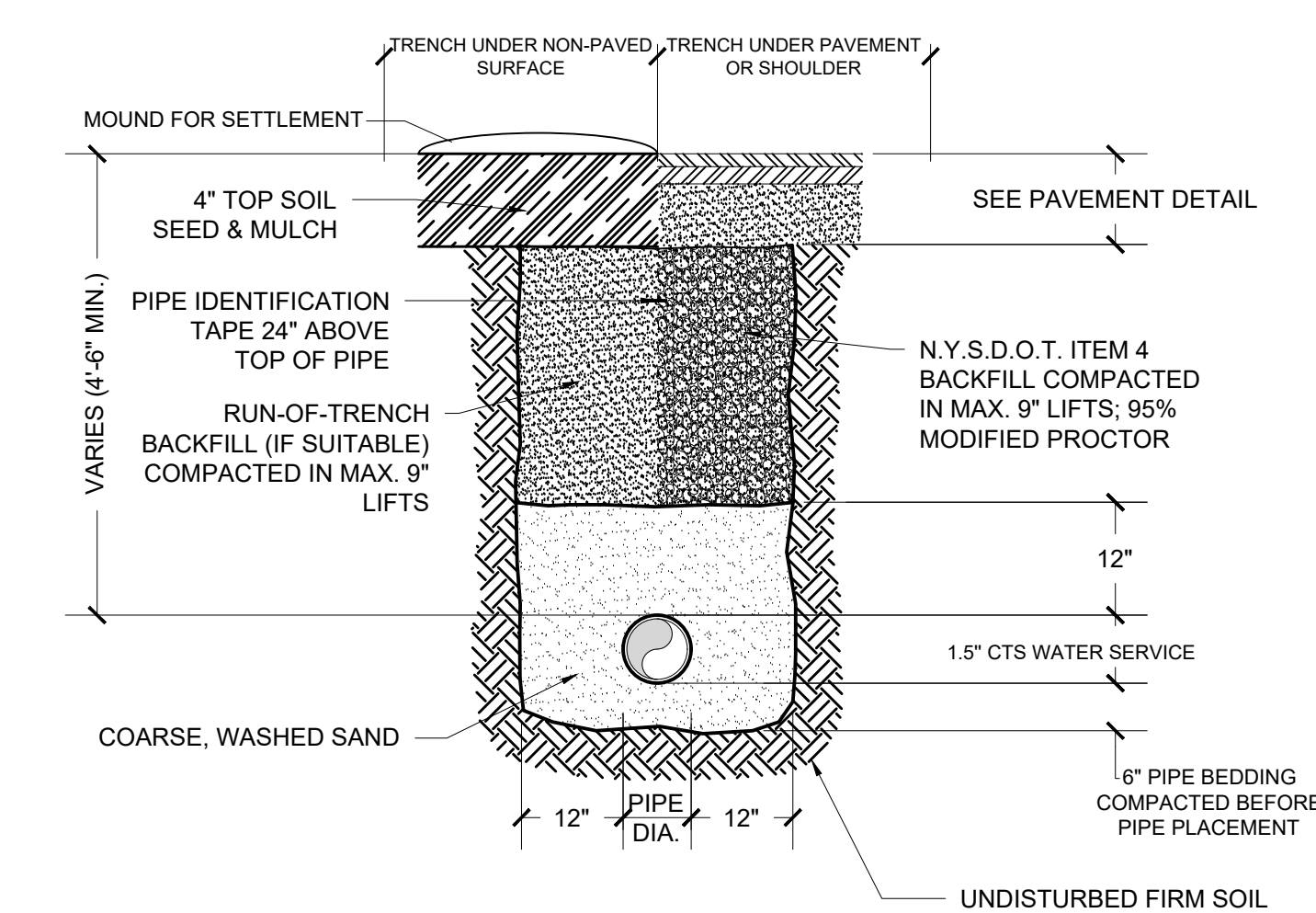
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGERS FALLS, NEW YORK ON THE _____ DAY OF _____, 2025 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.

TOWN OF WAPPINGERS FALLS PLANNING BOARD

SIGNED THIS _____ DAY OF _____, 2025

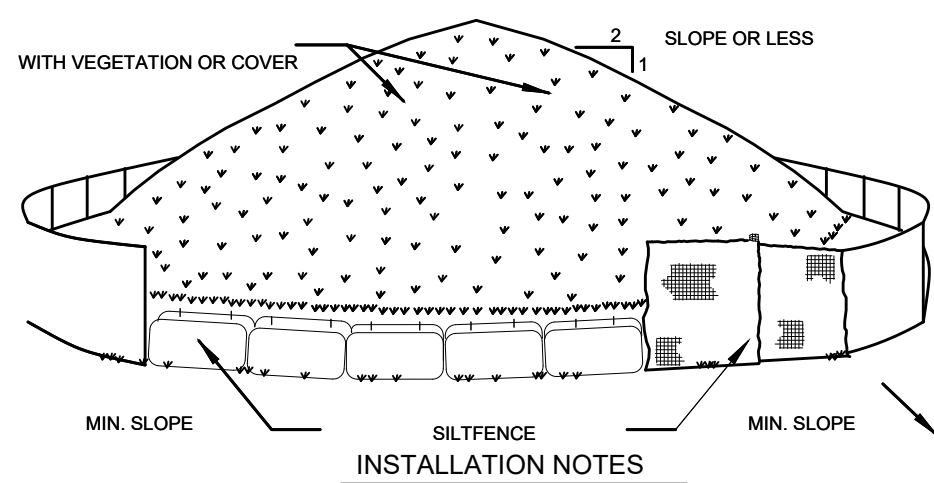
TOWN OF WAPPINGER PLANNING BOARD CHAIR

5 TYPICAL WATER SERVICE DETAIL

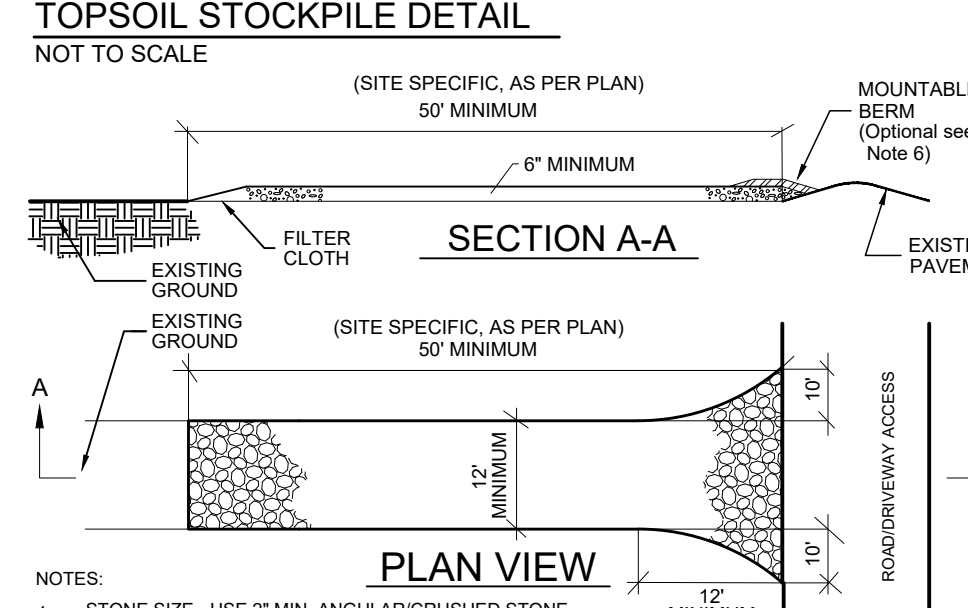


CONSTRUCTION SEQUENCE

- PRE-CONSTRUCTION SEQUENCE:**
- HOLD A PRE-CONSTRUCTION MEETING WITH THE SITE ENGINEER, CONTRACTOR, TOWN STORMWATER MANAGEMENT OFFICER.
- CONSTRUCTION SEQUENCE:**
- A NYSDDEC CONSTRUCTION ACTIVITY PERMIT IS NOT REQUIRED PRIOR TO CONSTRUCTION AS DISTURBANCE IS LESS THAN 1.0 AC.
 - INSTALL AND STABILIZE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN.
 - CONFIRM UTILITY LOCATIONS. CALL 1-800-962-7962 OR VISIT WWW.DIGSAFE.NY.GOV.
 - OBTAIN INDIVIDUAL LOT PLAN APPROVAL FROM THE TOWN OF EAST FISHKILL BUILDING DEPARTMENT FOR INDIVIDUAL LOT CONSTRUCTION.
 - INSTALL SILT FENCE AS SHOWN.
 - ROUGH GRADE EACH DRIVEWAY AND INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AT THE PROPOSED DRIVEWAY ENTRANCE UNDER CONSTRUCTION.
 - CONSTRUCT INDIVIDUAL LOTS AS SHOWN ON THE APPROVED PLOT PLAN. ALL OTHER ITEMS (WELL, AND SEWER INSTALL) AS NECESSARY PER THE APPROVED PLANS. FOLLOW ALL ENVIRONMENTAL PROCEDURES ON THE FILED MAP AND PLOT PLAN.
 - UPON COMPLETION OF FINAL GRADING OF ANY AREA, SEED AND STABILIZE.
 - ONCE THE SITE IS STABILIZED, REMOVE ANY ACCUMULATED SEDIMENT FROM SEDIMENT TRAPS IF INSTALLED.
 - TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS THAT HAVE OBTAINED FINISHED GRADE ELEVATIONS.
 - SEED AND MULCH ALL DISTURBED AREAS THAT WILL NOT BE RE-DISTURBED FOR AT LEAST 14 DAYS.
 - FINALIZE BUILDING CONSTRUCTION.
 - OBTAIN C.O. FROM THE TOWN BUILDING DEPARTMENT.



- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION.



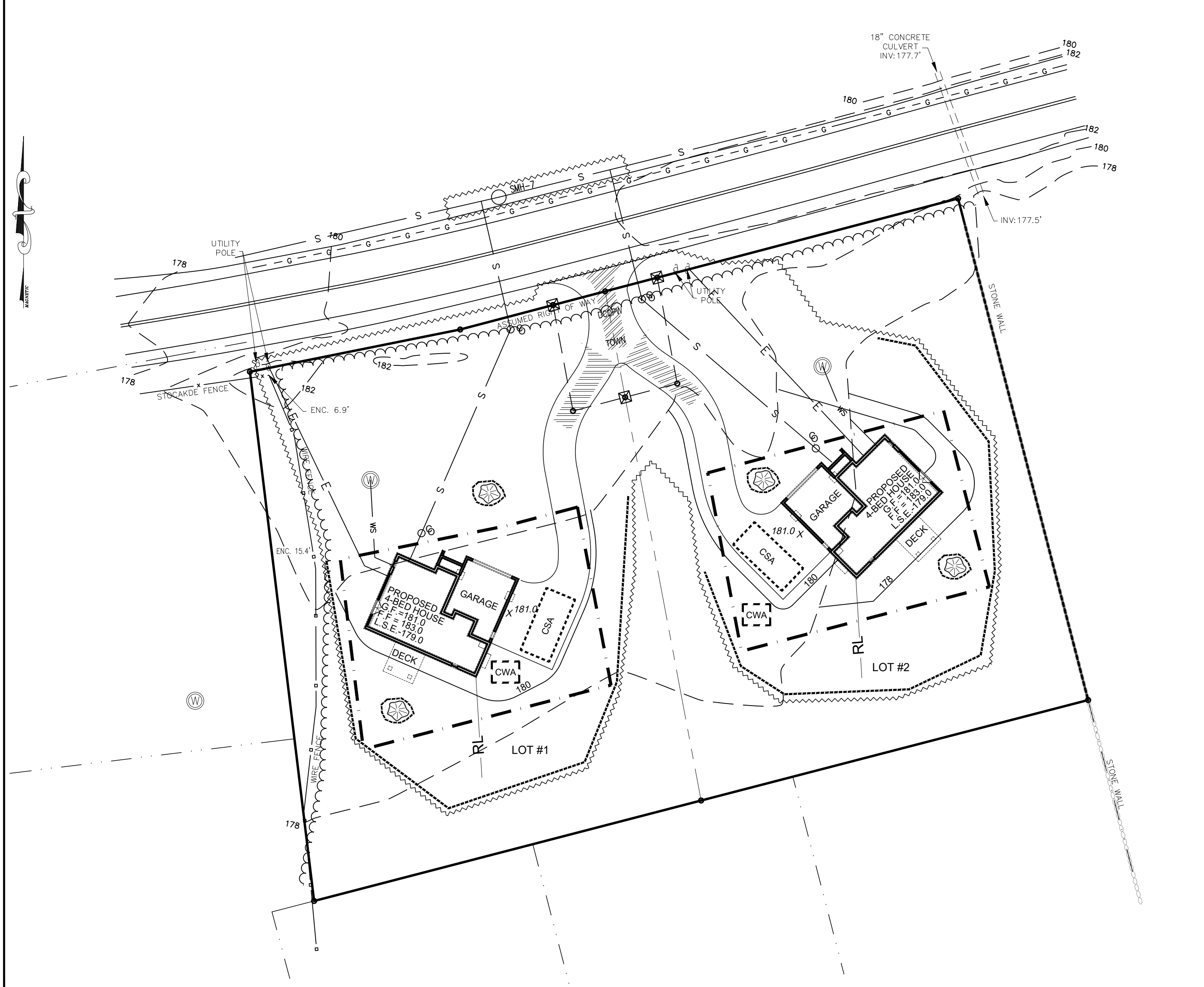
- NOTES:**
- STONE SIZE - USE 2" MIN. ANGULAR/CRUSHED STONE.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

CONSTRUCTION EROSION CONTROL MAINTENANCE SCHEDULE (ALL PHASES):

STRUCTURE	INSPECTION	MAINTENANCE REQUIRED	STRUCTURE TYPE
SILT FENCE	WEEKLY	REPAIR, REPLACE	TEMPORARY
STABILIZED CONSTRUCTION ENTRANCE	DAILY	REPAIR, REPLACE	TEMPORARY
LITTER	DAILY	PICK UP	-
CHECK DAM	WEEKLY	REPAIR	TEMPORARY
DUST	DAILY	SPRAYING, SWEEPING	-
RIPRAP OUTLET	WEEKLY	REPAIR	PERMANENT
VEGETATION ESTABLISHMENT	WEEKLY	WATERING, SEEDING	PERMANENT
SITE DISTURBANCE PLAN UPDATE	WEEKLY	UPDATE DISTURBANCE AREA	-

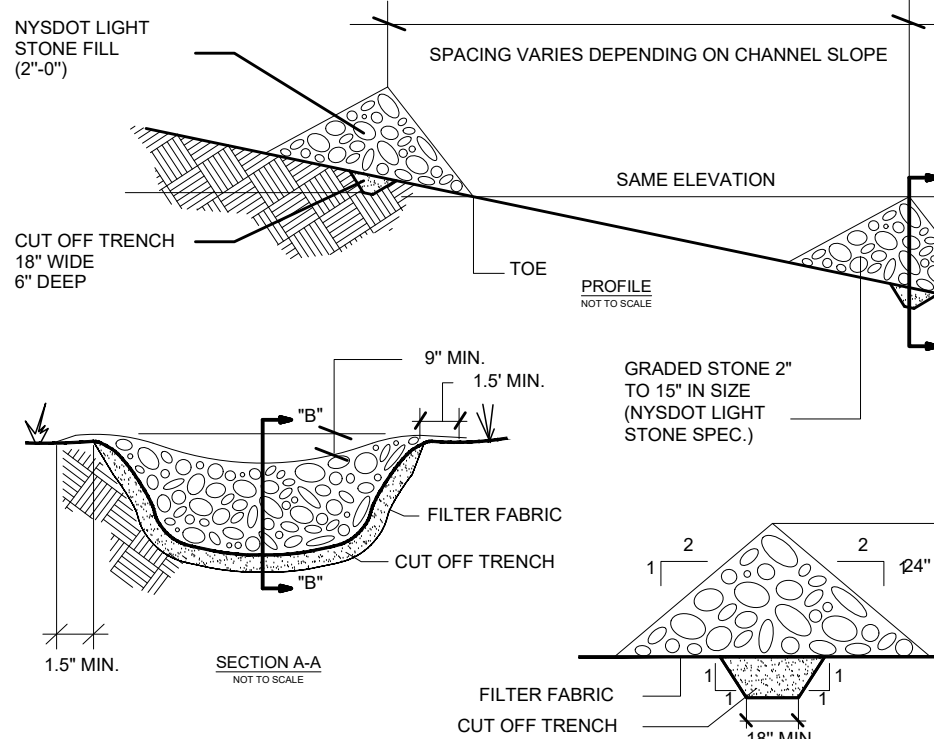
REFER TO CONSTRUCTION SEQUENCE FOR ADDITIONAL INFORMATION



CONSTRUCTION SPECIFICATIONS

- THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEARS, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN EARTHEN BERM, SAND BAGS, STONE, OR OTHER STRUCTURAL APPURTENANCE EXCEPT AT THE ACCESS POINT.
- LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS. PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD. PROVIDE APPROPRIATE ACCESS WITH A GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.
- ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. EXCESS WASHWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA, SUCH AS A GRASS FILTER STRIP.
- ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
- DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPREADER, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH/FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
- THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

CONCRETE TRUCK WASHOUT DETAIL
NOT TO SCALE

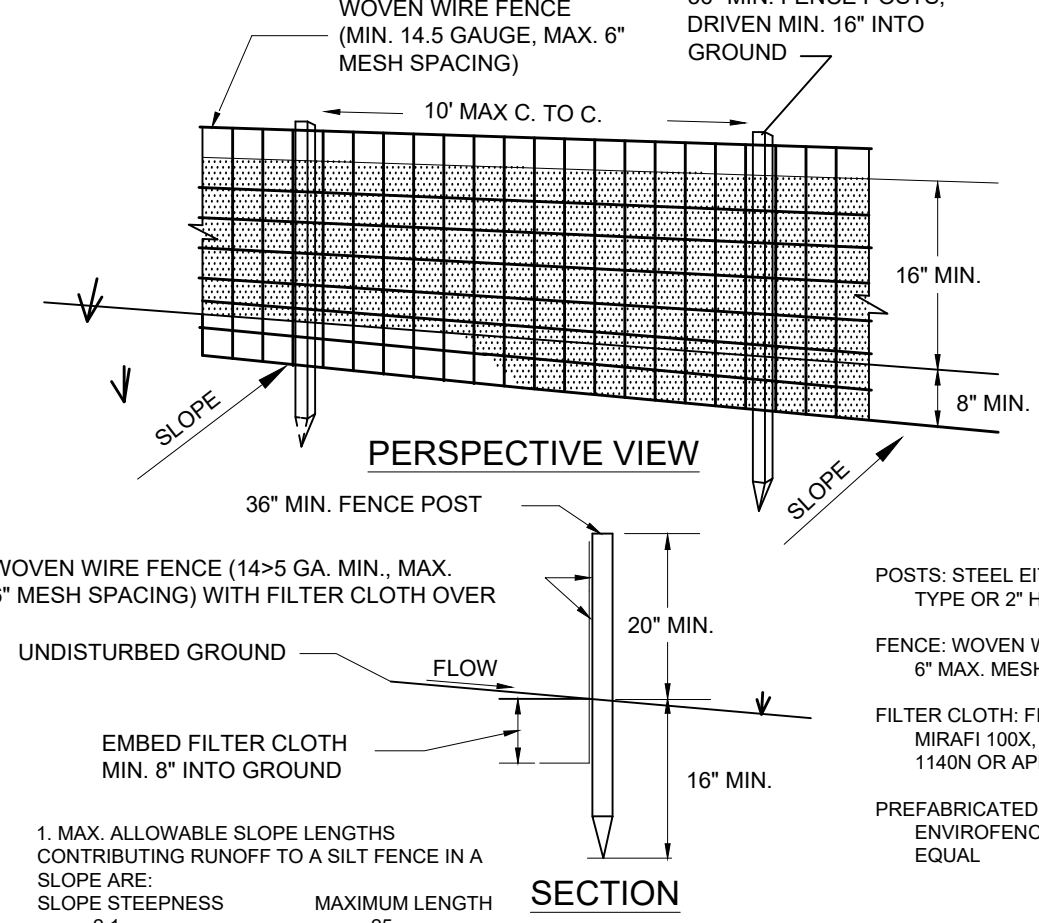
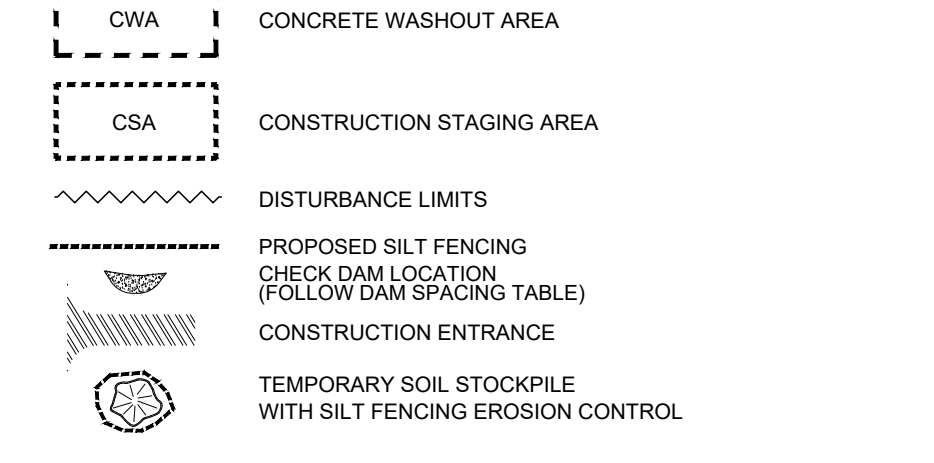


CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON THIS PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWN STREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT RUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THE CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
- CHECK DAMS SHALL BE INSPECTED AFTER EACH RUNOFF EVENT AND ALL DAMAGE THAT OCCURS SHALL BE CORRECTED IMMEDIATELY.
- REMOVE SEDIMENT ACCUMULATION BEHIND THE CHECK DAMS REQUIRED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM.

TYPICAL CHECK DAM DETAIL
NOT TO SCALE

SEDIMENT & EROSION PLAN LEGEND



1. MAX. ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SILT FENCE IN A SLOPE ARE:

SLOPE STEEPNESS	MAXIMUM LENGTH
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

2. MAX. DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1 ACRE PER 100' OF FENCE, WITH MAXIMUM PONDING DEPTH OF 1.8 BEHIND THE FENCE.

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1/2 OR U TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIRONMENT, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

SILT FENCING DETAIL
NOT TO SCALE

EROSION AND SEDIMENT CONTROL MEASURES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" AUGUST 2016.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
- SEEDING AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER. SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE BLANKET AND EROSION PROBLEMS.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

SEEDING NOTES:

- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS SEED MIX AS REQUIRED:
- TEMPORARY SEEDING - SUMMER SEASON - GERMAN MILLET @ 40 LBS PER ACRE WINTER SEASON - RYE GRASS @ 120 LBS PER ACRE
- PERMANENT SEEDING - SPRING/FALL TALL FESCUE @ 100 LBS PER ACRE, KOBE LESPEDEZA @ 10 LBS PER ACRE BARRIKRASS @ 25 LBS PER ACRE, RYE GRASS @ 40 LBS PER ACRE
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF N.Y. STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- SEEDING AREAS SHALL BE MULCHED AS REQUIRED:
- MID-SUMMER, LATE FALL OR WINTER APPLY AT A RATE OF 100 LBS/1,000 SQ.FT. GRAIN STRAW, COVER WITH NETTING AND STAPLE TO THE SLOPE.
- SPRING OR EARLY FALL APPLY AT A RATE OF 45 LBS/1,000 SQ.FT. WOOD FIBER IN A HYDRO SEEDER SLURRY.

TOWN OF WAPPINGERS PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGERS FALLS, NEW YORK ON THE DAY OF 2025 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.

TOWN OF WAPPINGERS FALLS PLANNING BOARD

SIGNED THIS _____ DAY OF _____, 2025

TOWN OF WAPPINGER PLANNING BOARD CHAIR

DESCRIPTION OF EROSION CONTROL PRACTICES

- SILT FENCE** - A TEMPORARY BARRIER OF GEOTEXTILE FABRIC (FILTER CLOTH) USED TO INTERCEPT SEDIMENT LADEN RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. THE PURPOSE OF A SILT FENCE IS TO REDUCE RUNOFF VELOCITY AND EFFECTIVE DEPOSITION OF TRANSPORTED SEDIMENT LOAD. LIMITS IMPOSED BY ULTRAVIOLET STABILITY OF THE FABRIC WILL DICTATE THE MAXIMUM PERIOD THE SILT FENCE MAY BE USED.
- CHECK DAM** - SMALL, TEMPORARY STONE DAMS CONSTRUCTED ACROSS A DRAINAGE WAY. THE PURPOSE IS TO REDUCE EROSION IN A DRAINAGE CHANNEL BY RESTRICTING THE VELOCITY OF FLOW IN THE CHANNEL.
- STABILIZED CONSTRUCTION ENTRANCE** - A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET ALLEY, SIDEWALK OR PARKING. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS.
- DUST CONTROL** - THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES. THE PURPOSE IS TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.

LANDGRADING SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEANED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPILL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE



DAY STOKOSA ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

ODONNELL FLP SUBDIVISION

Town of Wappinger Dutchess County, New York

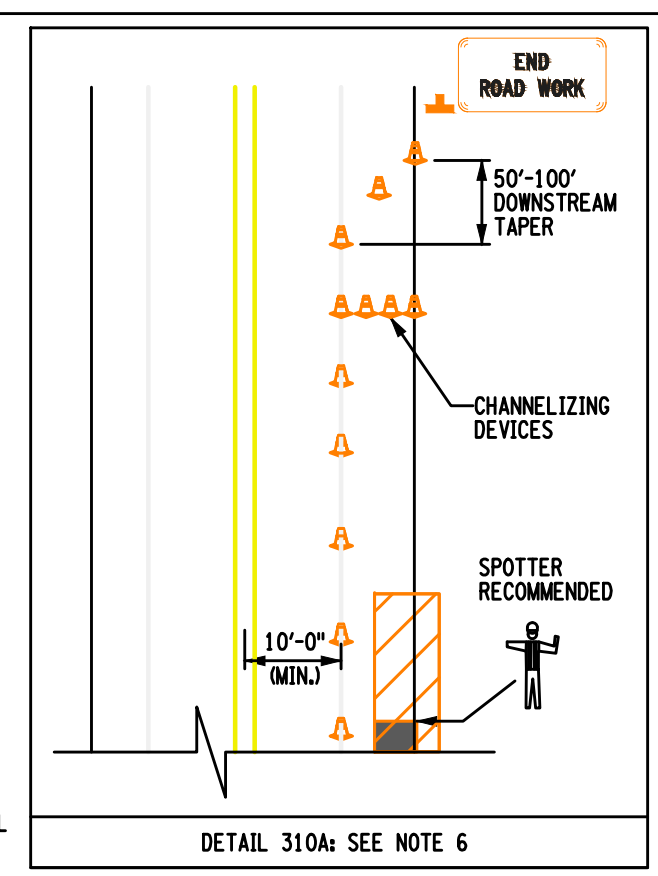
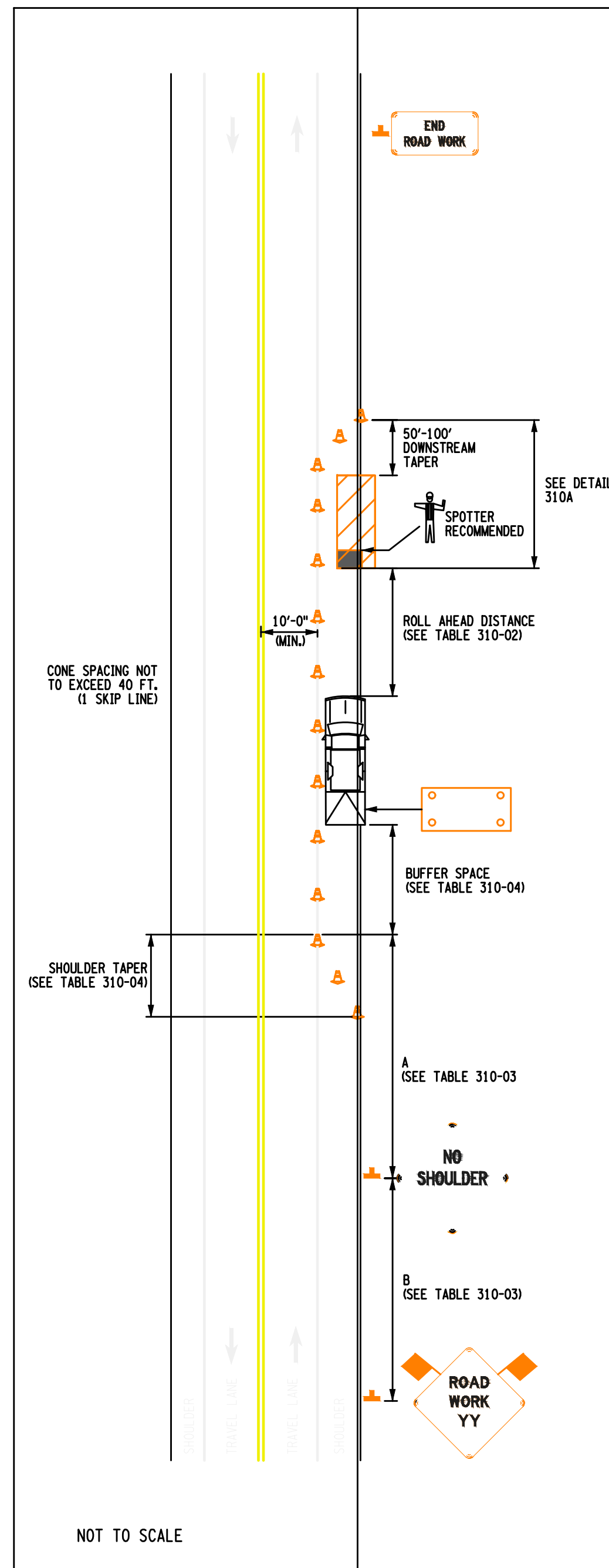
EROSION & SEDIMENT CONTROL PLAN

SCALE	DRAWN BY	DESIGNED BY
No Scale	BJS	
DATE	DRAWN BY	DESIGNED BY
9-2-25	BJS	

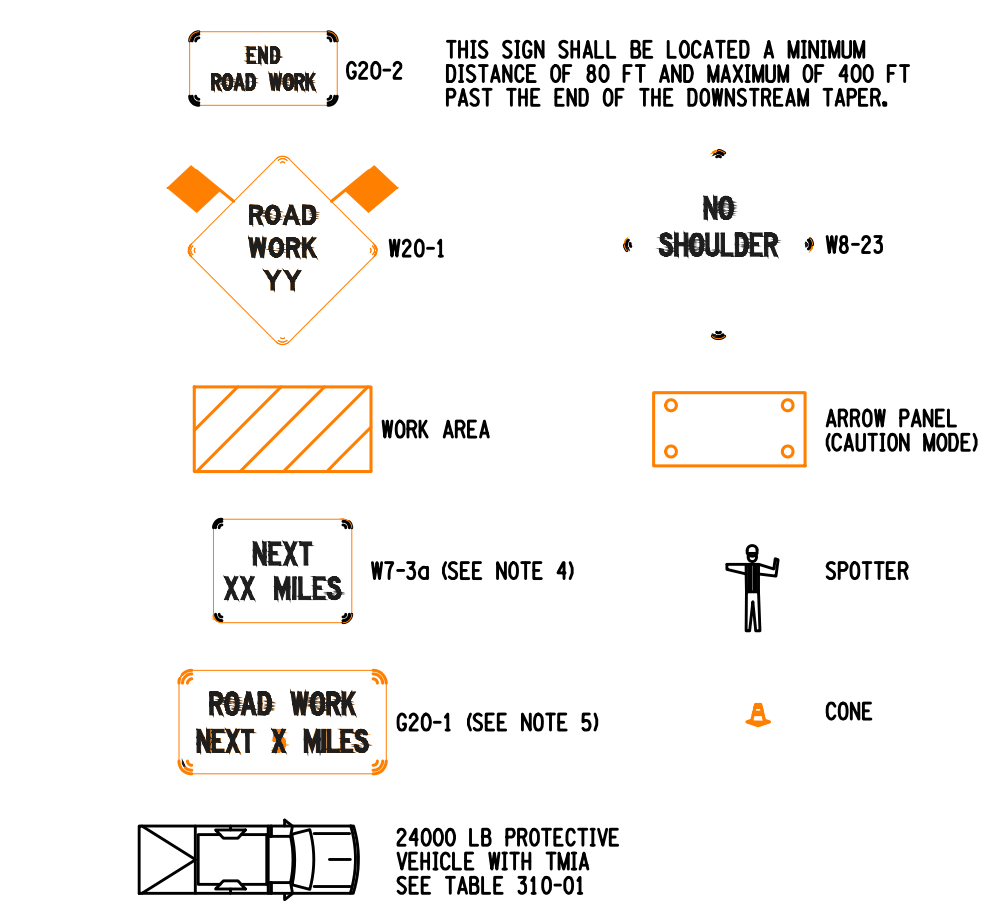
4

4 of 5

EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 30'



- NOTES:
1. SHORT-TERM STATIONARY IS DAYTIME WORK THAT OCCUPIES A LOCATION FOR MORE THAN 1 HOUR WITHIN A SINGLE DAYLIGHT PERIOD.
 2. THE PROTECTIVE VEHICLE(S) SHALL MAINTAIN THE APPROPRIATE ROLL AHEAD DISTANCE, BE AN UNOCCUPIED TRUCK POSITIONED PARALLEL TO TRAFFIC, PARKING BRAKE SET, PLACED IN 2ND GEAR (MANUAL TRANSMISSIONS / ENGINE OFF) OR PARK / NEUTRAL (AUTOMATIC TRANSMISSIONS) AND HAVE THE FRONT WHEELS ALIGNED WITH THE LANE STRIPING.
 3. THERE SHALL BE NO WORKERS, EQUIPMENT OR OTHER VEHICLES IN THE BUFFER SPACE OR THE ROLL AHEAD DISTANCE.
 4. XX IS THE EXPECTED OVERALL LENGTH OF THE OPERATION TO BE COMPLETED WITHIN THE WORK DAY. A SUPPLEMENTAL DISTANCE PLAQUE W7-3a SHALL BE USED WITH SIGN W20-1 WHEN THE DISTANCE BETWEEN THE ADVANCE WARNING SIGNS AND WORK MAY BECOME GREATER THAN 2 MILES AS A RESULT OF THE FOLLOWING SITUATIONS:
 *MULTIPLE WORK LOCATIONS ARE ANTICIPATED WITHIN XX MILES FROM THE W20-1 SIGN
 *WORK AREA WILL BE RELOCATED DURING THE DURATION OF THE WORK WITHIN XX MILES FROM THE W20-1 SIGN.
 THE SUPPLEMENTAL SIGN W7-3a SHALL INDICATE THE MAXIMUM ANTICIPATED DISTANCE BETWEEN THE W20-1 SIGN AND THE FARTHEST WORK LOCATION.
 5. WHEN MULTIPLE WORK LOCATIONS EXIST WITHIN XX MILES FROM THE W20-1 SIGN, A G20-1 SIGN SHALL BE PLACED EVERY TWO MILES INDICATING THE DISTANCE FROM THE SIGN TO THE FARTHEST WORK LOCATION.
 6. CHANNELIZING DEVICES SHALL BE PLACED TRANSVERSELY A MINIMUM OF EVERY 800' AS SHOWN WHEN A PAVED SHOULDER HAVING A WIDTH OF 8' OR GREATER IS CLOSED FOR A DISTANCE GREATER THAN 800'.
 7. IN URBAN CONDITIONS, ADVANCE WARNING SIGN SPACINGS MAY BE ADJUSTED IN ORDER TO ACCOMMODATE SIDE STREETS AND DRIVEWAYS. IF THERE IS A CONFLICT, MOVE THE SIGN UPSTREAM.



CLOSURE TYPE	ROAD TYPE & SPEED	NON-FREEWAY		
		≥ 45 MPH	35 - 40 MPH	≤ 30 MPH
LANE CLOSURE OR ENCROACHMENT	EXPOSURE CONDITIONS ¹			
	WORKERS ON FOOT OR VEHICLE EXPOSED TO TRAFFIC	P, TMA	P, TMA	P
SHOULDER CLOSURE OR ENCROACHMENT	OTHER HAZARDS NO WORKERS EXPOSED	P, TMA	P	SEE NOTE 2
	WORKERS ON FOOT OR VEHICLE EXPOSED TO TRAFFIC	P, TMA	P	P
	OTHER HAZARDS NO WORKERS EXPOSED	P, TMA	P	SEE NOTE 2

LEGEND
 P: PROTECTIVE VEHICLE REQUIRED FOR EACH CLOSED LANE & EACH CLOSED PAVED SHOULDER 8' OR WIDER. IF THE WORK SPACE MOVES WITHIN THE STATIONARY CLOSURE, THE PROTECTIVE VEHICLE SHALL BE REPOSITIONED ACCORDINGLY.
 TMA: TMA REQUIRED

NOTES:
 1. THE EXPOSURE CONDITIONS ASSUMES THERE IS NO POSITIVE PROTECTION PRESENT
 2. EITHER A PROTECTIVE VEHICLE OR THE STANDARD BUFFER SPACE SHALL BE PROVIDED

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	STATIONARY OPERATION	
	MIN	MAX
≥ 55	120/3	200/5
45 - 50	80/2	160/4
≤ 40	40/1	120/3

ROAD TYPE	DISTANCE BETWEEN SIGNS		SIGN LEGEND	
	A (FT.)	B (FT.)	XX	YY
URBAN (≤ 30 MPH)	100	100	AHEAD	AHEAD
URBAN (35-40 MPH)	200	200	AHEAD	AHEAD
URBAN (≥ 45 MPH)	350	350	1000 FT. AHEAD	
RURAL	500	500	1500 FT.	1000 FT.

* PRECONSTRUCTION POSTED SPEED LIMIT

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	LONGITUDINAL BUFFER SPACE DISTANCE (FT.) ¹ * OF SKIP LINES	TAPER LENGTH: L (FT.) ² * OF SKIP LINES/ ³ * OF CHANNELIZING DEVICES			SHOULDER TAPER LENGTH: L/3 (FT.) ² * OF SKIP LINES/ ³ * OF CHANNELIZING DEVICES		
		FOR LANE WIDTH IN FT. (LATERAL SHIFT OF TRAFFIC FLOW PATH)			FOR SHOULDER WIDTH		
		10	11	12	≤ 4 FT.	5 - 7 FT.	≥ 8 FT.
25	155/4	120/3/4	120/3/4	120/3/4	40/1/2	40/1/2	40/1/2
30	200/5	160/4/5	160/4/5	200/5/6	40/1/2	40/1/2	40/1/2
35	250/6	200/5/6	240/6/7	240/6/7	40/1/2	40/1/2	80/2/3
40	305/8	280/7/8	320/8/9	320/8/9	40/1/2	80/2/3	80/2/3
45	360/9	440/11/12	520/13/14	560/14/15	80/2/3	80/2/3	120/3/4
50	425/11	520/13/14	560/14/15	600/15/16	80/2/3	120/3/4	160/4/5
55	495/13	560/14/15	600/15/16	680/17/18	80/2/3	120/3/4	160/4/5

SIGN	NON-FREEWAY	FREEWAY
G20-1	36x18	48x24
G20-2	36x18	48x24
W7-3a	24x18	36x30
W8-23	36x36	48x48
W20-1	36x36	48x48
WARNING FLAG	18x18	18x18

*FREEWAY SIZES MAY BE USED ON NON-FREEWAY, IF SPACE CONSTRAINTS DO NOT EXIST.

NEW YORK STATE OF OPPORTUNITY Department of Transportation

U.S. CUSTOMARY STANDARD SHEET

WORK ZONE TRAFFIC CONTROL
 NON-FREEWAY
 SHOULDER CLOSURE
 SHORT TERM OPERATION

APPROVED DECEMBER 2, 2021 ISSUED UNDER ET 21-028

ROBERT LIMOGES, P.E. DIRECTOR, OTSM 619-310

TOWN OF WAPPINGERS PLANNING BOARD

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGERS FALLS, NEW YORK ON THE _____ DAY OF _____, 2025 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID APPROVAL. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.

TOWN OF WAPPINGERS FALLS PLANNING BOARD

SIGNED THIS _____ DAY OF _____, 2025

TOWN OF WAPPINGER PLANNING BOARD CHAIR

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE

Project No. 2025.390 License No. 083970

DAY STOKOSA ENGINEERING P.C.

3 Van Wyck Lane
 Wappingers Falls, New York
 (845)-223-3202

O'DONNELL FLP SUBDIVISION

Town of Wappinger Dutchess County, New York

MPT PLAN

SCALE: No Scale DRAWN BY: BJS CHECKED BY: BJS DATE: 9-2-25

5
5 of 5

MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR SHOULDER CLOSURE
 SCALE: 1" = 30'