

# IGLESIA CRISTIANA "EL SEMBRADOR"

## 2368 ROUTE 9D, WAPPINGERS FALLS, DUTCHESS COUNTY, NY 12590

# SCOPE OF WORK

## NEW 2 STORY & CELLAR ADDITION

SITE PLAN NOTES

1.ALL ELEVATIONS SHALL BE MEASURED IN NAVD88 DATUM

2.FOOTPRINT DIMENSIONS ON SITE PLAN MAY NOT REFLECT ACTUAL DIMENSIONS OF NEW/EXIST. FOUND. DUE TO THICKNESSES OF VARIOUS MATERIALS (IE. SIDING)

3.ALL UTILITY DESIGNATIONS ARE APPROXIMATE AND ARE FOR REFERENCE PURPOSES ONLY.

4.THIS IS AN ARCHITECTS SITE PLAN & IS SUBJECT TO VERIFICATION BY A LICENSED SURVEYOR. THE INFORMATION REPRESENTED ON THIS SITE PLAN IS THE ARCHITECT'S BEST OF KNOWLEDGE AND WAS OBTAINED FROM A SURVEY PREPARED BY:

FUSCO ENGINEERING & LAND SURVEYING, P.C.  
233 E MAIN ST, MIDDLETOWN, NY 10940  
(845) 344 5863  
DATED: 02/29/16

BUILDING PLAN REVIEW NOTE

TOWN OF WAPPINGER BUILDING PLANS EXAMINER HAS REVIEWED THE ENCLOSED DOCUMENT FOR MIN. ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN OF ISLIP IN THE BUILDING AND/OR RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THAT RESPONSIBILITY IS GUARANTEED UNDER THE SEAL AND SIGNATURE OF THE STATE OF NEW YORK LICENSED DESIGN PROFESSIONAL OF RECORD. THAT SEAL AND SIGNATURE HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:

- ACCURATE
- CONFORMS WITH THE GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION
- CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARD OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE

DESIGN CRITERIA

BUILDING CODE:  
COMERCIAL CODE OF NEW YORK STATE IBC 2018

ELECTRICAL CODE:  
2020 NATIONAL ELECTRICAL CODE (NEC)

GAS CODE:  
2017 INTERNATIONAL FUEL GAS CODE (IFGC)

MECHANICAL CODE:  
2020 INTERNATIONAL MECHANICAL CODE (IMC)

PLUMBING CODE:  
2020 INTERNATIONAL PLUMBING CODE (IPC)

FIRE PROTECTION CODE:  
2020 INTERNATIONAL FIRE PROTECTION CODE (INFP)

FIRE CODE:  
2020 INTERNATIONAL FIRE CODE (IFC)

REFERENCE STANDARD:  
2018 WOOD FRAME CONSTRUCTION MANUAL (WFCM) BY THE AMERICAN WOOD COUNCIL (AWC)

LUMBER:  
SPECIES - DOUGLAS FIR LARCH (NORTH) #2 w/ MIN. Fb = 850 PSI (OR BETTER)

SHEARWALL METHOD:  
PERFORATED SHEARWALL  
INSCRIBED STRUCTURE METHOD

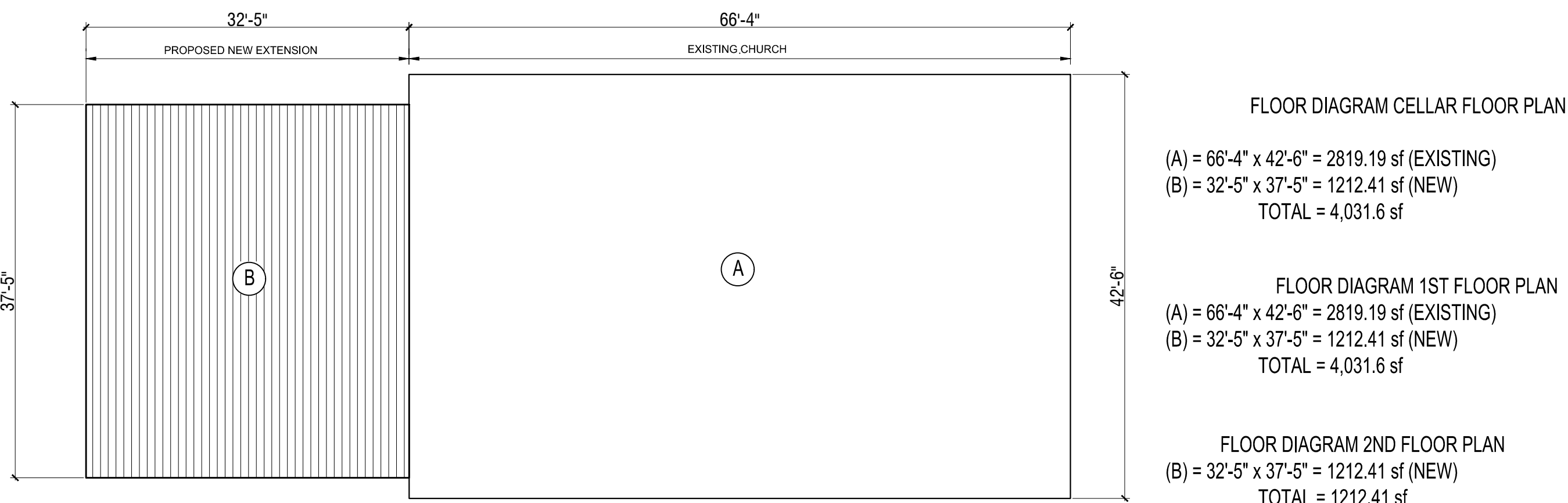
ENERGY CODE:  
IECC 2018

ENERGY COMPLIANCE STATEMENT:  
TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND/OR SPECIFICATIONS ARE IN COMPLIANCE WITH THE COMMERCIAL IECC 2018 CODE

2020 BUILDING CODE OF NEW YORK STATE

ZONING DISTRICT HM

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA CLIMATE_ZONE_C5									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHER INDEX	FROST LINE DEPTH	TERMITE	DECAY	FLOOD HAZARDS	WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED
30 PSF		B	SEVERE	5'-0"	SLIGHT TO MODERATE	SLIGHT	NO	11	YES



ZONING/SITE DATA

PROPERTY ADDRESS:2368 ROUTE 9D, WAPPINGERS FALLS, NY 12590

SCTM #:TOWN OF WAPPINGER, DUTCHESS COUNTY NY

LOT#: 083615

DISTRICT: HM (HAMLET MIXED USE DISTRICT)

PRINCIPAL BUILDINGS	CODE REQUIREMENT	EXISTING	PROPOSED	TOTAL	NOTES	
MAXIMUM HEIGHT	2 STORIES / 28 FT	2 STORIES			NO CHANGE	
MIN LOT AREA		1.43 ACRES			NO CHANGE	
MIN. LOT WIDTH (240-20)	50 FT	143.44' (AS PER SURVEY)			NO CHANGE	
GROSS FLOOR AREA	SF (MAX)	CELLAR	2,819.19 SF	CELLAR	1,212.41 SF	4,031.60 SF
		1ST FL.	2,819.19 SF	1ST FL.	1,212.41 SF	4,031.60 SF
				2ND FL.	1,212.41 SF	1,212.41 SF
		TOTAL EXTG:	5,638.38 SF	TOTAL PPSD:	3,637.23 SF	9,275.61 SF
TOTAL EXISTING + PROPOSED GROSSAREA: 9,275.61 SF, TOTAL NET AREA: 5,244.01 SF						

ALL DIMENSIONS  
TO BE FIELD  
VERIFIED

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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

DeFONSECA

ARCHITECTS

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PROJECT

HARVEST CHURCH

2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590

DUTCHESS COUNTY

TITLE

ZONING ANALYSIS, INFO,  
SCOPE OF WORK, DRAWING  
LIST AND NOTES

SEAL & SIGNATURE

DATE: 11/17/2023

PROJECT No.:

DRAWING BY: JGD,RV

CHECKED BY: JCD

DWG. No.: G-000.00

SHEET No. OF

PROGRESS PRINT : 4-5-2024



NOTES & SPECIFICATIONS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THIS CONSTRUCTION DOCUMENT BINDED TOGETHER AT ALL TIMES. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO READ ALL NOTES, SPECIFICATIONS, AND BE FAMILIARIZED WITH THE PLANS PRIOR TO WORK

GENERAL  
1. NO WORK TO START UNTIL APPROVED PLANS ARE OBTAINED FROM THE APPLICABLE BUILDING DEPARTMENT COMMERCIAL CODE OF THE NY.

2. ALL CONSTRUCTION SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. ALL DIMENSIONS, CONDITIONS, AND APPLICABLE INFORMATION OF EXISTING STRUCTURE/SITE SHALL BE FIELD VERIFIED BY GENERAL CONTRACTOR.

3. ALL WORK SHALL CONFORM TO NATIONAL, STATE, AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

4. ALL UNNOTED OR NON-VISIBLE EASEMENTS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER

5. ANY OMISSIONS OR DISCREPANCIES OF PLANS AND/OR JOB CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

6. NO DEVIATIONS OR CHANGES TO THE STRUCTURAL SYSTEM SHALL BE MADE UNLESS APPROVED BY THE ARCHITECT/ENGINEER.

7. CONTRACTOR TO VERIFY DIMENSIONS OF FOUNDATION WITH FLOOR PLANS BEFORE THE START OF FRAMING

8. DRY WELLS AS REQUIRED BY STATE AND LOCAL CODES.

9. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE

10. OWNER/BUILDER ARE RESPONSIBLE FOR ALL INSPECTIONS, APPROVALS, CERTIFICATES, CERT. OF OCCUPANCY OR COMPLETION AND U.L. APPROVAL

11. THESE SET OF DRAWINGS ARE THE PROPERTY OF JAMES M. BOULER JR., R.A. OR NICHOLAS J. PELUGER, R.A. (WHICH EVER HAS SIGNED AND SEALED THESE PRINTS) AND SHALL NOT BE ALTERED OR BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

12. THE ARCHITECT IS NOT RETAINED FOR SUPERVISION OF THE WORK AND IS RESPONSIBLE FOR DESIGN INTENT ONLY.

13. THE CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY.

14. THE CONTRACTOR SHALL KEEP PREMISES REASONABLY CLEAN AT ALL TIMES. AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL RUBBISH, WASTE MATERIALS, TOOLS, ETC., LEAVE GLASS AND LEAVE BROOM CLEAN.

15. THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND GENERAL LIABILITY INSURANCE. ALL SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES.

16. THE CONTRACTOR SHOULD FULLY GUARANTEE HIS WORK AND THE WORK OF THE SUB-CONTRACTORS FOR A PERIOD OF AT LEAST ONE YEAR AFTER COMPLETION OF PROJECT.

17. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT/ENGINEER, AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEYS FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (A) IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF INCLUDING THE LOSS OR USE RESULTING THEREFROM), (B) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER.

18. ALL MATERIALS, ASSEMBLIES, AND METHOD OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO FORM-WORK, BLOCK-WORK, FRAMING, NAILING, PLACING OF CONCRETE, ETC. ARE TO BE CAREFULLY SUPERVISED BY THE CONTRACTOR TO BE SURE THEY ARE IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, APPLICABLE CODES AND GOOD PRACTICE. DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT/ENGINEER.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHOP DRAWINGS NEEDED, UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS AND CONDITIONS PERTAINING ARE TO BE FIELD VERIFIED.

20. CONTRACTOR TO REMOVE & RELOCATE AS REQUIRED ALL EXISTING WORK WHICH INTERFERES WITH NEW CONSTRUCTION IN A WORKMAN LIKE MANNER.

21. ALL MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.

22. PROVIDE FIREBLOCKING AND DRAFTSTOPPING AS PER 2020 COMMERCIAL CODE OF NEW YORK STATE, SECTIONS: R602.8, R302.7, R302.11, R302.11, R302.12, R1003.19, R1001.12

23. PLEASE NOTE THAT THESE PLANS ARE PROTECTED AGAINST ANY UNAUTHORIZED USE UNDER FEDERAL LAW BY THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990 (WCPA), WHICH HAS SEVERE PENALTIES.

INSULATION

1. WHEN KRAFT FACED FIBERGLASS BATT INSULATION IS SPECIFIED IT SHALL BE BY JOHN MANVILLE (OR EQUAL), UNLESS OTHERWISE NOTED. KRAFT FACE TO BE PLACED TOWARD WARM SIDE.

2. WHEN RIGID FOAM INSULATION IS SPECIFIED FOR EXTERIOR FACE OF FOUNDATION WALLS, CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING OR INSULATION FROM BACKFILLING.

3. ALL INSULATION SHALL BE OF THE SPECIFIED VALUE STATED IN PLANS, SECTIONS, DETAILS, AND DIAGRAMS. ALL INSULATION SHALL INSTALLED AS PER MANU. SPEC.'S.

4. ALL FOAM PLASTIC INSULATIONS SHALL ADHERE TO THE 2020 COMMERCIAL CODE OF NEW YORK STATE.

GYPSUM WALL BOARD

1. GYPSUM WALL BOARD SYSTEMS SHALL BE OF A TAPE JOINT AND JOINT COMPOUND METHOD.

2. ALL GYPSUM BOARD SHALL BE 1/2" ON WALLS AND CEILING, UNLESS OTHERWISE NOTED. WATER RESISTANT (W.R.) AT BATHROOMS AND WHERE DEEMED APPLICABLE.

3. 5/8", ONE HOUR RATED, TYPE 'X' GYPSUM BOARD ON CEILING AND WALLS (WHERE APPLICABLE) AT HEAT PRODUCING EQUIPMENT TO EXTEND THREE FEET IN EACH DIRECTION BEYOND THE UNIT(S). ALSO AT HEAT PRODUCING EQUIPMENT, CONCRETE FLOOR OR IF PLACED ON WOOD FRAME, INSTALL CONCRETE PANELS OF 5/8" THICKNESS MINIMUM.

4. FINISH JOINTS, J-BEADS, NAIL DIMPLES, CORNERS, AND EDGES SHALL BE TAPED AND RECEIVE THREE COATS OF JOINT COMPOUND. ALLOW 24 HOURS TO DRY BETWEEN COATS. FINAL COAT TO BE SANDED SMOOTH.

5. METAL CORNER BEAD TO BE USED ON ALL OUTSIDE CORNERS AND AROUND ALL OPENINGS.

6. FASTEN GYPSUM BOARD AS PER FASTENING SCHEDULE ON PAGE A601.

CARPENTRY

1. ALL LUMBER SHALL BE DOUGLAS FIR LARCH (NORTH) #2 OR BETTER (Fb = 850 PSI), UNLESS OTHERWISE NOTED.

2. ALL LUMBER IN CRAWL SPACES TO BE 18" ABOVE SCRATCH COAT. MAINTAIN 8" MIN. FOUNDATION EXPOSURE.

3. SILLS TO BE P.T. AND SECURELY FLASHED WITH A TERMITE SHIELD, ALSO PROVIDE SILL SEAL/INSULATION. SIZE OF SILL TO BE (2) 2"x6", UNLESS (1) 2"x6" IS NECESSARY TO MATCH FLOOR HEIGHTS WITH THE EXISTING STRUCTURE.

4. AT FLUSH FRAMING USE 16 GAGE METAL JOISTS HANGERS BY "SIMPSON" (OR EQUAL)

5. MINIMUM, DOUBLE HEADERS AND TRIMMERS AROUND ALL OPENINGS IN FLOORS, ROOFS, AND WALLS – UNLESS OTHERWISE NOTED

6. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS, POSTS, AND BATH TUBS, U.O.N.

7. ALL BEAMS, GIRDERS, ETC. TO HAVE MIN. OF 3-1/2" BEARING

8. MIN. HEADER TO BE (2) 2"x10" UNLESS OTHERWISE NOTED.

9. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY/CONCRETE TO BE P.T.

10. ALL EXTERIOR SHEATHING SHALL BE NAILED AS PER FASTENING SCHEDULE ON PAGE A601. GENERALLY, SHEATHING IS OF 1/2" THICKNESS ON WALLS AND ROOF AND IS OF CDX GRADE, UNLESS OTHERWISE NOTED. SEE FLOOR PLANS FOR ADDITIONAL NAILING OR DIFFERENT NAILING REQUIREMENTS WHEN APPLICABLE.

11. SUB FLOORING, GENERALLY, TO BE OF 3/4" THICKNESS AND OF CDX GRADE. NAILING AS PER FASTENING SCHEDULE ON PAGE A601 AND GLUED, U.O.N.

12. EXTERIOR SHEATHING TO BE COVERED WITH 'TYVEK' HOUSE WRAP OR APPROVED EQUAL.

13. BLOCK EXTERIOR STUD WALLS AT HALF STORY HEIGHTS AND AT UNSUPPORTED EDGE SEAMS OF EXTERIOR SHEATHING.

14. PROVIDE 'X' CROSS BRACING AT JOISTS, STUDS, AND RAFTERS WHEN SPANS EXCEED 8'-0" AND AT EVERY 8'-0".

15. TOP PLATES TO BE DOUBLED AND LAPPED AT CORNERS, SEE ALSO PAGE A600 TO A604

16. APPLY ALL CONDITIONS ADDRESSED IN FASTENING SCHEDULE AS NECESSARY.

17. PROVIDE ALL NAILING AND STRAPPING ADDRESSED ON PAGES A600 TO A604

18. AT "WET WALL" PARALLEL TO JOISTS FRAME DOUBLE JOIST AS PER CODE. GENERALLY, SEPARATE DOUBLE JOIST THE THICKNESS OF WALL ABOVE. SUB FLOOR SHALL NEVER EXCEED A 16" SPAN.

19. AT ROUGH OPENINGS PROVIDE ALL APPLICABLE NAILING AND STRAPPING AS PER PAGE A600 THROUGH A604.

20. "P.T." SPECIFIES PRESSURE PRESERVATIVELY TREATED LUMBER IN ACCORDANCE W/ AWWA C22; WHERE DRILLING AND/OR CUTTING OCCURS, FIELD TREAT LUMBER W/ COPPER NAPHTHENATE WHICH SHALL CONTAIN 2% COPPER METAL BY REPEATED BRUSHING, DIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE. ALSO, FOR HARDWARE USED WITH P.T. LUMBER, CONTRACTOR IS TO INSTALL HARDWARE THAT IS SPECIFIED BY P.T. LUMBER MANUFACTURER SUCH AS: HANGERS, NAILS, SCREWS, FLASHING, ANCHOR BOLTS, ETC. FOR LOCATIONS SUCH AS: LEDGER BD., SILL PLATE, DECK CONSTRUCTION, ETC. ANY REFERENCES TO OCA ARE TO BE REPLACED WITH P.T.

21. LVL (LAMINATED VENEER LUMBER) DENOTES EITHER OF THE FOLLOWING:  
A. TRUSS JOIST McMillan 2.0E MICROLAM  
B. GEORGIA PACIFIC 2.0E G-P LAM.  
PSL (PARALLEL STRAND LUMBER) DENOTES  
A. TRUSS JOIST McMillan 2.0E PARALLAM  
ALL TO BE INSTALLED AS PER MANU. SPEC.'s

22. SEE PAGES A600 TO A602 FOR SHEARWALL INFORMATION

GLASS WINDOWS AND DOORS

1. ALL GLAZING SHALL COMPLY WITH SECTION R308 OF INTERNATIONAL COMMERCIAL CODE OF THE NY.

2. ALL GLAZING SHALL BE IDENTIFIED AS PER SECTION R308 OF 2020 RCNYS

3. ALL GLASS TO BE A MIN. OF INSULATED LOW-E, DOUBLE PANE GLASS, UNLESS OTHERWISE SPECIFIED.

4. GLASS DOORS AND WINDOWS SHALL NOT BE INSTALLED UNTIL PROPER CLEARANCES ARE PROVIDED.

5. GLAZING IN ALL SKYLIGHTS SHALL BE TEMPERED GLASS

6. GLAZING IN WINDOWS THAT ARE 18" OR LESS OF FINISHED FLOOR, AND HAVE AN INDIVIDUAL PANE OF GLASS 9 SF OR LARGER, AND HAVE THE TOP EDGE OF GLASS 36" OR MORE ABOVE THE FINISHED FLOOR, AND ARE ADJACENT A WALKING SURFACE SHALL BE TEMPERED GLASS, UNLESS OTHERWISE NOTED.

7. GLAZING IN ALL DOORS SHALL BE TEMPERED GLASS.

8. ALL GLASS UNITS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

9. ALL WINDOWS TO BE CAULKED AND SEALED AS PER 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE.

10. PROVIDE FLASHING PANS UNDER ALL SLIDING GLASS DOORS, WINDOWS, OR ANY OTHER TYPE OF GLASS UNIT WHEN WITHIN 6" OF AN EXTERIOR SURFACE.

11. ALL EXTERIOR DOORS ARE TO BE WEATHERED STRIPPED AND PROVIDE ALL SCREENS AND HARDWARE NECESSARY FOR PROPER FUNCTION OF SUCH UNITS.

12. ALL GLASS IS TO BE FREE OF SCRATCHES AND IMPERFECTIONS. GLASS SHOULD BE GUARANTEED BY THE MANUFACTURER FOR A PERIOD OF 5 YEARS.

13. FOR WINDOW MANUFACTURER SUBSTITUTIONS – IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CHARACTERISTICS OF THE WINDOW MATCH THE CHARACTERISTICS OF THE WINDOWS SPECIFIED ON THE PLANS. THE CHARACTERISTICS ARE AS FOLLOWS, BUT NOT LIMITED TO: DESIGN PRESSURE, ROUGH OPENING, U-FACTOR, LIGHT AREA, VENT AREA, AND EGRESS AREA / WIDTH / HEIGHT.

14. ALL WINDOWS AND DOORS SHALL MEET A DESIGN PRESSURE EXCEEDING VALUES IN TABLE 301.2(2) OF 2020 RESIDENTIAL CODE OF NEW YORK STATE.

15. WINDOWS / GLAZING IN TUB/SHOWER ENCLOSURES (INCLUDING "SHOWER DOORS") AND WITHIN STAIRWAYS SHALL BE TEMPERED GLASS AS PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, SECTION R308.

PLUMBING

1. CONTRACTOR SHALL INSTALL WATER SUPPLY, DRAIN, WASTE, AND VENT (DWV) SYSTEMS TO NASSAU/SUFFOLK COUNTY DEPT. OF HEALTH SERVICES, LOCAL BLDG. DEPT., AND PLUMBING SECTIONS OF THE COMMERCIAL CODE OF THE NY.

2. SITE SANITARY SYSTEMS ARE TO COMPLY W/ N.C.D.H.S./S.C.D.H.S. REQUIREMENTS.

3. PROVIDE HOT AND COLD SHUT OFF VALVES AT ALL FIXTURES.

4. ALL WATER PIPING TO HAVE CLEAN OUTS AT ALL CHANGES IN DIRECTION AND AT BASE OF VERTICAL WASTE PIPES.

5. USE 4" CAST IRON THROUGH FOUNDATION WALL AND PITCHED AT 1/8" PER FOOT.

6. GENERAL TRAP AND WASTE SIZES AS FOLLOWS, UNLESS OTHERWISE NOTED:  
– DISH WASHER..... 1.5"  
– KITCHEN SINK..... 1.5"  
– LAVATORY..... 1.25"  
– SHOWER/TUB..... 1.5"  
– TOILET..... 3"

7. ALL SYSTEMS TO HAVE ONE 3" MAIN VENT STACK AND INCREASED TO 4" THROUGH ROOF.

8. PROVIDE FROST-PROOF HOSE BIBS WITH EASILY ACCESSIBLE DRAIN & DRAIN COCKS AS REQ'D. HOSE BIBS SHALL BE PROVIDED WITH BACKFLOW PROTECTION.

9. WASTE FROM CLOTHES WASHERS AND LAUNDRY TUBS ARE TO BE PROVIDED WITH BACK FLOW PROTECTION.

10. THE WATER SUPPLY AND SANITARY SYSTEM SHALL COMPLY WITH LOCAL HEALTH DEPARTMENT STANDARDS AND REGULATIONS.

11. APPROVAL AND INSPECTION IS REQUIRED BY LOCAL JURISDICTION PRIOR TO CONCEALMENT OF PLUMBING.

12. NOTCHING AND BORING OF STUDS, JOISTS, RAFTERS AS PER BUILDING CODE. NO NOTCHING AND BORING OF STRUCTURAL MEMBERS SHALL BE PERMITTED NOR ANY POTENTIAL DAMAGE THEREOF.

ELECTRICAL:

1. ALL NEWLY INSTALLED ELECTRICAL WORK OR APPLIANCES SHALL CONFORM TO THE COMMERCIAL CODE OF THE NY SECTIONS FOR ELECTRICAL.

2. CONTRACTOR WILL FURNISH A FIRE UNDERWRITERS CERTIFICATE UPON COMPLETION OF WORK.

3. ELECTRICAL WIRING AND EQUIPMENT TO COMPLY W/ CHAPTERS 34-43 AND LOCAL BUILDING DEPARTMENT.

4. SMOKE DETECTORS AS PER N.Y.S. CODE SECTION R314.  
– GENERALLY, VERIFY OR PROVIDE HARD WIRED SMOKE DETECTORS W/ BATTERY BACK-UP IN:

A. EACH SLEEPING ROOM

B. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS (GENERALLY THE HALLWAY)

C. EVERY LEVEL OF DWELLING (BASMENT, FIRST FLOOR, & SECOND FLOOR, ETC.)

MECHANICAL, FUEL GAS:

1. MECHANICAL AND FUEL GAS SYSTEMS SHALL COMPLY W/ OF THE NEW YORK CITY BUILDING CODE. SECTIONS FOR MECHANICAL AND FUEL GAS.

FOR ELECTRICAL, PLUMBING, FUEL GAS, AND MECHANICAL SYSTEMS:

1. TRADE CONTRACTORS ARE TO VERIFY THAT THE EXISTING AND PROPOSED SYSTEMS OF THEIR TRADE ARE ABLE TO SUSTAIN THE EXISTING AND PROPOSED LOADING APPLIED TO THAT SYSTEM.

ASPHALT ROOFING SHINGLES

1. ALL SLOPED ROOFING SHINGLES SHALL BE GAF-CLASS-A ASPHALT ROOFING SHINGLES OR APPROVED EQUAL.

2. SHINGLES SHALL BE APPLIED OVER 15# BUILDING FELT, UNLESS OTHERWISE NOTED. ALSO, CONTRACTORS OPTION TO APPLY GAF-WEATHER-WATCH ICE AND WATER BARRIER FROM EDGE OF EAVE TO 24" INSIDE EXTERIOR WALL LINE. & 24" FROM ALL VALLEYS, AND ROOF FLASHING CONDITIONS.

3. PROVIDE FLASHING NECESSARY FOR WATER TIGHT AND WEATHERPROOF CONSTRUCTION.

4. ROOFING IS TO BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

5. NAILING OF ROOFING SHALL BE TO CODE.

6. CORROSION RESISTANT 11 GAGE ROOFING NAILS AND 16 GAGE STAPLES ARE PERMITTED

7. PROVIDE (2) LAYERS OF 15# ASPHALT BUILDING FELT UNDERLAYMENT FOR 2:12 PITCHES TO 4:12 PITCHES

SITE WORK

1. STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR

2. VERIFY ALL GIVEN DATA ON DRAWINGS. IF THERE IS A DISCREPANCY, RECEIVE CLARIFICATION FROM ARCHITECT/ENGINEER PRIOR TO PROCEEDING.

3. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIALS.

4. NEW AND EXISTING BACK FILL MATERIAL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS, AND DEBRIS. ALL SURPLUS MATERIAL THAT IS UNSUITABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM SITE.

5. PROTECT TREES WITHIN EIGHT FEET OF THE BUILDING.

NOTCHING AND BORING OF SOLID SAWN RAFTERS

NOTCHES IN THE TOP OR BOTTOM EDGE OF SOLID SAWN RAFTERS SHALL NOT BE CUT IN THE MIDDLE ONE-THIRD OF THE RAFTER SPAN. NOTCHES IN THE OUTER THIRDS OF THE SPAN SHALL NOT EXCEED ONE-SIXTH OF THE ACTUAL RAFTER DEPTH. WHERE NOTCHES ARE MADE AT SUPPORTS THEY SHALL NOT EXCEED ONE-FORTH THE ACTUAL RAFTER DEPTH. BORED HOLES ARE LIMITED IN DIAMETER TO ONE-THIRD THE ACTUAL RAFTER DEPTH AND THE EDGE OF THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES TO THE TOP OR BOTTOM EDGES.

NOTCHING AND BORING OF STUDS

NOTCHES IN EITHER EDGE OF STUDS SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE STUD LENGTH. NOTCHES IN THE OUTER THIRDS OF THE STUD LENGTH SHALL NOT EXCEED 25% OF THE ACTUAL DEPTH. BORED HOLES SHALL NOT EXCEED 40% OF THE ACTUAL STUD DEPTH AND THE EDGE OF THE HOLE SHALL NOT BE CLOSER THAN 5/8" TO THE EDGE OF THE STUD. NOTCHES AND HOLES SHALL NOT OCCUR IN THE SAME CROSS-SECTION

MATERIALS STANDARDS

THE PROVISIONS OF THIS STANDARD ARE NOT INTENDED TO PREVENT THE USE OF ANY MATERIAL OR METHOD OF CONSTRUCTION NOT SPECIFICALLY PRESCRIBED HEREIN. WHEN IT CAN BE SHOWN, AND THE AUTHORITY HAVING JURISDICTION FINDS BY EXPERIENCE, MODELING, OR TESTING BY AN APPROVED AGENCY, THAT A PRODUCT OR PROCEDURE PROVIDES EQUIVALENT OR GREATER STRUCTURAL SAFETY OR DURABILITY, SUCH PRODUCT OR PROCEDURE SHALL BE DEEMED TO CONFORM TO THE REQUIREMENTS OF THIS DOCUMENT ( THIS DOCUMENT IS TO MEAN A REFERENCE TO THE CURRENT AMERICAN WOOD COUNCIL'S WFCM WOOD FRAME CONSTRUCTION MANUAL, AS APPLICABLE AS A DERIVED WORK).

M1 IDENTIFICATION  
ALL SOLID-SAWN LUMBER, GLUED LAMINATED TIMBER, PREFABRICATED WOOD I-JOISTS, STRUCTURAL COMPOSITE LUMBER, PREFABRICATED WOOD TRUSSES, GYPSUM, HARDBOARD, AND STRUCTURAL PANELS, SHALL CONFORM TO THE APPLICABLE STANDARDS OR GRADING RULES SPECIFIED IN M.1 THROUGH M1.8.

M 1.1 LUMBER  
ALL WOOD MEMBERS USED FOR LOAD-BEARING PURPOSES, INCLUDING END-JOINTED AND EDGE-GLUED LUMBER, SHALL BE IDENTIFIED BY THE GRADEMARK OF A LUMBER GRADING OR INSPECTION AGENCY WHICH PARTICIPATES IN AN ACCREDITATION PROGRAM, SUCH AS THE AMERICAN LUMBER STANDARDS COMMITTEE OR EQUIVALENT. THE GRADEMARK SHALL INCLUDE AN EASILY DISTINGUISHABLE MARK OR INSIGNIA OF THE GRADING AGENCY WHICH COMPLIES WITH THE REQUIREMENTS OF U.S. DEPARTMENT OF COMMERCE PS20-99.

M 1.2 GLUED LAMINATED TIMBERS  
GLUED LAMINATED TIMBERS SHALL MEET THE PROVISIONS OF ANSI/ALTC A 1 90.1 STRUCTURAL GLUED LAMINATED TIMBERS.

M 1.3 PREFABRICATED WOOD I-JOISTS  
ASSEMBLIES USING PREFABRICATED WOOD I-JOISTS SHALL MEET THE PROVISIONS OF ASTM D5055 STANDARD SPECIFICATION FOR ESTABLISHING AND MONITORING STRUCTURAL CAPACITIES OF PREFABRICATED WOOD I-JOISTS, THIS DOCUMENT, THE GOVERNING BUILDING CODE AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.4 STRUCTURAL COMPOSITE LUMBER  
SINGLE MEMBERS OR ASSEMBLIES USING STRUCTURAL COMPOSITE LUMBER SHALL MEET THE PROVISIONS OF ASTM D5456 STANDARD SPECIFICATION FOR EVALUATION OF STRUCTURAL COMPOSITE LUMBER PRODUCTS, THIS DOCUMENT, THE GOVERNING BUILDING CODE, AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.5 PREFABRICATED WOOD TRUSSES  
ASSEMBLIES USING PREFABRICATED WOOD TRUSSES SHALL MEET THE PROVISIONS OF THIS DOCUMENT, OF THE NEW YORK CITY BUILDING CODE., AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN ANSI/TPI 1 NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, THE TRUSS DESIGN DRAWINGS, OR THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.6 GYPSUM  
GYPSUM MATERIAL USED IN A STRUCTURAL APPLICATION SHALL MEET THE PROVISIONS OF ASTM C36 6 SPECIFICATION FOR GYPSUM WALLBOARD, ASTM C37 SPECIFICATION FOR GYPSUM LATH, OR C7ASTM 9 SPECIFICATION FOR GYPSUM SHEATHING BOARD.

M 1.7 HARDBOARD  
HARDBOARD USED IN A STRUCTURAL APPLICATION SHALL MEET THE PROVISIONS OF ANSI/AHA A135.4 BASIC HARDBOARD OF ANSI/AHA AL35.6 HARDBOARD SIDING.

M 1.8 STRUCTURAL PANELS

M 1.8.1 PLYWOOD  
PLYWOOD USED IN STRUCTURAL APPLICATIONS SHALL MEET THE PROVISIONS OF U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD 1 (PS 1) CONSTRUCTION AND INDUSTRIAL PLYWOOD, U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD 2 (PS2) PERFORE STANDARD FOR WOOD-BASED STRUCTURAL- USE PANELS, APPLICABLE CODE EVALUATION REPORTS.

M 1.8.2 ORIENTED-STRAND BOARD (OSB), WAFERBOARD ORIENTED-STRAND BOARD OR WAFERBOARD USED IN STRUCTURAL IONS SHALL MEET THE PROVISIONS OF U.S. DEPARTMENT OF CORNMERCE VOLUNTARY PRODUCT STANDARD 2 (PS2) PERFORMANCEVOLUNTARY PRODUCT STANDARD FOR WOOD-BASED STRUCTURAL- USE PANELS OR APPLICABLE CODE EVALUATION REPORTS.

M 1.8.3 PARTICLEBOARD  
PARTICLEBOARD USED IN STRUCTURAL APPLICATIONS SHALL CONFORM TO ANSI A208.1 AND ANY REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORT.

M 1.8.4 FIBERBOARD  
FIBERBOARD USED IN STRUCTURAL APPLICATIONS SHALL MEET THE PROVISIONS OF ANSI/AHA A194.1 CELLULOSIC FIBERBOARD OR ASTM C208 STANDARD SPECIFICATION FOR CELLULOSIC FIBER INSULATING BOARD.

M 1.8.5 STRUCTURAL PANEL SIDING  
STRUCTURAL PANEL SIDING USED IN STRUCTURAL APPLICATIONS SHALL MEET THE REQUIREMENTS OF U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD 1 (PS- 1). THE GOVERNING BUILDING CODE, AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN APPLICABLE CODE EVALUATION REPORTS.

M 2.2 FASTENERS AND CONNECTORS  
ALL FASTENERS AND CONNECTORS SHALL CONFORM TO THE STANDARDS SPECIFIED IN M 2.2.1 THROUGH M 2.2.7.

M 2.2.1 BOLTS  
BOLTS SHALL COMPLY WITH ANSI/ASME B 18.2.1 SQUARE AND HEX BOLTS AND SCREWS (INCH SERIES).

M 2.2.2 LAG SCREWS  
LAG SCREWS OR LAG BOLTS SHALL COMPLY WITH ANSI/ ASME B18.2.1 SQUARE AND HEX BOLTS AND SCREWS (INCH SERIES).

M 2.2.3 TRUSS METAL CONNECTOR PLATES  
TRUSS METAL CONNECTOR PLATES SHALL MEET THE REQUIREMENTS OF ANSI/TPI 1 NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, THE GOVERNING BUILDING CODE, AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORTS.

M 2.2.4 METAL CONNECTORS  
WHERE METAL PLATE OR STRAPPING SIZE AND GAGE ARE SPECIFIED, MINIMUM ASTM A653, STRUCTURAL QUALITY, GRADE 33 STEEL SHALL BE USED. OTHER METAL CONNECTORS SHALL MEET THE REQUIREMENTS OF THE GOVERNING BUILDING CODE AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORTS.

M 2.2.5 NAILS  
NAILS SHALL COMPLY WITH ASTM F 1667 STANDARD SPECIFICATION FOR DRIVEN FASTENERS: NAILS, SPIKES, AND STAPLES.

M 2.2.6 PNEUMATIC NAILS AND STAPLES  
PNEUMATIC NAILS AND STAPLES SHALL MEET THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE AND ANY ADDITIONAL REQUIREMENTS AS SET FORTH IN THE MANUFACTURER'S CODE EVALUATION REPORTS.

M 2.2.7 SCREWS  
SCREWS SHALL COMPLY WITH ANSI/ASME B 18.6.1 WOODSCREWS (INCH SERIES).

FOUNDATION, CONCRETE, AND MASONRY

1. CONTRACTORS TO VERIFY ALL DIMENSIONS OF EXISTING FOUNDATION AS IT APPLIES TO THE NEW WORK BEING PERFORMED AND SHALL COORDINATE THE SUB-CONTRACTORS IN SUCH A MANNER TO ASSURE THAT THE CONDITIONS OF THE FIRST AND SECOND FLOORS ARE TAKEN INTO ACCOUNT.

2. ALL FOOTINGS TO BEAR ON FIRM, VIRGIN, UNDISTURBED SOIL

3. SOIL TO HAVE MIN. BEARING CAPACITY OF (1) TON/SQ. FT.

4. FOOTINGS TO REST A MIN. OF 3'-0" BELOW GRADE, UNLESS OTHERWISE NOTED

5. WALLS TO BE POURED CONCRETE OF SIZE SHOWN ON DRAWINGS.

6. NO BACK FILL SHALL BE PLACED AGAINST FOUNDATION WALLS UNTIL 15F-TIER OF FRAMING IS IN PLACE.

7. FOOTINGS TO BE POURED CONCRETE OF SIZE SHOWN ON DRAWINGS.

8. ALL OPENINGS FOR BEAM POCKETS, UTILITIES, ETC. TO BE FILLED SOLID WITH CONCRETE.

9. ANCHOR BOLTS SHALL BE IN ACCORDANCE WITH PAGE A600.

10. SEE FOUNDATION PLAN FOR CONCRETE COMPRESSIVE STRENGTH.

11. CONC. SLABS TO REST ON MIN. OF 6" FINE GRAVEL OR SAND WITH 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER OCCUPIED SPACE

12. FLASH ALL JOINTS WHERE SLAB ABUTS FRAMING.

13. BRICK VENEER TO BE ANCHORED WITH (1) WALL TIE PER (3) SQ. FT.

14. FLASH JOINT AT BRICK LEDGE AND PROVIDE WEEP HOLES. MAX. 4'-0" O.C., TO DIRECT ANY CONDENSATION TO THE EXTERIOR.

15. APPLY (1) COAT OF TAR BASED WATERPROOFING TO EXTERIOR OF FOUND. FROM FOOTING TO 2" ABOVE FINISH GRADE.

16. NO CONCRETE OR MASONRY WORK IS TO BE PERFORMED IN TEMPERATURES OF 40°F AND FALLING, UNLESS APPROVED BY ARCHITECT/ENGINEER. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES.

17. NO ADDITIVES SHALL BE PLACED IN CONCRETE UNLESS SPECIFIED BY ARCHITECT/ ENGINEER.

18. PROVIDE BITUMINOUS JOINTS BETWEEN SLABS AND FOUNDATION WALLS AND WHERE EVER APPLICABLE.

19. UNLESS OTHERWISE INDICATED, ALL FOUNDATION FOOTINGS ARE TO BE A MIN. 10



POURED CONCRETE AND STEEL REINFORCEMENT

NOTES:

1. ALL EXCAVATIONS SHALL NOT UNDERMINE EXIST. ADJACENT FOUNDATIONS BY AN ANGLE OF 45° PROJECTED OUTWARD AND DOWNWARD FROM THE BOTTOM OF EXISTING ADJACENT FOOTINGS
2. IF WATER ENCOUNTERED DURING POURING OF CONC., EXCAVATION SHALL BE DEWATERED. THE POUR SITE SHALL REMAIN DRY FOR ENTIRETY OF POUR CONTACT ARCHITECT WHEN WATER ENCOUNTERED
3. CONCRETE MIX DESIGN SHALL BE PERFORMED BY THE CONCRETE PLANT'S PROFESSIONAL ENGINEER AND IN ACCORDANCE WITH ACI 318
4. POURED CONCRETE SHALL BE KEPT MOIST FOR A MIN. OF 14 DAYS
5. ALL FOUNDATION WORK SHALL BE MIN. 3,000 PSI POURED CONCRETE AT 28 DAYS AND SHALL CONFORM TO THE CURRENT ACI 318 CODE (3,500 MIN. PSI FOR PORCH, PATIO, GARAGE SLABS, AND BASEMENT ENTRIES)
6. ALL REINFORCEMENT BARS SHALL BE DEFORMED EPOXY COATED CARBON STEEL ASTM A615 GRADE 60. WWM FOR SLABS DO NOT NEED TO BE EPOXY COATED
7. U.O.N., REBAR LAPS SHALL BE A MIN. OF 40 DIAMETERS. ALL LAPS SHALL BE STAGGERED
8. PROVIDE MECHANICAL DEVICES TO HOLD STEEL & HARDWARE IN PLACE AT TIME OF POURING & MAINTAIN REQUIRED CLEARANCES, COVERAGES, AND PLUMBNESS
9. CEMENT SHALL CONFORM TO ASTM C-33 FOR STANDARD WEIGHT CONCRETE
10. ALL POURED CONCRETE SHALL BE AIR ENTRAINED

11. 1/2" EXPANSION JOINTS @ PERIMETER OF ALL SLABS

ADDITIONAL FOUNDATION NOTES:

1. SEE FLOOR PLANS FOR LOCATIONS OF HOLDDOWNS AND COORDINATE AS REQ'D
2. SOLID BLOCK ALL POINT LOADS TO THE FOUND. OR BEAM BELOW IT
3. PRESSURE TREATED LUMBER (DENOTED AS "P.T.") SHALL BE ACQ IN ACCORDANCE w/ AWP/A U1
4. ALL EXTERIOR HARDWARE (BOLTS, HANGERS, NUTS, WASHERS ETC.) SHALL BE STAINLESS STEEL AS PER ASTM F1667 OR HOT DIPPED GALV. STEEL AS RECOMMENDED BY MANUFACTURER OR AS PER ASTM A153 AND ASTM A653 TYPE G185 ZINC COATED GALV. STEEL.
5. V.I.F. ALL EXIST. FOUND.'s TO BE OF MIN. 8" THK. WALL w/ MIN. 16"x8" DEEP P. CONC. FOOTING TO 3'-0" BELOW GRADE; IF NOT, CONTACT ARCHITECT PRIOR TO CONSTRUCTION.
6. MASON TO DETERMINE HEIGHT OF NEW FOUND. WALL IN FIELD TO ACCOUNT FOR:

6.1. FINISHED FLOORING TO ALIGN w/ EXIST.

6.2. DIFFERENCE IN JOIST SIZE

6.3. NUMBER/THICKNESS OF SILL PL.'s

6.4. SUB-FLOOR THICKNESS, ETC.

6.5. MAINTAIN 8" FOUND. EXPOSURE @ EXT. (VERIFY THIS CONDITION IN FIELD)

INTERIOR F.J. LEDGER:

1. SEE NOTED DETAIL FOR MORE INFORMATION

SPREAD FOOTING 'A':

1. 30"x30"x15" DEEP P. CONC. SPREAD FOOTING w/ (4) #4 REBAR EACH WAY. UPON UNDISTURBED SOIL.
2. MIN. 3" REBAR COVER

TYPICAL STEEL COLUMN SUPPORT:

1. 3.5" OUTSIDE DIAMETER SCH. 40 STL. PIPE COLUMN
2. CAP PLATE – 6" WIDE x 8" LONG x 3/8" THK. STL. CAP.L WELDED TO TOP OF STL. COL. FASTENED w/ (4) 1/2" 0 x 4" LONG LAG BOLTS (PREDRILLED TO WD. BM)
3. BASE PLATE – 8" x 8" x 3/8" THK. STL. BASE PL. WELDED TO BOTTOM OF STL. COL. FASTENED w/ (4) 1/2" HOOKED ANCHOR BOLTS EMBEDDED MIN. 6" INTO FOOTING

PROTECTION FROM HEAT PRODUCING EQUIPMENT:

1. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD @ CEILING OVER HEAT PRODUCING EQUIPMENT
2. CONFIGURE GYP. DB. TO MIN. 3'-0" BEYOND EACH EDGE OF THE EQUIPMENT.

FOR WOOD STAIRS @ GRADE:

1. 4" THK. P. CONC. PAD 8" WIDE x REQ'D LENGTH UPON 6" GRAVEL
2. DECK STAIR SHALL HAVE 2"x12" P.T. STRINGERS @ MAX. 12" O.C., U.O.N. (MIN. 3 STRINGERS)
3. FASTEN STRINGERS TO SLAB w/ "L" BRACKETS BY 'SIMPSON' (OR EQUAL)

DECK TIE:

1. 'SIMPSON' DTT1Z DECK TENSION TIE
2. INSTALL AS PER MANU. SPEC.'s

PROVIDE SOLID BLOCKING FROM POST ABOVE TO BEAM

CANTILEVER NEW BEAM TO CARRY EXIST. DBL JOIST

FOUNDATION KEY NOTES

TYPICAL P. CONC. FOUNDATION WALL & P. CONC. FOOTING CONSTRUCTION:

1. 8" P. CONC. FOUND. WALL AS PER NOTED DETAIL
2. 20"x8" DEEP P. CONC. FOOTING AS PER NOTED DETAIL
3. SEE DETAIL 1/A603 FOR MORE INFORMATION

TYPICAL BASEMENT SLAB CONSTRUCTION:

1. 4" THICK (MIN.) P. CONC. SLAB w/ 6x6 10/10 WWM OVER 6 MIL POLY VAPOR BARRIER OVER 6" COMPACTED FILL

V.I.F. PRIOR TO ALL CONSTRUCTION THAT EXIST. FOUNDATION IS IN SOLID AND SOUND CONDITION w/ MIN. 8" THK. WALL AND 16"x8" P. CONC. FOOTING. IF NOT, CONTACT ARCHITECT.

NEW ACCESS WAY:

1. BREAK OUT OR SAW CUT EXIST. FOUND. FOR NEW ACCESSWAY
2. APPROX. SIZE OF CLEAR OPENING SHALL BE 3'-0"x6'-4" (V.I.F.)
3. PROVIDE P.T. HDR AND POSTS AS NOTED ON PLANS
4. PROVIDE COPPER FLASHING @ ALL INTERFACES OF CONC. AND FRAMING.

POINT LOAD FROM ABOVE POST (TYP.)

BEAM POCKET IN EXIST. FOUND.:

1. FORM OUT BEAM POCKET TO FIT NOTED BEAM DEPTH AND WIDTH. MINIMUM 4" BEARING FOR ALL BEAMS/GIRDERS
2. WIDTH SHALL HAVE 1/2" CLEARANCES ON BOTH SIDES OF BEAM
3. PROVIDE ALUM. OR COPPER FLASHING WITH NON-TREATED LUMBER
4. ONLY COPPER FLASHING SHALL BE USED WITH TREATED LUMBER

GENERAL CONSTRUCTION NOTES

1. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE REQUIRED TO CHECK AND VERIFY ALL DIMENSIONS AND FILED CONDITIONS AT BUILDINGS SITE AND PREMISES AND NOTIFY THE LANDLORD, THE INTERIOR DESIGNER OR TENANTS CONSTRUCTION REPRESENTATIVE OF ANY AND ALL DISCREPANCIES AND LIST ANY WORK NOT YET COMPLETED BY LANDLORD BEFORE STARTING WORK.

2. ALL WORK ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL CODES. (COMERAL CODE OF THE NY) SUB CODES AND BUILDING DEPARTMENTS HAVING JURISDICTION GENERAL CONTRACTOR TO CONTACT LOCAL BUILDING OFFICIALS FOR SPECIFIC REQUIREMENTS FOR THIS USE. ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH LL29.

3. ALL CONTRACTORS SHALL CHECK AND VERIFY ALL FIELD CONDITIONS AND SHALL HAVE SOLE RESPONSIBILITY FOR VERIFICATION OF CLEAR HEIGHTS WITHIN THE PREMISES, ANY DISCREPANCIES SHALL BE REPORTED TO THE APPLICANT IMMEDIATELY. THE GENERAL CONTRACTOR IS TOTALLY RESPONSIBLE FOR ALL "HOLD" DIMENSIONS AND IS TO CONTACT THE INTERIOR DESIGNER AND/OR THE TENANT'S CONSTRUCTION REPRESENTATIVE FIRST, PRIOR TO BUILDING WALLS, IF THERE IS A QUESTION. TENANTS FIXTURES FIT INTO PLACE WITH NO ROOM FOR ERROR.

4. THE GENERAL CONTRACTORS AND ALL SUBCONTRACTORS WORKING ON THIS PROJECT ARE RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITY COMPANIES SUPPLYING UTILITIES TO THE AREA WHERE THE PROJECT IS LOCATED, IN ORDER TO VERIFY LOCATIONS OF UTILITIES, UNDERGROUND OR OVERHEAD, AND SECURE THE PROPER PROCEDURES WHILE WORKING ADJACENT TO, ABOVE OR NEAR SUCH UTILITIES TO AVOID ANY PROBLEMS WITH LOCATIONS OF UNDERGROUND UTILITIES EXPLOSIONS, DISCONNECTION, REMOVAL, ETC.

5. GENERAL CONTRACTOR SHALL LAY OUT WORK AS SPECIFIED IN THE DRAWINGS AND SHALL BE HELD RESPONSIBLE FOR PROPER ESTABLISHMENT AND MAINTENANCE OF ALL LINES AND DIMENSIONS. BEFORE DOING ANY WORK, THIS GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE SITE AND NOTIFY THE APPLICANT OF RECORD OF ANY DISCREPANCIES VERBALLY AND THEN IN WRITING.

6. ALL CONTRACTORS SHALL BE BONDABLE, LICENSED CONTRACTORS POSSESSING GOOD LABOR RELATIONS AND MUST BE CAPABLE OF QUALITY WORKMANSHIP, IN HARMONY WITH OTHER CONTRACTORS WORKING ON THE PROJECT.

7. PRIOR TO COMMENCEMENT OF ANY WORK, THE GENERAL CONTRACTOR SHALL CONTACT AND MEET WITH OWNER FOR A PRE-CONSTRUCTION MEETING, AT WHICH TIME THE GENERAL CONTRACTOR WILL PRESENT TO ALL PARTIES A LIST OF NAMES, ADDRESSES, BUSINESS AND HOME TELEPHONE NUMBERS OF THE SUBCONTRACTORS FOR THIS PROJECT. THE GENERAL CONTRACTOR, ALL SUBCONTRACTORS OR OUTSIDE SERVICES COMPLETING WORK ON THIS PROJECT SHALL COMPLY WITH ALL THE PROVISIONS OF O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ACT).

8. ALL CLEARANCES OF PIPES AND DUCT WORK INSTALLED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS MUST BE MAINTAINED FOR ADEQUATE HEIGHTS REQUIRED FOR CEILING SYSTEM AND LIGHT FIXTURES. THE STOCK ROOM CEILING (IF REQUIRED) SHOULD BE AS HIGH AS POSSIBLE AND WITHIN CODE REQUIREMENTS.

9. THE GENERAL CONTRACTOR IS TO ARRANGE WITH THE OWNER FOR THE BUILDING, WHERE BUILDING EQUIPMENT AND MATERIALS AREA TO BE LOCATED AND HOW TRUCK TRAFFIC IS TO BE ROUTED TO AND FROM THE BUILDING. ALL REMOVAL OF CONSTRUCTION DEBRIS TO AN APPROVED DUMPING SITE TO BE INCLUDED IN THE GENERAL CONTRACTOR'S WORK.

10. AN APPROVAL BY THE OWNER WILL BE REQUIRED IN WRITING AND SIGNED BY THE OWNER, FOR ANY STRUCTURAL CHANGES DURING THE COURSE OF THE CONSTRUCTION PHASE OF PROJECT, AS WELL AS VERIFICATION OF CORRECT INSTALLATION AND SPECIFICATION FOR MISCELLANEOUS STEEL FOR H.V.A.C. EQUIPMENT (IF APPLICABLE), DUCTS, CONDUCTS, ETC. THE GENERAL CONTRACTOR IS TO SUPPLY THE MILLWORK, AS WELL AS SHOP DRAWINGS OF ALL MILLWORK, PRIOR TO START OF CONSTRUCTION, FOR APPROVAL OF ARCHITECT OR OWNER.

11. ALL EQUIPMENT, MILLWORK AND FIXTURES SUPPLIED BY THE CONTRACTOR TO BE UNLOADED ASSEMBLED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER OR ARCHITECT.

12. ANY SUBSTITUTIONS OF FINISH MATERIALS MUST BE APPROVED BY THE ARCHITECT OR TENANT'S CONSTRUCTION REPRESENTATIVE IN WRITING. THE TENANT'S GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TWO (2) SAMPLES OF EACH SUBSTITUTION.

13. EACH CONTRACTOR OR HIS SUBCONTRACTOR PERFORMING WORK SHALL MAINTAIN CONTINUOUS PROTECTION OF ADJACENT PREMISES IN SUCH MANNER AS TO PREVENT ANY DAMAGE TO TENANT'S WORK OR ADJACENT PROPERTY AND IMPROVEMENTS BY REASON OF THE PERFORMANCE OF TENANT'S WORK. 14. PROTECTION OF WORK IN PLACE WORK – WORK IN PLACE THAT IS SUBJECT TO INJURY BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED UP, BO SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION. ALL FORMS OF PROTECTION SHALL BE CONSTRUCTED IN A MANNER SUCH THAT, UPON COMPLETION, THE ENTIRE WORK WILL BE DELIVERED TO THE OWNER IN PROPER, WHOLE, AND UNBLEMISHED CONDITION.

15. THE APPLICANT IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR EXISTING CONDITIONS AT THE JOB SITE.

16. THE STRUCTURAL SYSTEM OF THE BUILDING HAS BEEN DESIGNED TO CARRY A MINIMUM LIVE LOAD AS SPECIFIED IN THE BUILDING CODE OF THE NY. LOADING IMPOSED BY THE CONTRACTOR ON A TEMPORARY OR PERMANENT BASIS SHALL NOT EXCEED SUCH SPECIFIED LOAD.

17. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL NOT CREATE ANY WORK STOPPAGE, PICKETING, LABOR DISRUPTION OR DISPUTE OR VIOLATE OWNER'S LABOR CONTRACTS AFFECTING THE BUILDING OR INTERFERE WITH THE BUSINESS OR USE OF THE BUILDING, IN THE EVENT OF THE OCCURRENCE OF ANY WORK STOPPAGE, PICKETING, LABOR DISRUPTION OR DISPUTE RESULTING FROM ACTIONS OR OMISSIONS OF THE GENERAL CONTRACTOR OR SUBCONTRACTORS OR ANY SUBTENANT OR CONCESSIONAIRE, OR THEIR RESPECTIVE EMPLOYEES, CONTRACTORS OR SUBCONTRACTORS. GENERAL CONTRACTOR SHALL IMMEDIATELY UPON NOTICE FROM LANDLORD, CEASE THE CONDUCT GIVING RISE TO SUCH CONDITION. THIS CLAUSE MUST BE PART OF ALL GENERAL CONTRACTOR AGREEMENTS AND IF SUCH CLAUSE IS NOT INCLUDED, IT WILL NOT RELIEVE THE GENERAL CONTRACTOR OF THE REQUIREMENTS OR WORK STATED HEREIN.

18. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTION OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MAHERS. SEE A.I.A. DOCUMENT A021 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, ARTICLE 3, SECTION 33.1 (1987 EDITION).

19. THE INTERIOR DESIGNER SHALL NOT HAVE CONTROL OVER OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. SEE A.I.A. DOCUMENT B141 STANDARD FORM OF AGREEMENT BETWEEN OWNER AND INTERIOR DESIGNER, ARTICLE 2, SECTION 2.6.6 (1987 EDITION).

20. WHEN BIDDING THIS PROJECT, EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND VERIFYING EXISTING CONDITIONS AS REFLECTED IN THESE CONTRACT DOCUMENTS. ANY EXTRA WORK REQUIRED BUT NOT INCLUDED IN THE DOCUMENTS SHALL BE REPORTED TO THE TENANT OR TENANT'S INTERIOR DESIGNER IMMEDIATELY. THE GENERAL CONTRACTORS AND ALL SUBCONTRACTORS ARE REQUIRED TO FURNISH THE FOLLOWING MINIMUM COVERAGE AND LIMITS OF LIABILITY: IF THE OWNER'S REQUIREMENT'S ARE MORE STRINGENT, CONTRACTORS ARE REQUIRED TO ADHERE TO MOST STRINGENT REQUIREMENTS.

A. WORKMAN'S COMPENSATION, AS REQUIRED BY STATE LAW, AND INCLUDING EMPLOYER'S LIABILITY INSURANCE WITH A LIMIT OF NOT LESS THAN \$2,000,000 AND ANY INSURANCE REQUIRED BY ANY EMPLOYEE BENEFITS ACTS OR OTHER STATUTES APPLICABLE WHERE THE WORK IS TO BE PERFORMED AS WILL PROTECT THE CONTRACTOR AND SUB CONTRACTORS FROM ANY AND ALL LIABILITY UNDER THE AFOREMENTIONED ACTS.

B. COMPREHENSIVE GENERAL LIABILITY INSURANCE (INCLUDING CONTRACTOR'S PROTECTIVE LIABILITY) IN AN AMOUNT NOT LESS THAN \$2,000,000 FOR ANY ONE OCCURRENCE WHETHER INVOLVING BODILY INJURY LIABILITY (OR DEATH RESULTING THEREFROM) OR PROPERTY DAMAGE LIABILITY OR A COMBINATION THEREOF WITH A AGGREGATE LIMIT OF \$2,000,000. SUCH INSURANCE SHALL PROVIDE FOR EXPLOSION, COLLAPSE AND UNDERGROUND COVERAGE. SUCH INSURANCE SHALL INSURE THE OWNER, FROM GENERAL CONTRACTOR'S AGAINST ANY AND ALL CLAIMS FOR BODILY INJURY, INCLUDING DEATH RESULTING THEREFROM AND DAMAGE TO OR DESTRUCTION OF PROPERTY OF ANY KIND WHATSOEVER AND TO WHOMEVER BELONGING AND ARISING FROM ITS OPERATIONS UNDER THE CONTRACT AND WHETHER SUCH OPERATIONS ARE PERFORMED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR ANY OF THEIR SUBCONTRACTORS, OR BY ANY ONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.

21. THE GENERAL CONTRACTOR AND OWNER, TO THE FULLEST EXTENT PERMITTED BY LAW ARE TO INDEMNIFY, HOLD HARMLESS, AND DEFEND THE ARCHITECT/ENGINEER, ITS CONSULTANTS, AND THE EMPLOYEES AND AGENTS OF ANY OF THEM FROM AND AGAINST ANY AND ALL CLAIMS, SUITS, DEMANDS, LIABILITIES, LOSSES, DAMAGES, AND COSTS ("LOSSES"), INCLUDING BUT NOT LIMITED TO COSTS OF DEFENSE, ARISING IN WHOLE OR IN PART OUT OF THE NEGLIGENCE OF THE CONTRACTOR, ITS SUBCONTRACTORS, THE OFFICERS, EMPLOYEES, AGENTS AND SUBCONTRACTORS OF ANY OF THEM, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT SUCH LOSSES ARE CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. SPECIFICALLY EXCLUDED FROM THE FOREGOING ARE LOSSES ARISING OUT OF (1) THE PREPARATION OR APPROVAL OF MAPS, DRAWINGS, OPINIONS, REPORTS SURVEYS, CHANGE ORDERS, DESIGNS, OR SPECIFICATIONS, AND (2) THE GIVING OF OR FAILURE TO GIVE DIRECTIONS BY THE INTERIOR DESIGNER, ITS CONSULTANTS, AND THE AGENTS AND EMPLOYEES OF ANY OF THEM. PROVING SUCH GIVING OR FAILURE TO GIVE IS THE PRIMARY CAUSE OF LOSS.

22. THE GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE ALL PERSONS AND SUBCONTRACTOR WORKING ON THIS PROJECT WITH THESE GENERAL NOTES AND THE CONTRACT DOCUMENTS NOTED IN THESE DRAWINGS.

23. THE CONTRACTORS SHALL BE RESPONSIBLE FOR FULLY ACQUAINTING THEMSELVES WITH THE CONTENT AND SCOPE OF THESE SPECIFICATIONS, AND SPECIAL ATTENTION SHOULD BE GIVEN TO THE SPECIFICATIONS THROUGHOUT THE SPAN OF THIS PROJECT. IF WORK IS DECLARED UNACCEPTABLE BY THE OWNER, IT SHALL BE CORRECTED IN A MANNER AND TO A DEGREE OF QUALITY WHICH IS ACCEPTABLE BY THE OWNER.

C. THE GENERAL CONDITIONS OF THE "CONTRACT FOR CONSTRUCTION" DOCUMENT A-201, ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS, 1981 EDITION, RELATES TO THE WORK OF THIS PROJECT AND IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED IN THESE DRAWINGS.

24. THE TENANT'S GENERAL CONTRACTORS AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY NUMBER OF COPIES OF DOCUMENT A-201, TO ACQUAINT HIMSELF WITH THE ARTICLES CONTAINED THEREIN AND TO REVIEW WITH ALL SUBCONTRACTORS, SUPPLIERS AND ANY OTHER PARTIES TO THE CONTRACT OR INDIVIDUALS OR AGENCIES ENGAGED ON THE WORK AS TO ITS CONTENTS.

25. THE ARCHITECT OR OWNER MAY ORDER EXTRA WORK, ALTER, ADD TO, OR DEDUCT FROM THE CONTRACT WORK, THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY, AND SUCH COSTS SHALL BE COMPETITIVE WITH LOCAL CONSTRUCTION COSTS.

AT THE TIME OF FINAL SUBMITTAL OF BID: ALL COSTS BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS TO COMPLETELY FURNISH AND COMPLETE THE WORK CONTAINED IN THESE PLANS.

A WRITTEN GUARANTEE STIPULATING THE WORKMANSHIP & MATERIALS ARE TO BE GUARANTEE FOR ONE YEAR AT NO ADDITIONAL COST TO THE OWNER. ANY DEFECTIVES IN WORKMANSHIP OR MATERIALS SHALL BE REPAIRED OR REPLACED FOR THE SAME PERIOD OF ONE YEAR AFTER ACCEPTANCE OF WORK, UNLESS OTHERWISE NOTED.

NO CONSTRUCTION EXTRAS FOR MATERIALS OR LABOR WILL BE CONSIDERED OR PAID WITHOUT THE DIRECT AUTHORIZATION AND APPROVAL IN WRITING BY THE ARCHITECT OR OWNER, AGREEING TO SUCH COST. THE ISSUANCE OF CREDITS TO BE CALCULATED BASED ON COMPETITIVE RATES AND EQUIPMENT COSTS APPROVED BY THE ARCHITECT.

THE GENERAL CONTRACTOR SHALL UNLOAD, PROTECT AND INSTALL (INSTALL ONLY IF NOTED TO DO SO), FIXTURES AND FURNISHINGS.

THE ARCHITECT LEAVES ZERO OR MINIMAL CLEARANCE FOR ERROR IN REGARD TO FIXTURE LAYOUT. "HOLD DIMENSION" INDICATIONS ARE TO BE ADHERED.

ALL DIMENSIONS

TO BE FIELD

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SCOPE OF WORK:

NEW 2 STORY & CELLAR  
ADDITION

REVISIONS	DATE	BY
	02-02-2024	

DeFONSECA

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PROJECT

HARVESTS  
CHURCH  
2368 ROUTE 90  
WAPPINGER FALLS 12590  
DUCHESS COUNTY NY

GENERAL NOTES

SEAL & SIGNATURE



DATE: 11-17-2023

PROJECT No.:

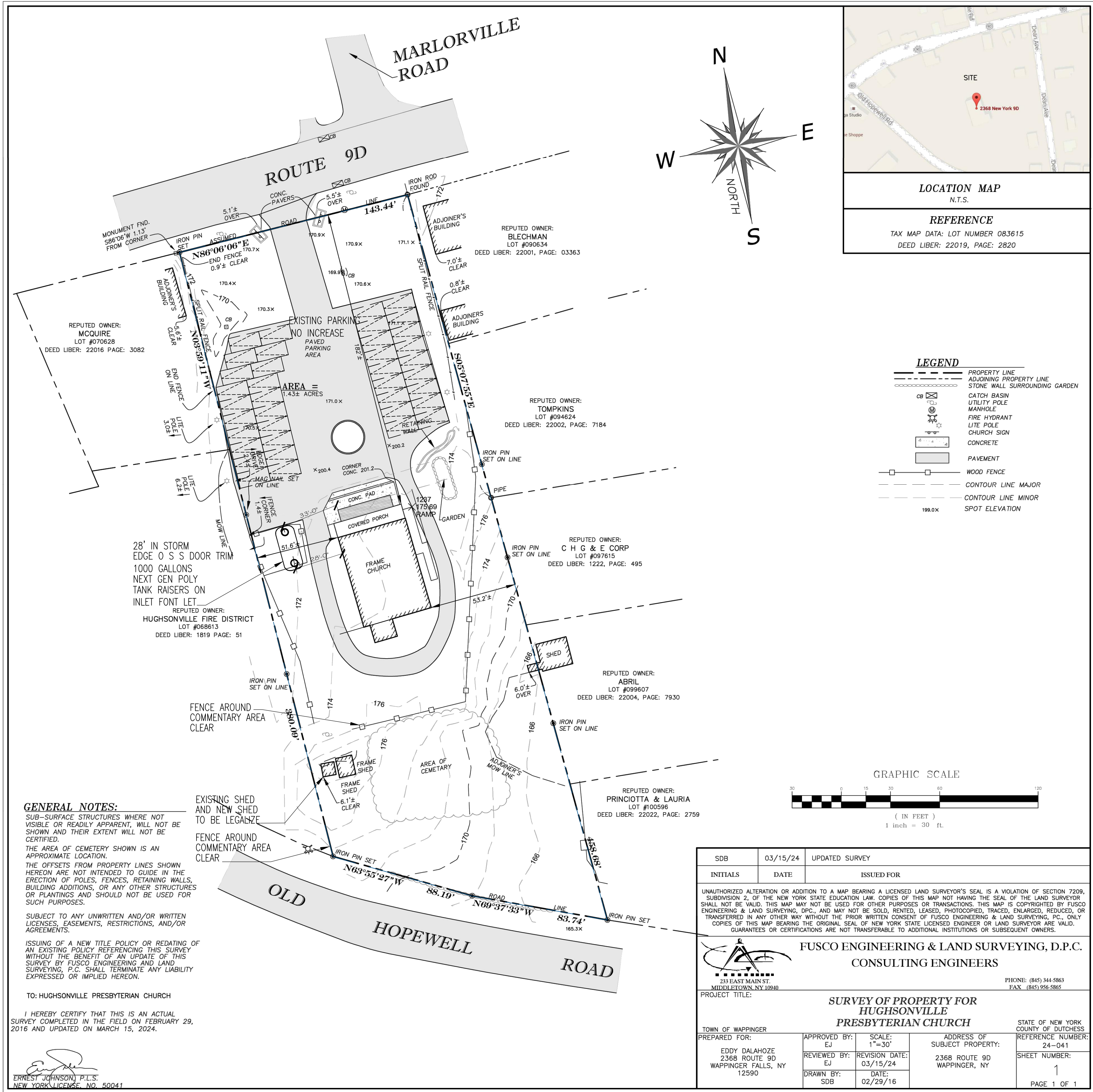
DRAWING BY:

CHECKED BY:

DWG. No.: G-002.00

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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT

**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE

**EXISTING PLOT PLAN**  
**PLOT PLAN**

SEAL & SIGNATURE

DATE: 11/17/2023

PROJECT No.:

DRAWING BY: JGD, RV

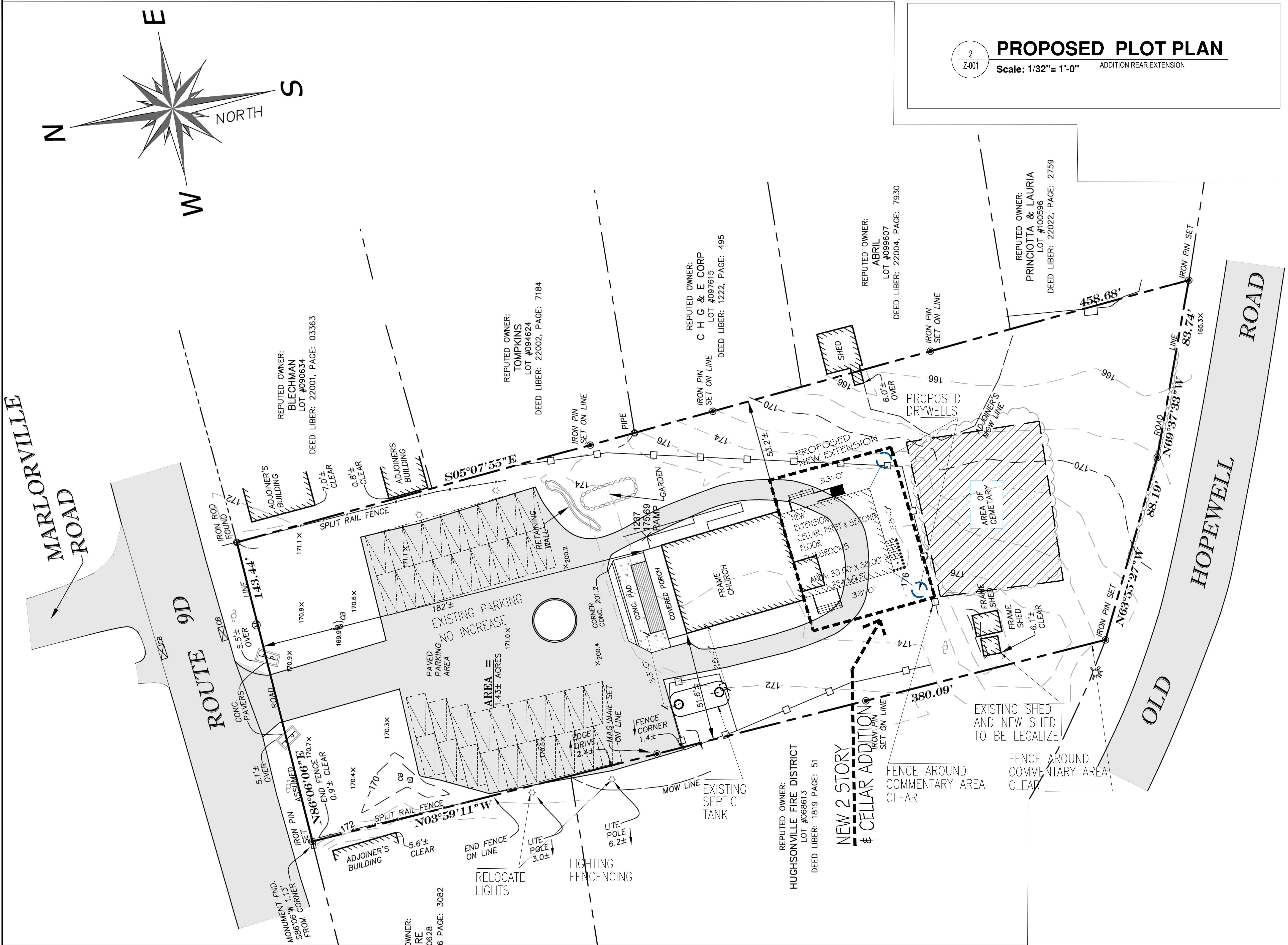
CHECKED BY: JCD

DWG. No.: **Z-001.00**

SHEET No. OF

PROGRESS PRINT : 4-5-2024





2  
Z-001

PROPOSED PLOT PLAN

Scale: 1/32"= 1'-0" ADDITION REAR EXTENSION

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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT

HARVEST CHURCH  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE:

PROPOSED PLOT PLAN  
PLOT PLAN

SEAL & SIGNATURE

DATE: 11/17/2023

PROJECT No.:

DRAWING BY: JGD, RV

CHECKED BY: JCD

DWG. No.:

Z-002.00

SHEET No. OF

PROGRESS PRINT - 4-5-2024



**ZONING MAP OF THE TOWN OF WAPPINGER, DUTCHESS COUNTY, NY**

April 25, 2011  
revised as of October 26, 2021

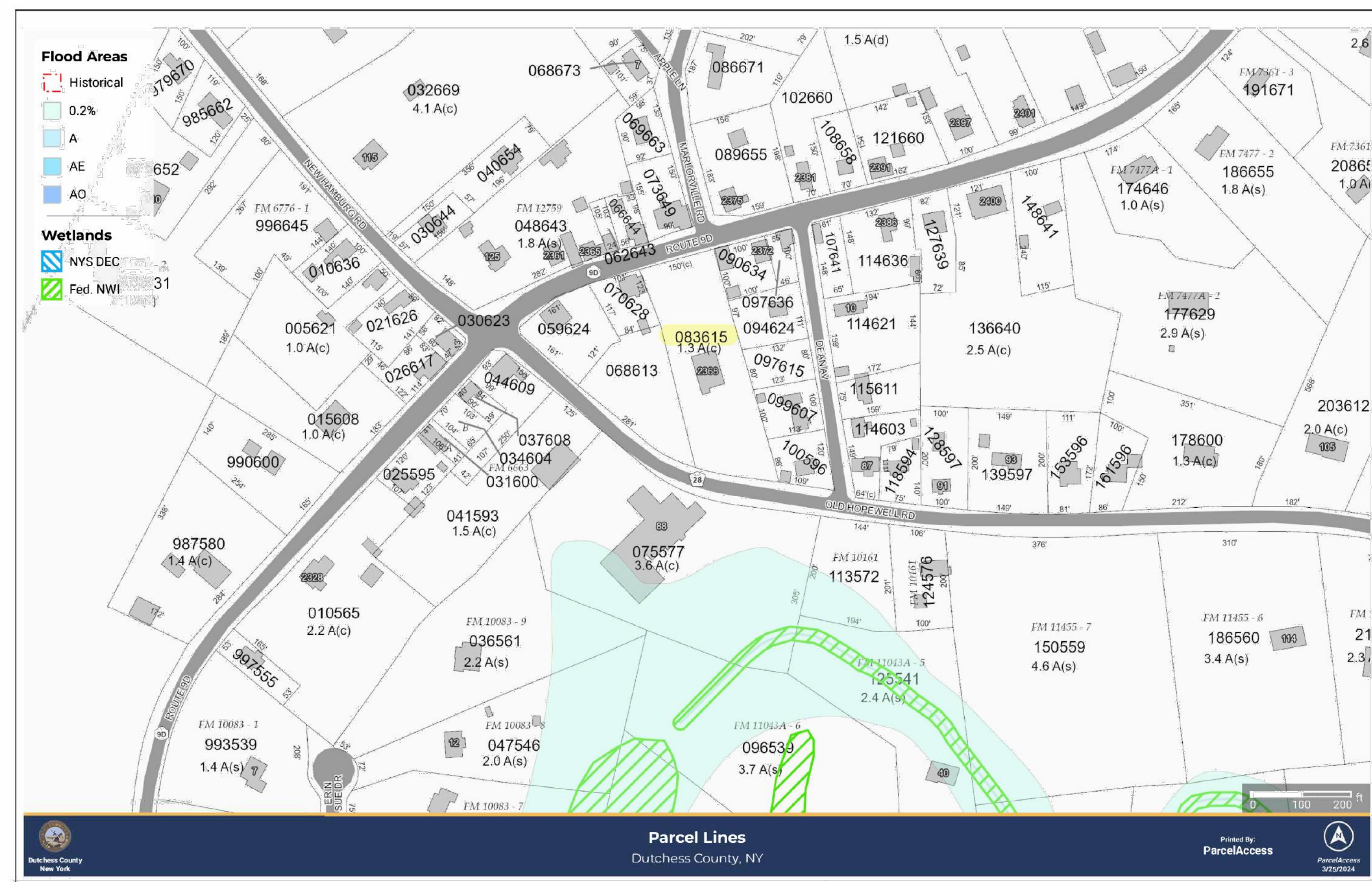
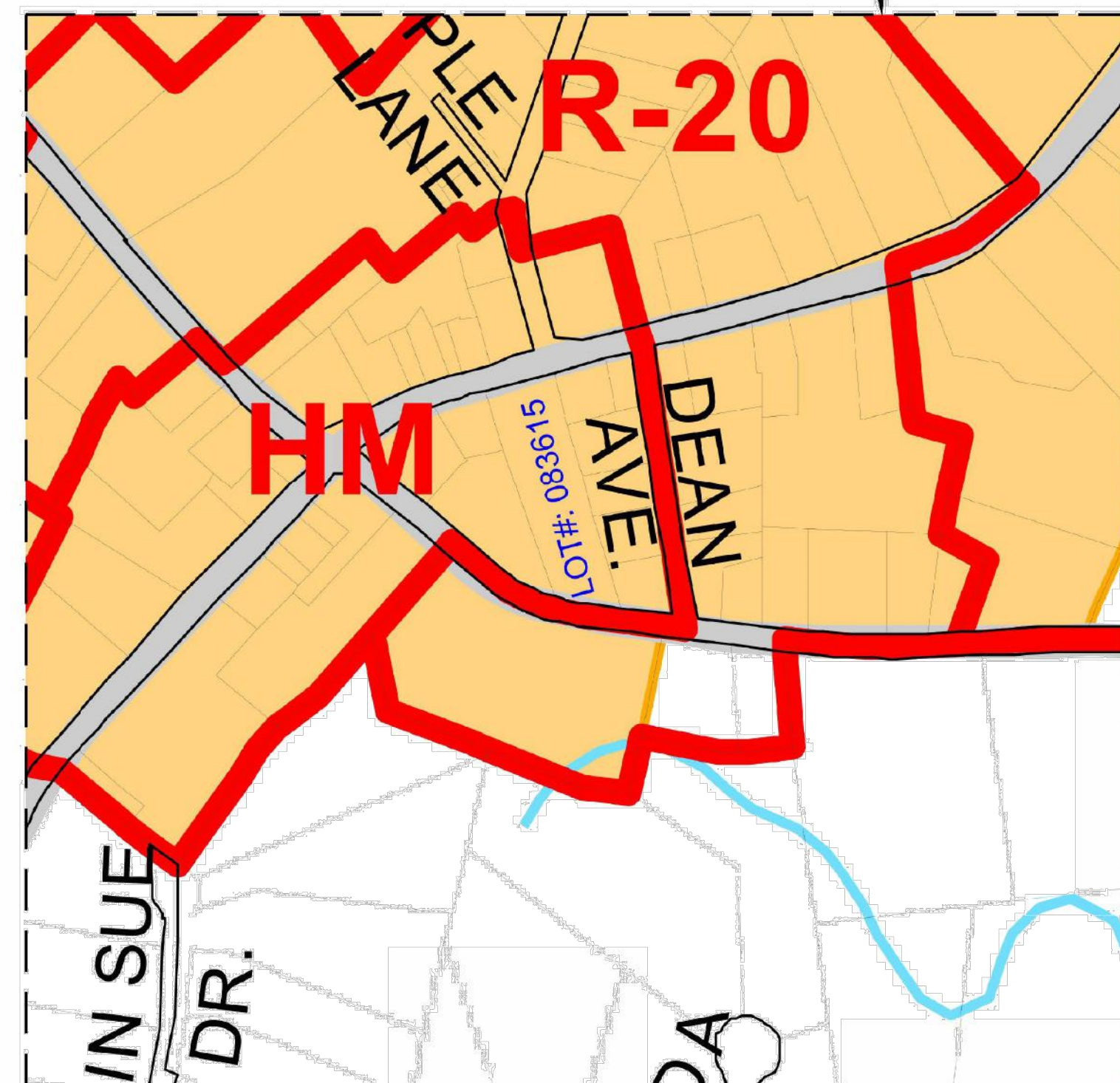
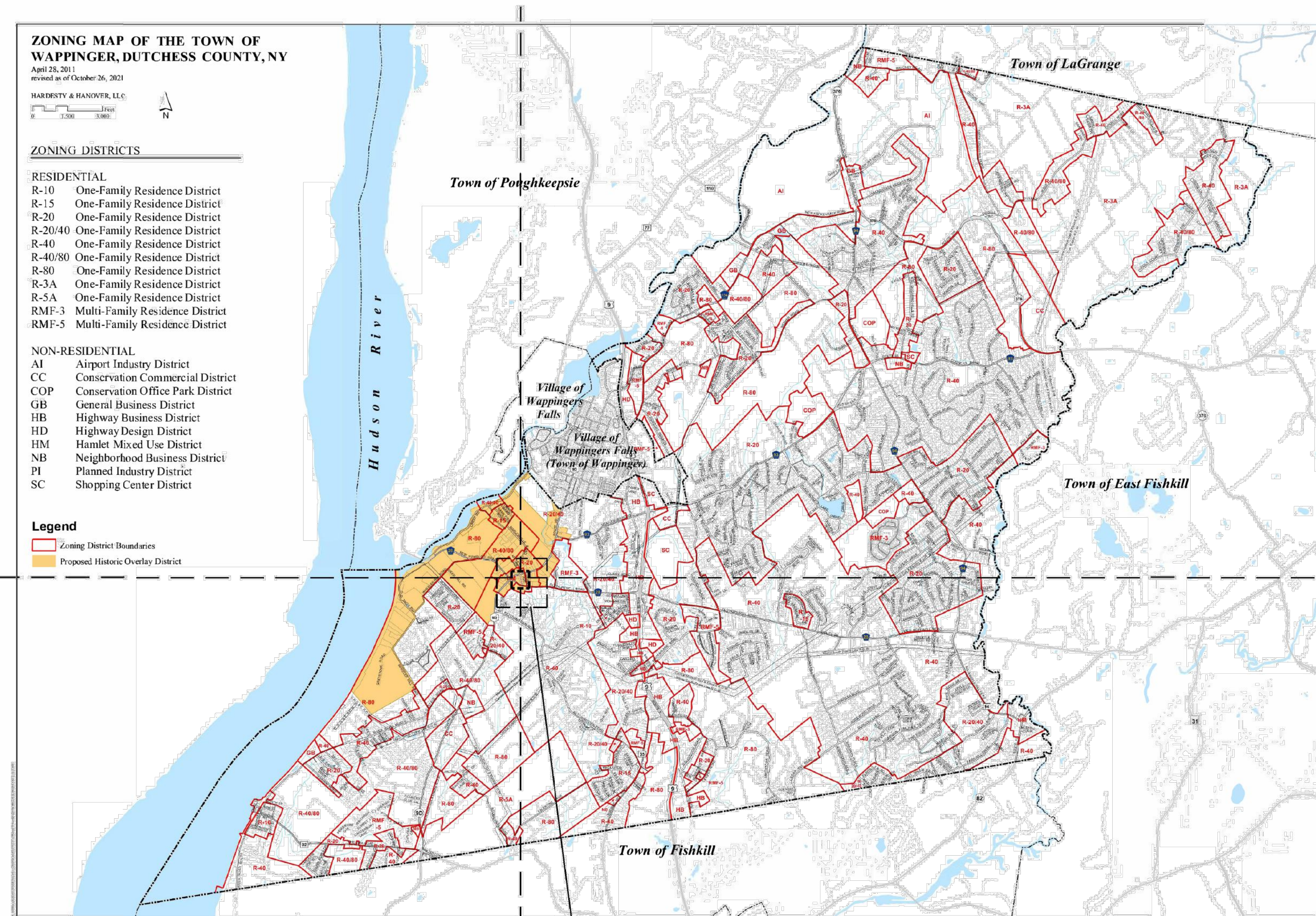
HARDISTY & HANOVER, LLC

**ZONING DISTRICTS**

**RESIDENTIAL**  
R-10 One-Family Residence District  
R-15 One-Family Residence District  
R-20 One-Family Residence District  
R-20/40 One-Family Residence District  
R-40 One-Family Residence District  
R-40/80 One-Family Residence District  
R-80 One-Family Residence District  
R-3A One-Family Residence District  
R-5A One-Family Residence District  
RME-3 Multi-Family Residence District  
RME-5 Multi-Family Residence District

**NON-RESIDENTIAL**  
AI Airport Industry District  
CC Conservation Commercial District  
COP Conservation Office Park District  
GB General Business District  
HB Highway Business District  
HD Highway Design District  
HM Hamlet Mixed Use District  
NB Neighborhood Business District  
PI Planned Industry District  
SC Shopping Center District

**Legend**  
Zoning District Boundaries  
Proposed Historic Overlay District



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**SCOPE OF WORK**

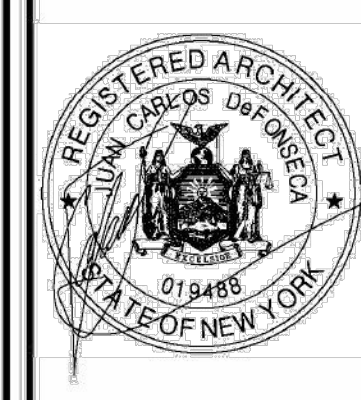
NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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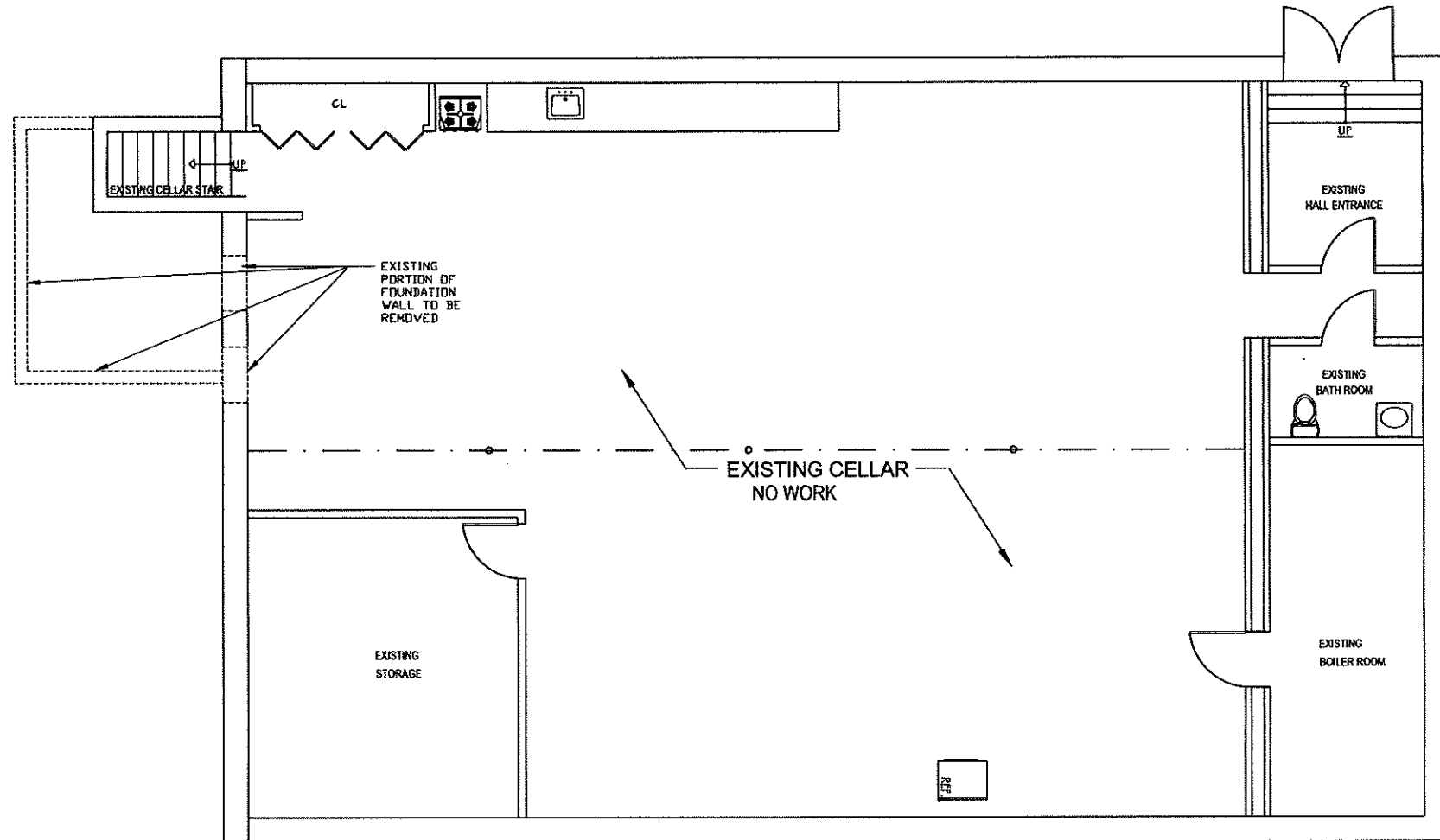
**PROJECT**  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

**TITLE:**  
**ZONING MAP,  
FLOOD AREAS  
AND WETLANDS**

**SEAL & SIGNATURE**  
  
**DATE:** 11/17/2023  
**PROJECT No.:**  
**DRAWING BY:** JGD/RV  
**CHECKED BY:** JCD  
**DWG. No.:**  
**Z-003.00**  
**SHEET** **OF**  
**No.**

PROGRESS PRINT: 4-5-2024





1  
A-001  
**EXISTING & DEMO CELLAR**  
Scale: 1/4" = 1'-0"

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**SCOPE OF WORK**

**NEW 2 STORY &  
CELLAR ADDITION**

REVISIONS	DATE	BY

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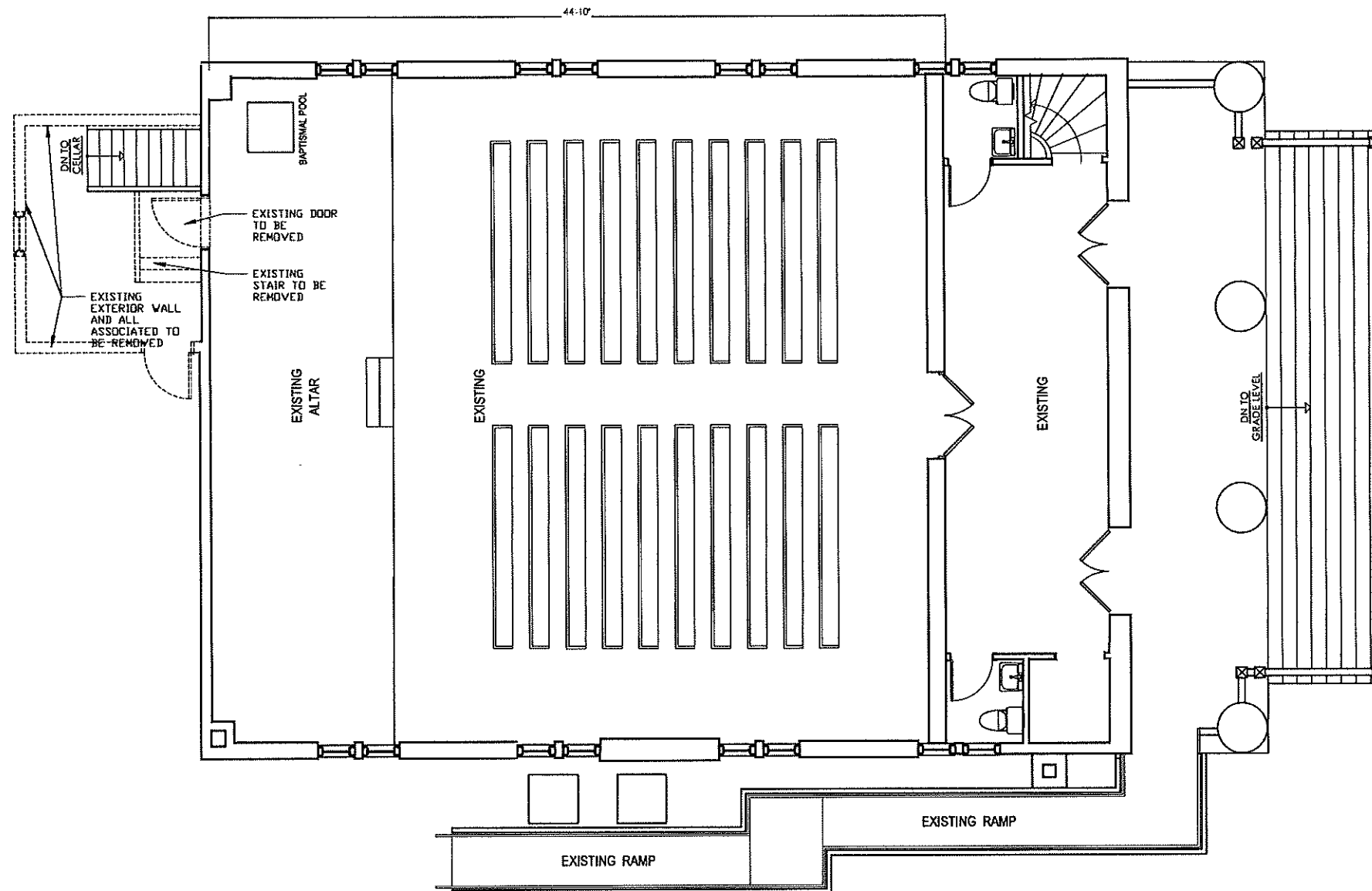
PROJECT  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE:  
**EXISTING & DEMO  
CELLAR FLOOR PLAN**

<b>SEAL &amp; SIGNATURE</b> 	DATE: 11/17/2023
	PROJECT NO.:
	DRAWING BY: JGD, RV
	CHECKED BY: JCD
	DWG. No.: A-001.00
SHEET No.:	OF

PROGRESS PRINT : 4-5-2024





1  
A-002

**EXISTING & DEMO FIRST FLOOR PLAN**

Scale: 1/4" = 1'-0"

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NEW 2 STORY &  
CELLAR ADDITION

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PROJECT

**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE

**EXISTING & DEMO  
FIRST FLOOR PLAN**

SEAL & SIGNATURE

DATE: 11/17/2023

PROJECT No.:  

DRAWING BY: JGD, RV

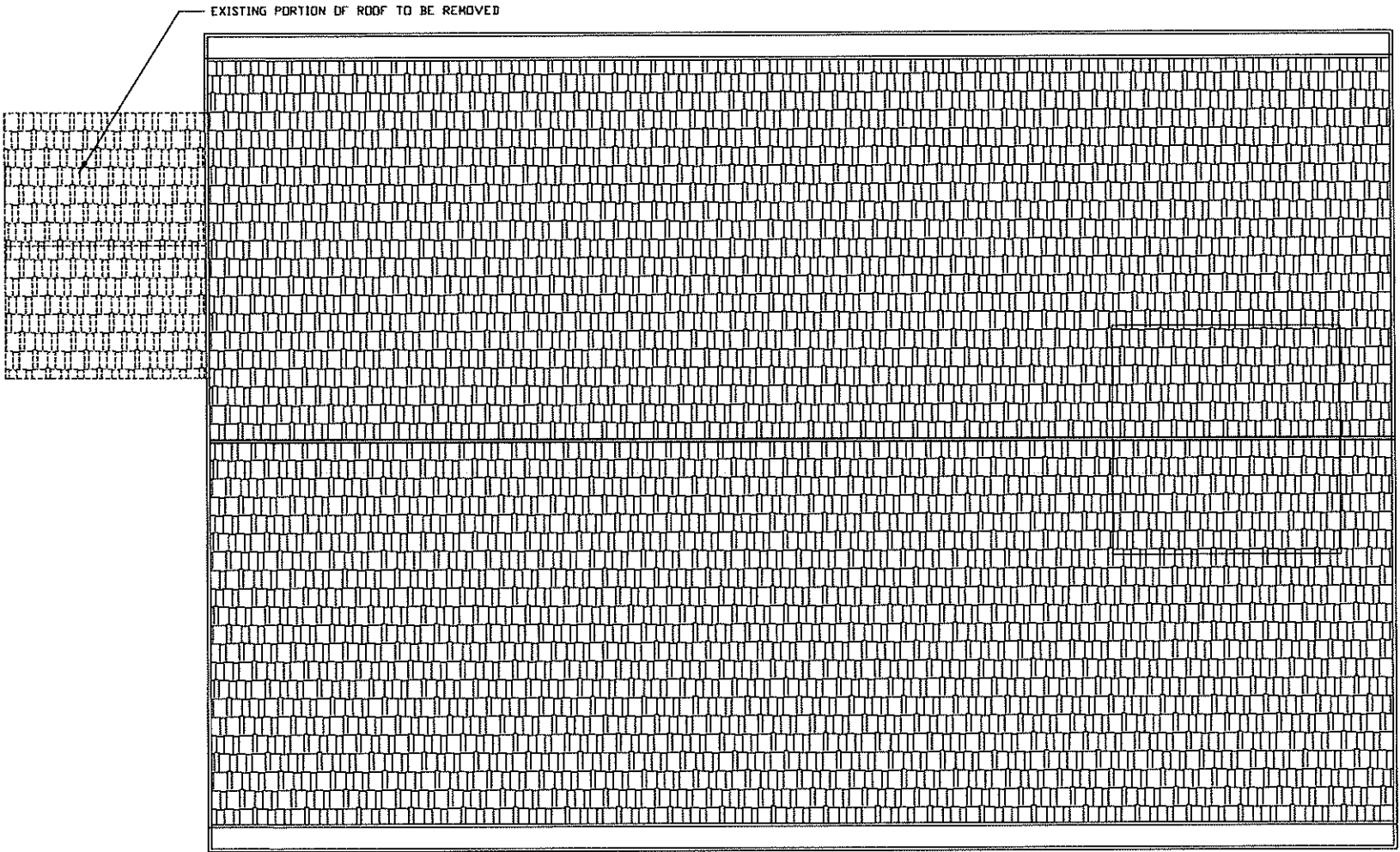
CHECKED BY: JCD

DWG. No.: **A-002.00**

SHEET No.  OF

PROGRESS PRINT - 4-5-2024





1  
A-003

**EXISTING & DEMO ROOF PLAN**

Scale: 1/4" = 1'-0"

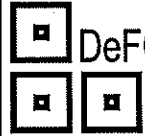
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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY



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PROJECT

**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE:

**EXISTING & DEMO  
ROOF PLAN**

SEAL & SIGNATURE



DATE: 11/17/2023

PROJECT No.:

DRAWING BY: JGD, RV

CHECKED BY: JCD

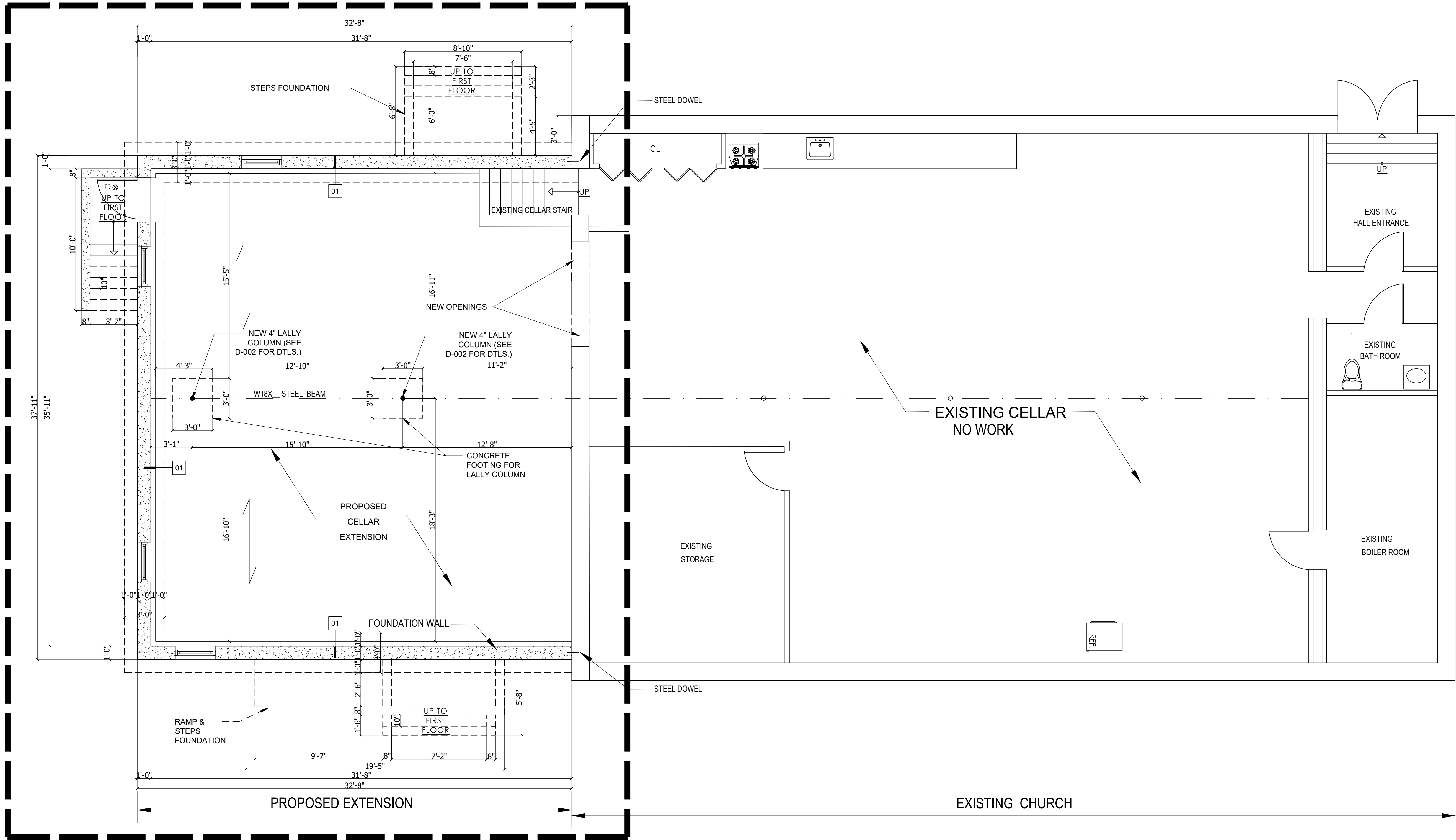
DWG. No.: **A-003.00**

SHEET No.    OF

PROGRESS PRINT : 4-8-2024



AREA OF WORK



1  
A-101

**PROPOSED CELLAR FLOOR PLAN**  
Scale: 1/4"= 1'-0" AREA. 1,212.46 SQ. CELLAR

LEGEND

- EXISTING FOUNDATION
- NEW FOUNDATION

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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT

**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE

**PROPOSED  
CELLAR  
FLOOR PLAN**

SEAL & SIGNATURE

DATE: 11/17/2023

PROJECT No.:

DRAWING BY: JGD, RV

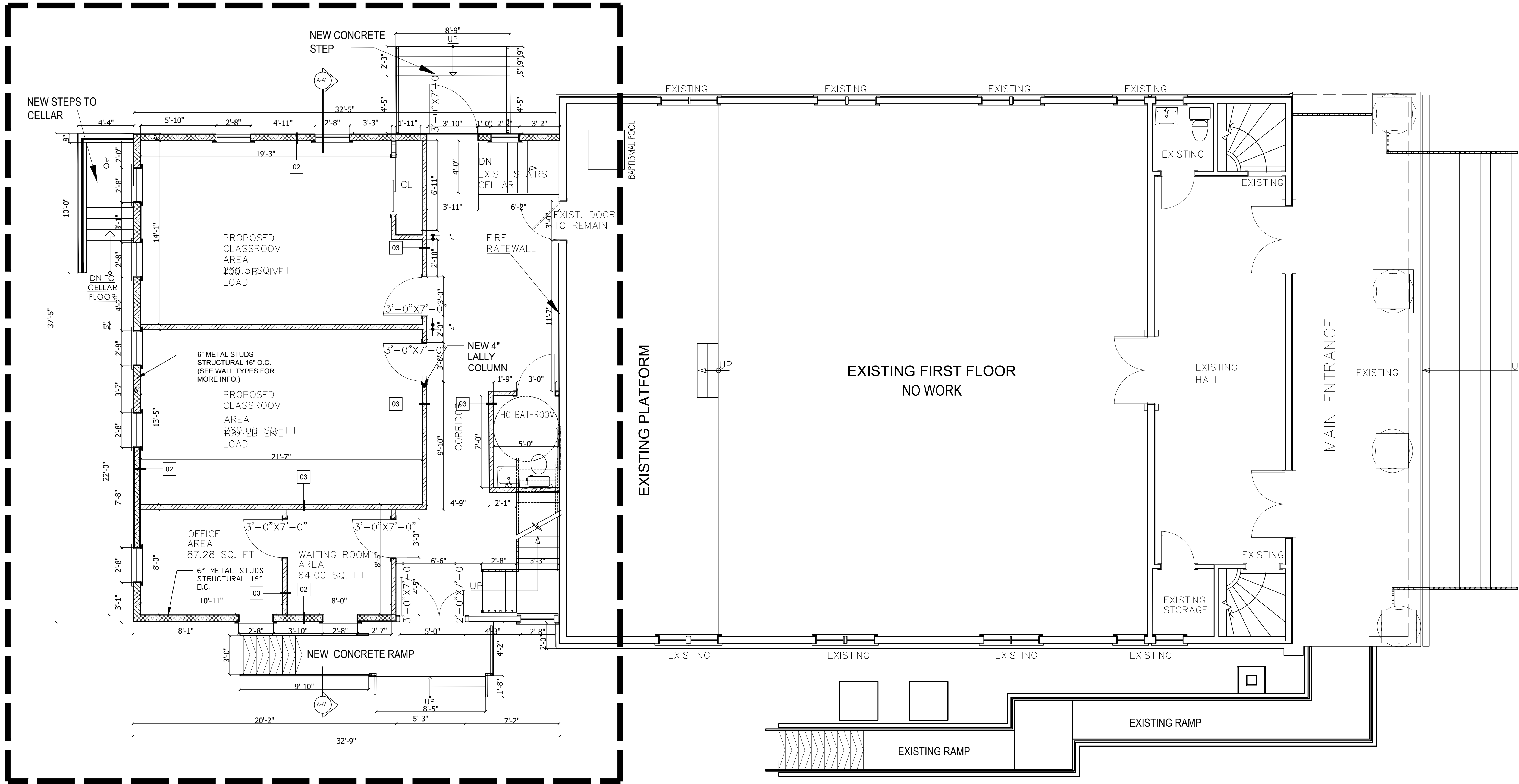
CHECKED BY: JCD

DWG. No.: **A-101.00**

SHEET No. OF



AREA OF WORK



1  
A-102

**PROPOSED FIRST FLOOR PLAN**  
Scale: 1/4" = 1'-0" AREA. 1,212.46 SQ. 1st FLOOR

LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING INTERIOR WALL
	NEW EXTERIOR PARTITION 2x6 (SEE A-451 FOR DETAILS)
	NEW INTERIOR PARTITION 2x4 (SEE A-451 FOR DETAILS)
	NEW CONCRETE FOUNDATION (SEE A-451 FOR DETAILS)

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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

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PROJECT  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

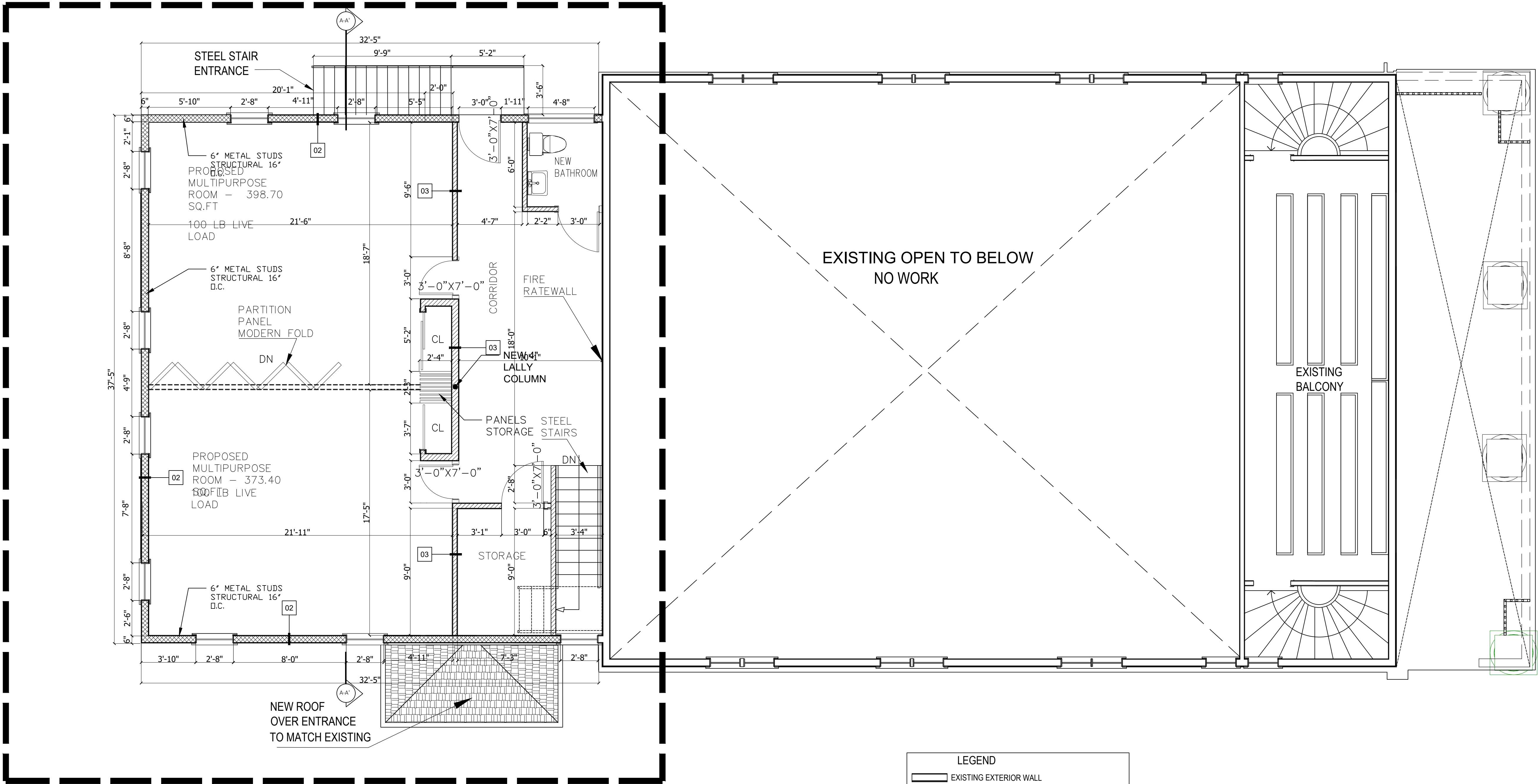
TITLE  
**PROPOSED  
FIRST  
FLOOR PLAN**

<b>SEAL &amp; SIGNATURE</b> 	DATE: 11/17/2023
	PROJECT No.:
	DRAWING BY: JGD, RV
	CHECKED BY: JCD
	DWG. No.: <b>A-102.00</b>
SHEET No.	OF

PROGRESS PRINT : 4-5-2024



AREA OF WORK



1  
A-103

PROPOSED SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

AREA. 1,212.46 SQ. 2nd FLOOR

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CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE  
**PROPOSED  
SECOND  
FLOOR PLAN**

SEAL & SIGNATURE



DATE: 11/17/2023

PROJECT No.:

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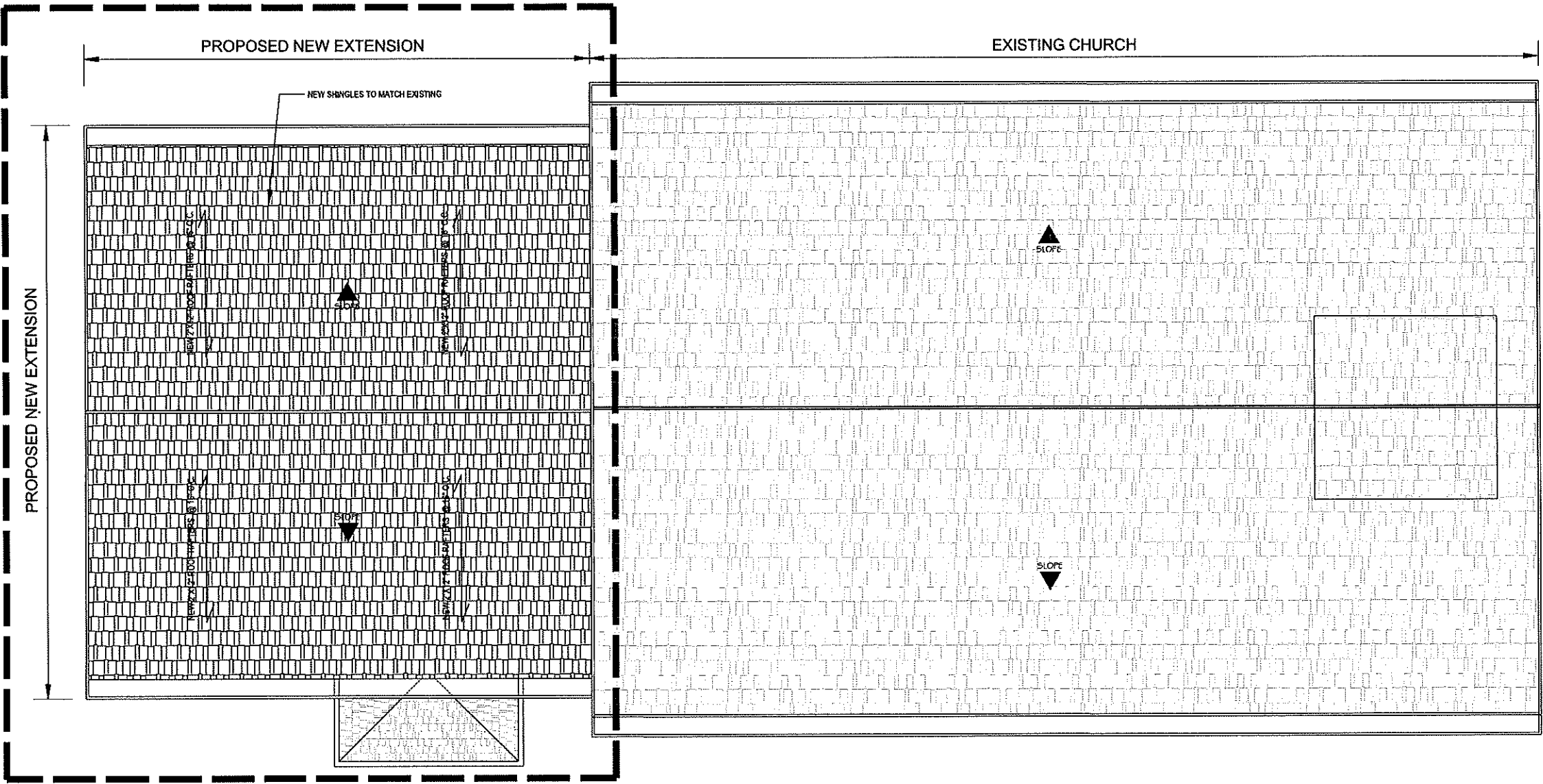
**A-103.00**

SHEET No. OF

PROGRESS PRINT : 4-5-2024



AREA OF WORK



1  
A-104

PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"

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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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ARCHITECTS

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PROJECT

HARVEST CHURCH  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE

PROPOSED  
ROOF PLAN

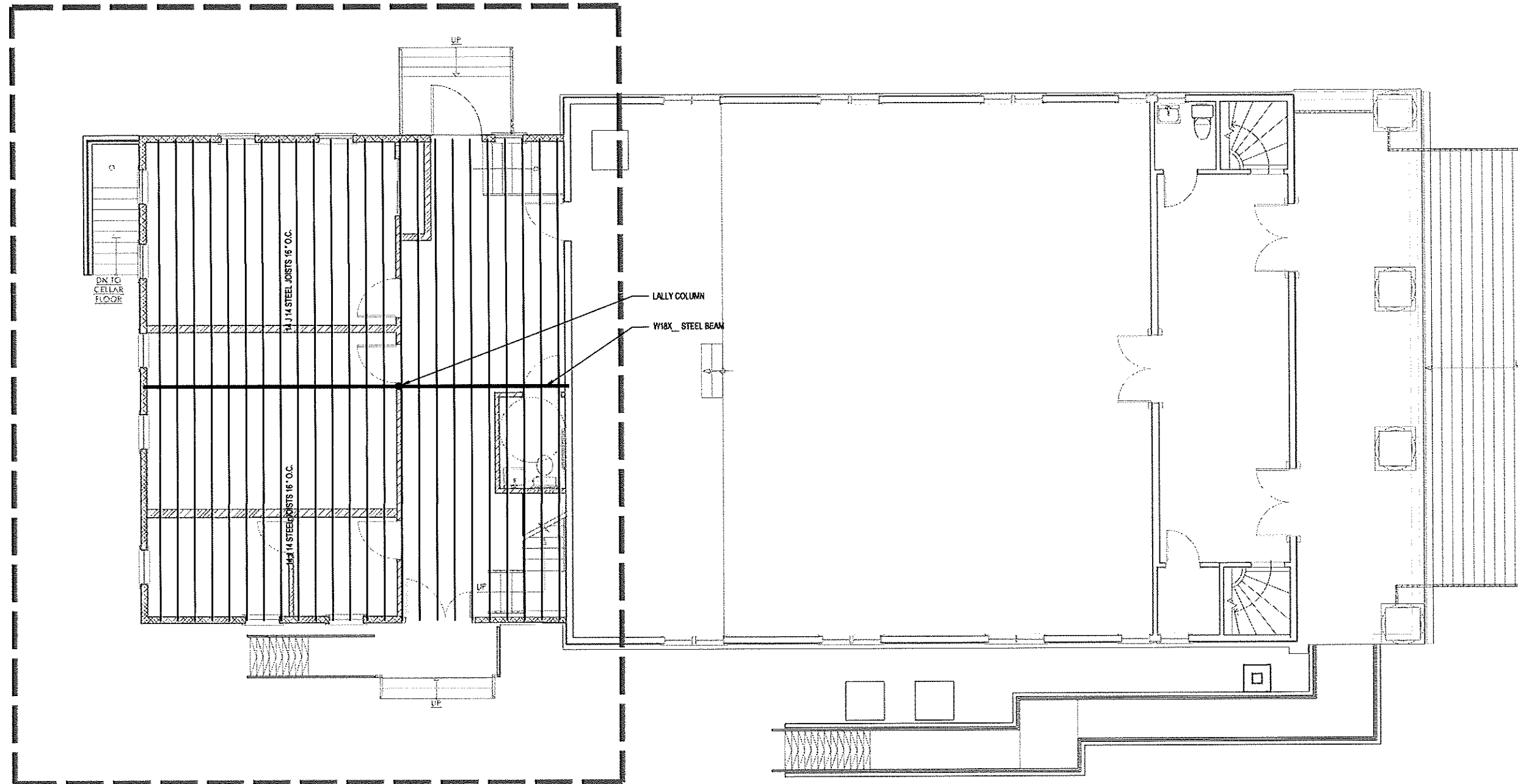
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CHECKED BY: JGD  
DWG. No.:  
A-104.00  
SHEET No. OF

PROGRESS PRINT : 4.5.2024



AREA OF WORK



**PROPOSED 1ST FL. FRAMING PLAN**  
Scale: 1/4" = 1'-0"

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**SCOPE OF WORK**

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT  
**HARVEST CHURCH**  
2368 ROUTE NY-9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

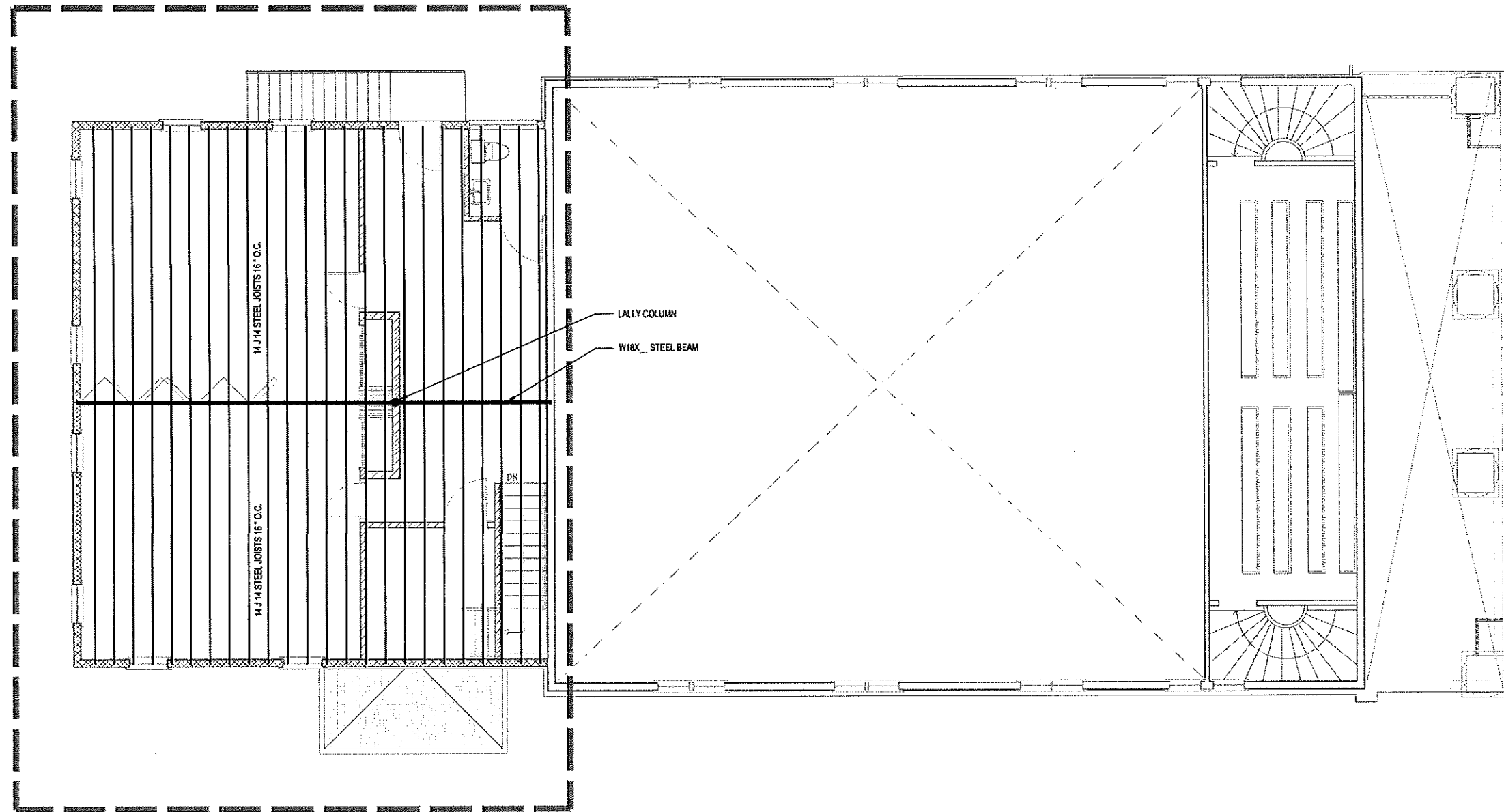
TITLE  
**PROPOSED  
1ST FLOOR  
FRAMING PLAN**

<b>SEAL &amp; SIGNATURE</b> 	DATE: 03/04/2024
	PROJECT No.:
	DRAWING BY: RV
	CHECKED BY: JCD
	DWG. No.: A-151.00
SHEET No.	OF

PROGRESS PRINT: 4-5-2024



AREA OF WORK



**PROPOSED 2ND FL. FRAMING PLAN**  
Scale: 1/4" = 1'-0"

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**SCOPE OF WORK**


NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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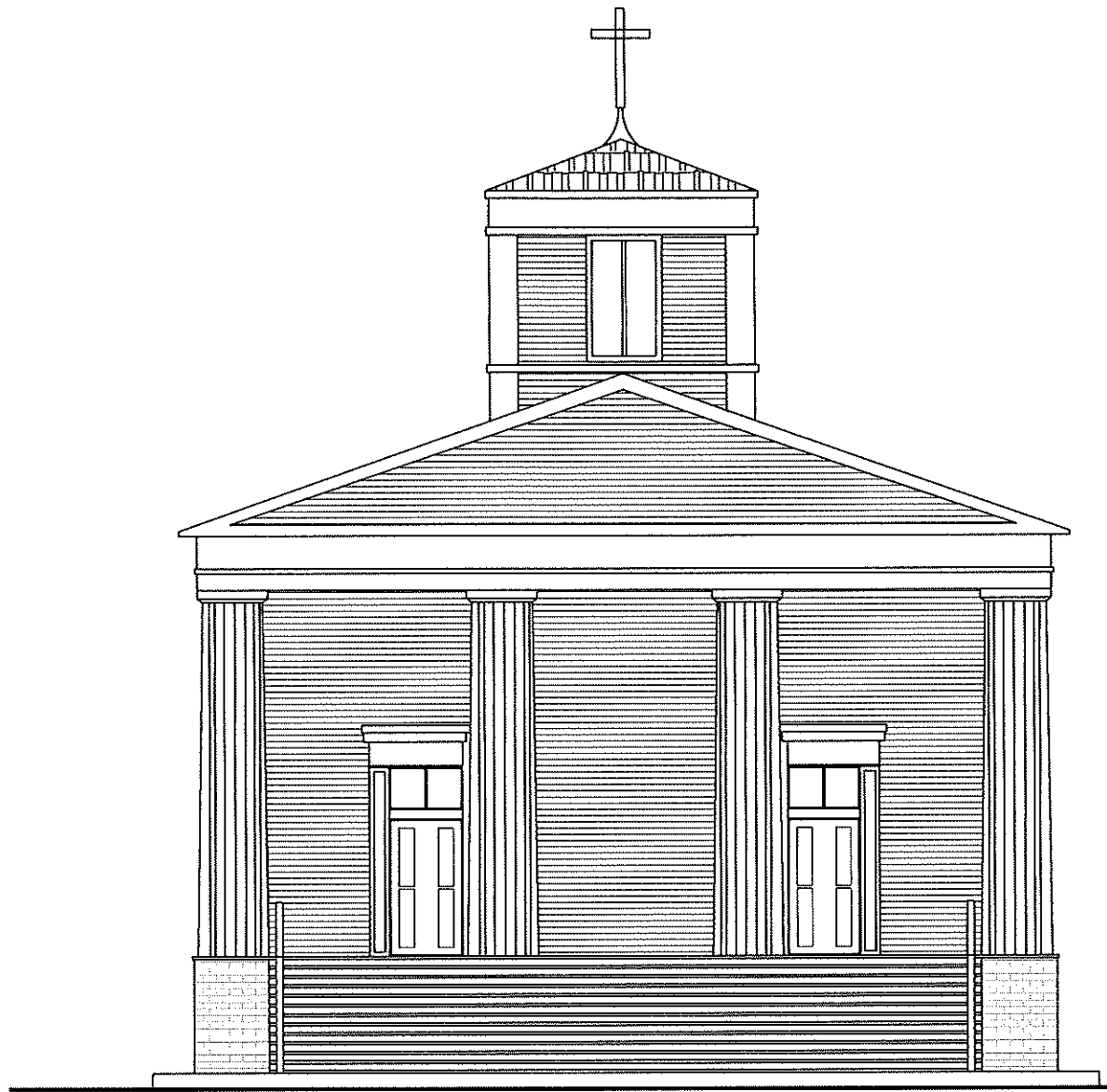
PROJECT  
**HARVEST CHURCH**  
2368 ROUTE NY-9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE  
**PROPOSED  
2ND FLOOR  
FRAMING PLAN**

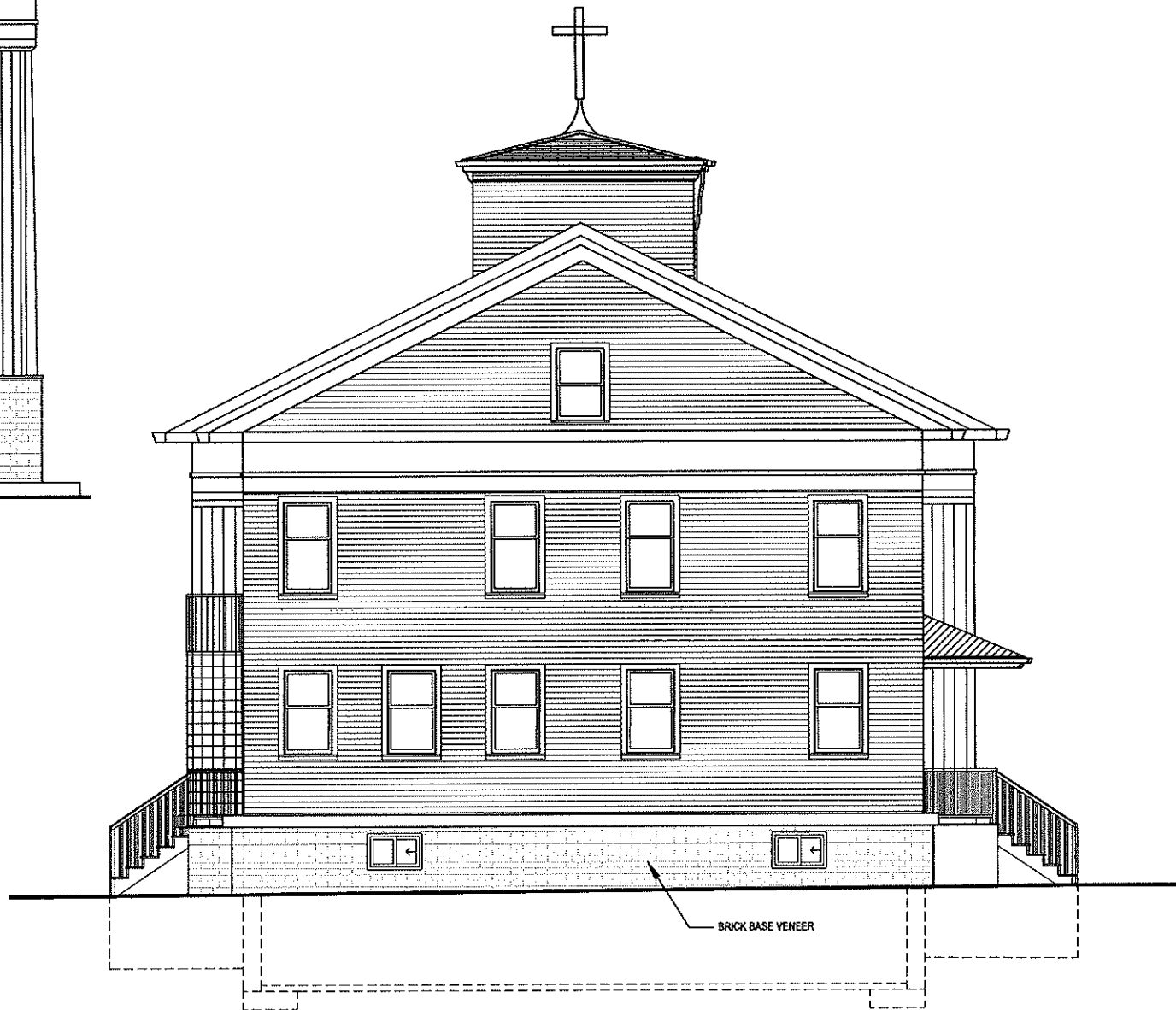
SEAL & SIGNATURE  
  
DATE: 03/04/2024  
PROJECT No.:  
DRAWING BY: RV  
CHECKED BY: JCD  
DWG. No.:  
**A-152.00**  
SHEET No. OF

PROGRESS PRINT - 4-8-2024





1  
A-201  
**EXISTING FRONT ELEVATION**  
Scale: 1/4" = 1'-0"  
NO WORK



2  
A-201  
**PROPOSED REAR ELEVATION**  
Scale: 1/4" = 1'-0"

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**SCOPE OF WORK**


NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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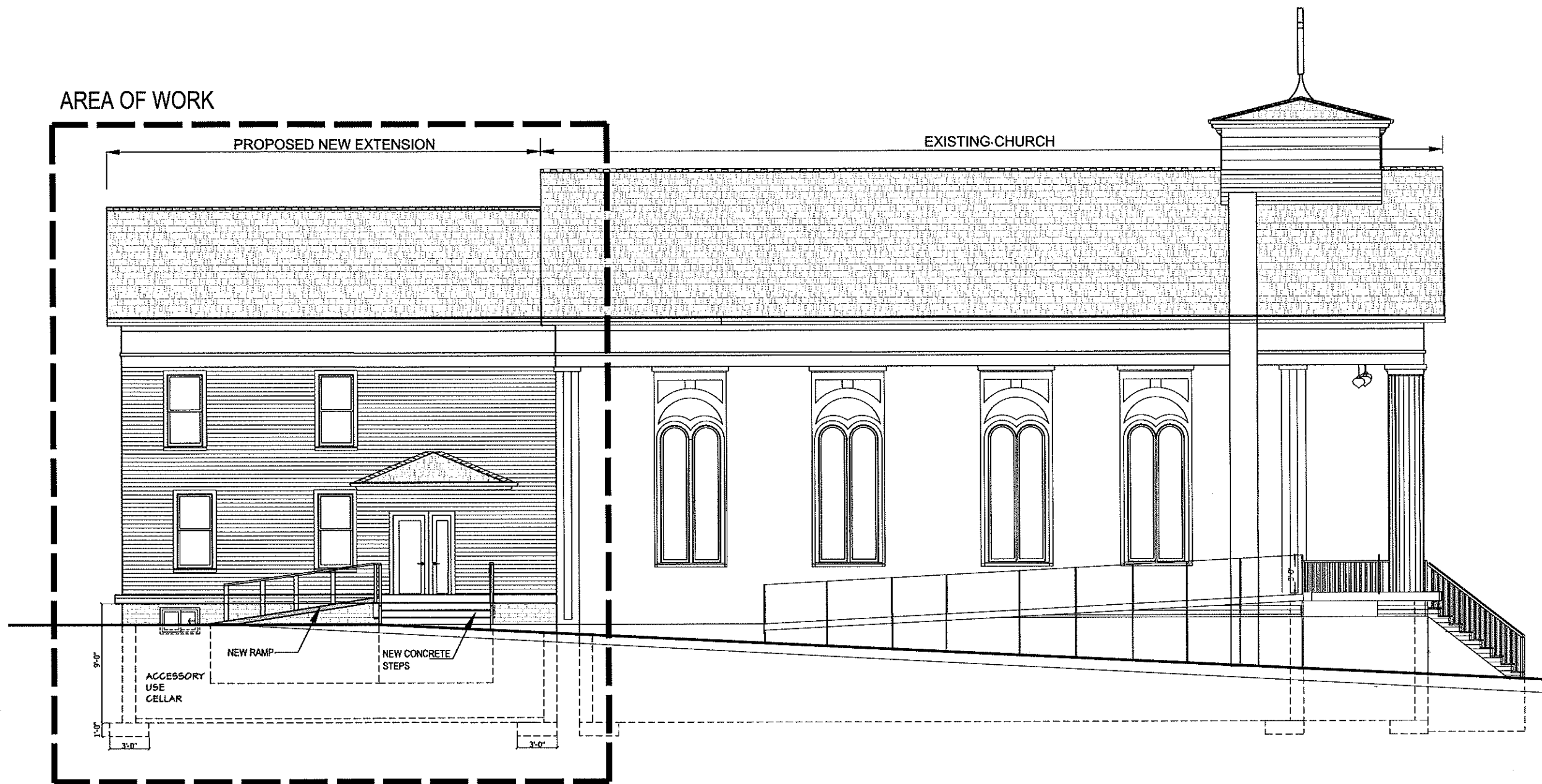
PROJECT  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE  
**FRONT & REAR  
ELEVATIONS**

SEAL & SIGNATURE  
  
DATE: 11/17/2023  
PROJECT No.:  
DRAWING BY: JGD.RY  
CHECKED BY: JCD  
DWG. No.:  
**A-201.00**  
SHEET No. OF

PROGRESS PRINT : 4-5-2024





1  
A-202

## PROPOSED EAST (LEFT SIDE) ELEVATION

Scale: 1/4" = 1'-0"

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### SCOPE OF WORK


NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

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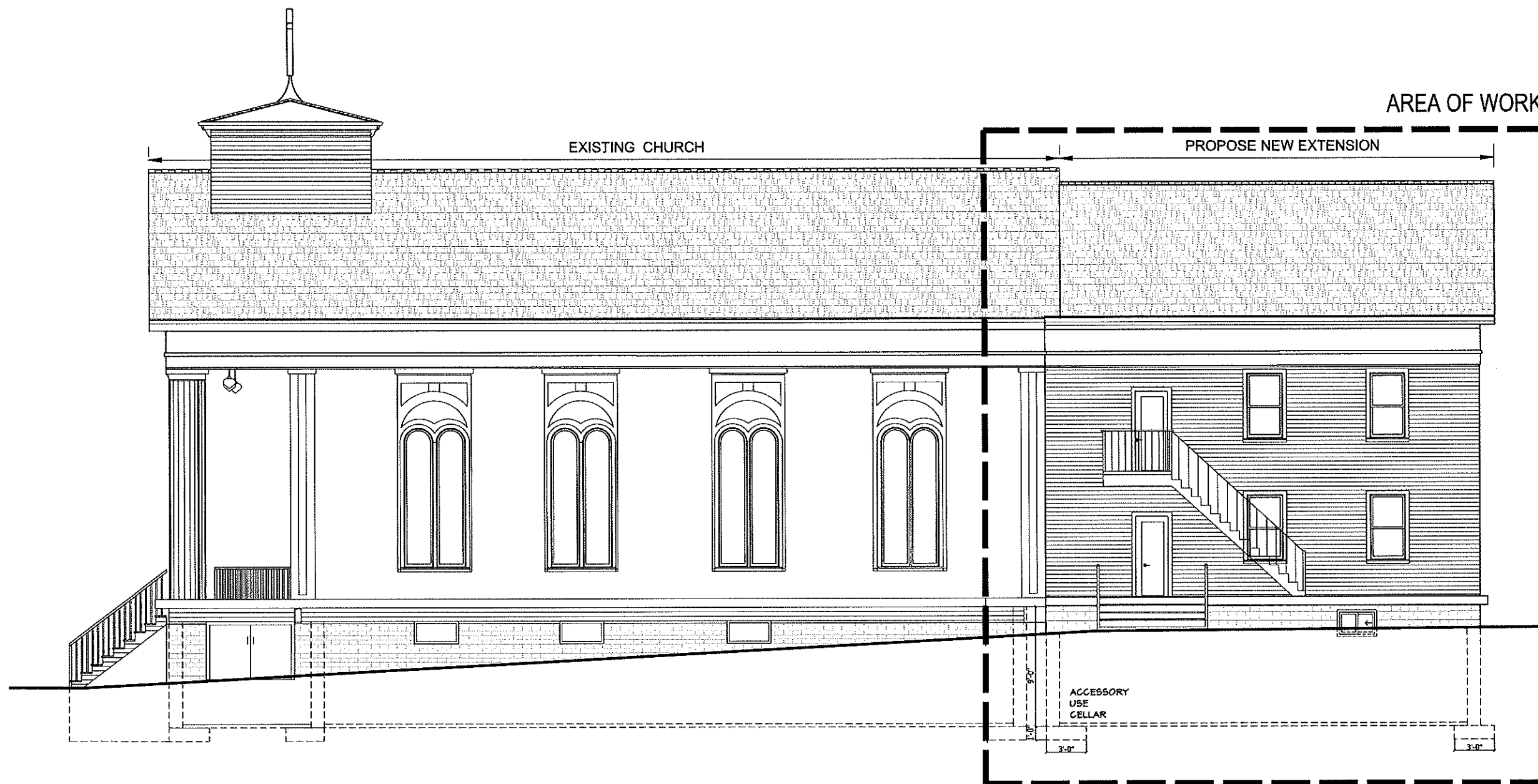
PROJECT  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE  
**PROPOSED  
EAST (LEFT SIDE)  
ELEVATION**

SEAL & SIGNATURE  
  
DATE: 11/17/2023  
PROJECT No.:  
DRAWING BY: JGD,RY  
CHECKED BY: JCD  
DWG. No.: A-202.00  
SHEET No. OF

PROGRESS PRINT - 4-5-2024





1  
A-203

## PROPOSED WEST (RIGHT SIDE) ELEVATION

Scale: 1/4" = 1'-0"

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### SCOPE OF WORK


NEW 2 STORY &  
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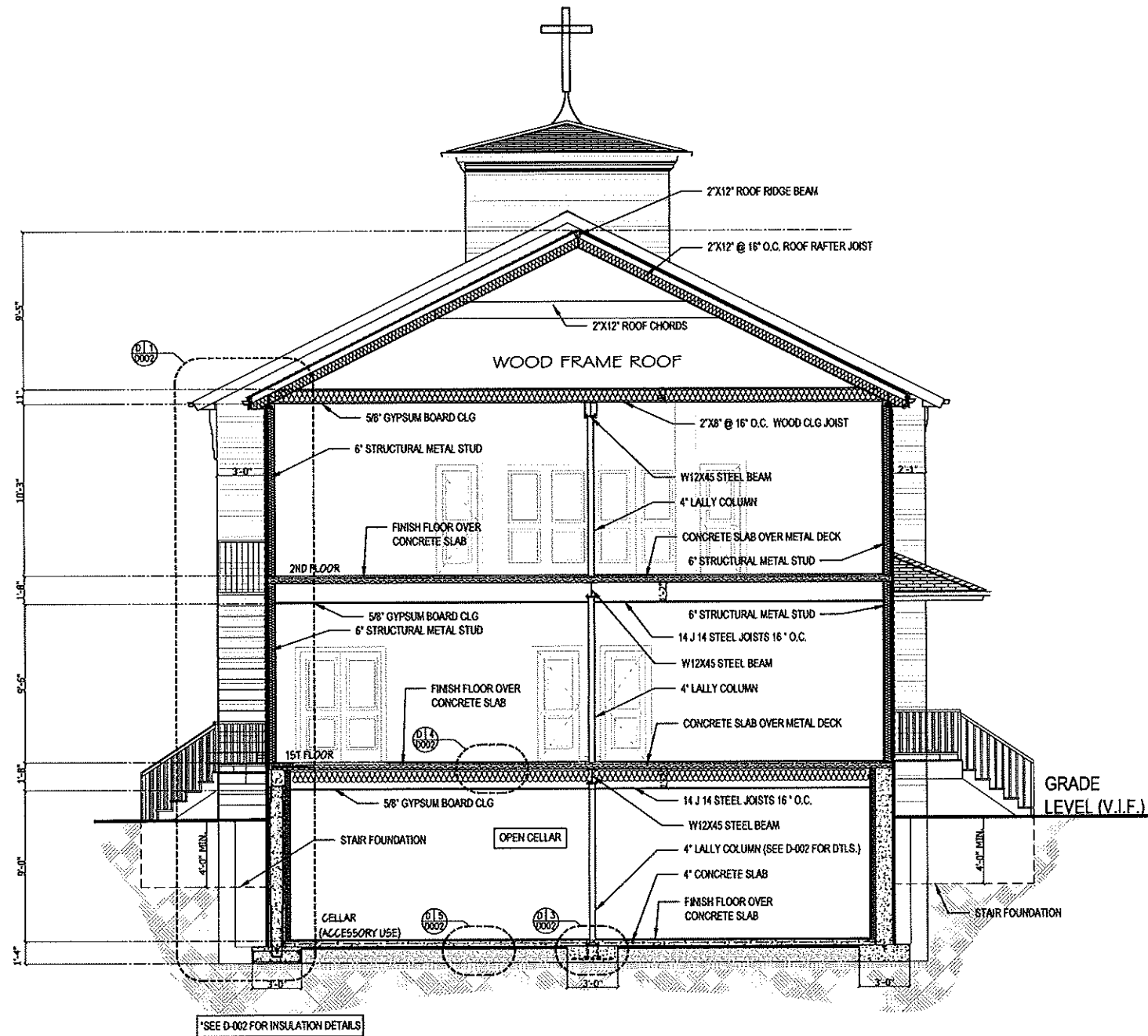
PROJECT  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE  
**PROPOSED  
WEST (RIGHT SIDE)  
ELEVATION**

<b>SEAL &amp; SIGNATURE</b> 	DATE: 11/17/2023
	PROJECT No.:
	DRAWING BY: JGD.RV
	CHECKED BY: JCD
	DWG. No.: <b>A-203.00</b>
SHEET No.	OF

PROGRESS PRINT - 4-5-2024





1  
A-301

## PROPOSED SECTION A-A'

Scale: 1/4" = 1'-0"

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### SCOPE OF WORK


NEW 2 STORY &  
CELLAR ADDITION

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PROJECT  
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2368 ROUTE 9D,  
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DUTCHESS COUNTY

TITLE:  
**SECTION A-A'**

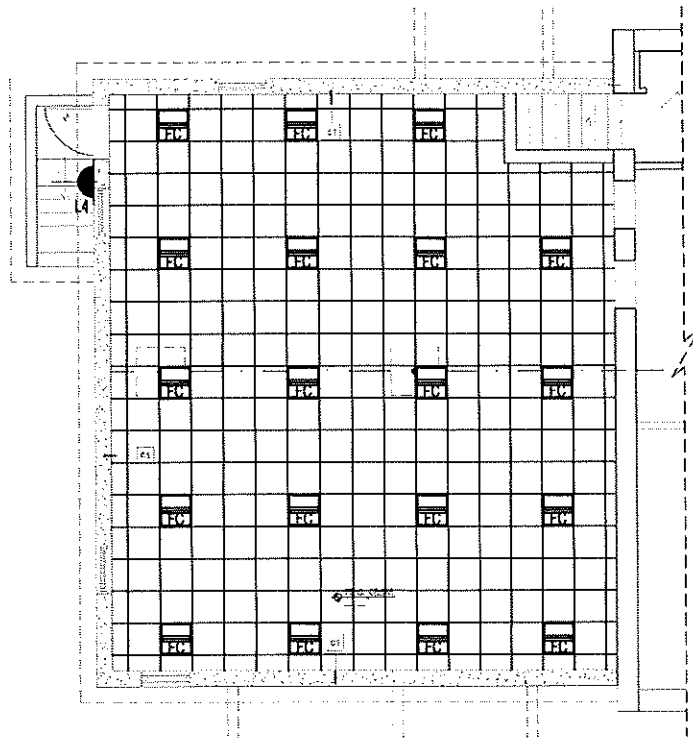
<b>SEAL &amp; SIGNATURE</b> 	DATE: 11/17/2023
	PROJECT No.: 164
	DRAWING BY: JGD, RY
	CHECKED BY: JCD
	DWG. No.: A-301.00
SHEET No.	OF

PROGRESS PRINT: 4-5-2024

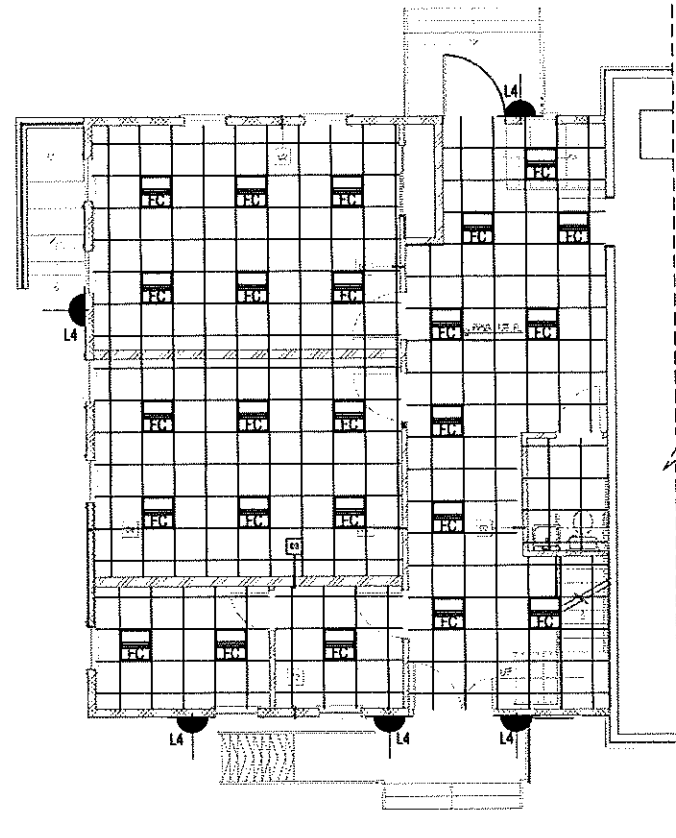




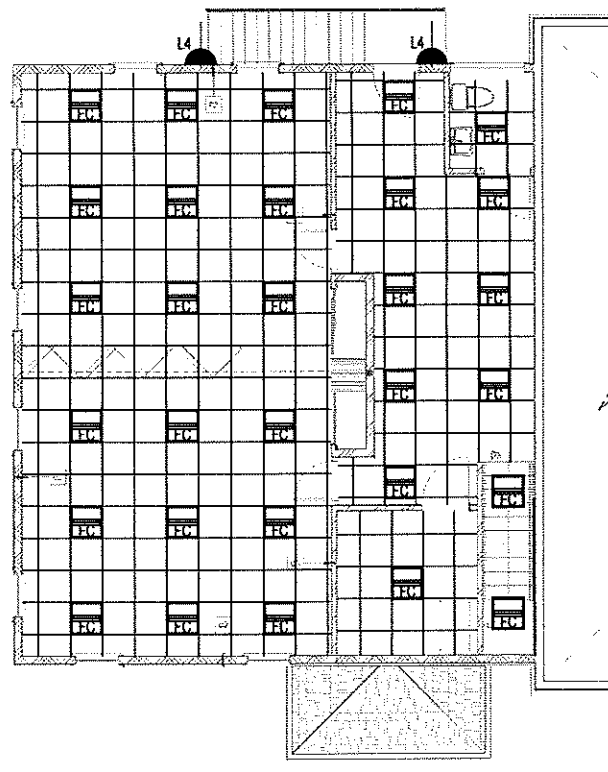




P1 CELLAR RCP  
A400 SCALE: 3/16" = 1'-0"



P2 1ST FL. RCP  
A400 SCALE: 3/16" = 1'-0"



P3 2ND FL. RCP  
A400 SCALE: 3/16" = 1'-0"

RCP LEGEND		
LEGEND	TAG	MANUFACTURER & FIXTURE TYPE
	FC	REDUCED LED 2'x2' LIGHT
	L4	MAC LIGHTING - WS-W2610 - WALL MOUNTED EXTERIOR LIGHT WITH PHOTO-CONTROL

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## SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

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**HARVEST CHURCH**  
2368 ROUTE NY-9D,  
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DUTCHESS COUNTY

**CELLAR, 1ST FL. & 2ND FL.**  
**REFLECTED CEILING PLAN**


**SEAL & SIGNATURE**

DATE: 03/04/2024  
PROJECT No.:  
DRAWING BY: RV  
CHECKED BY: JCD  
DWG. No.:  
**A-400.00**  
SHEET No. OF

PROGRESS PRINT: 4-5-2024



RCP LIGHT FIXTURE SCHEDULE

INTERIOR LIGHTING POWER ALLOWANCES AS PER TABLE C405.3.2(2) SPACE BY SPACE & C405.3.2(1) BUILDING AREA METHOD - CLIMATE ZONE 4A - 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)															
LEGEND	TAG	MANUFACTURER & FEATURE TYPE	FIXTURE WATTAGE	# OF LAMPS	TYPE	CELLAR (UNITS)	TOTAL WATTAGE	1ST FL. (UNITS)	TOTAL WATTAGE	2ND FL. (UNITS)	TOTAL WATTAGE	TOTAL BUILDING FIXTURES	TOTAL BUILDING WATTAGE		
	FC	RECESSED LED 2'x2' LIGHT	15.0	1	LED	19	285.00 W	24	360.00 W	30	450.00 W	73	1095.00 W		
TOTAL						19	285.00 W	24	360.00 W	30	450.00 W	73	1095.00 W		
						TOTAL GROSS F.A. (SF)		1238.96 SF		1222.38 SF		TOTAL GROSS F.A.: 3683.72 SF			
						PROPOSED LPD (W/SF)		0.23 LPD (OK)		0.29 LPD (OK)		0.37 LPD (OK)		TOTAL LPD PROPOSED: 0.30 (OK)	
						ALLOWABLE LPD (W/SF)		0.81 LPD (SCHOOL/UNIVERSITY)		0.81 LPD (SCHOOL/UNIVERSITY)		0.81 LPD (SCHOOL/UNIVERSITY)		0.81 LPD (SCHOOL/UNIVERSITY)	
						ALLOWABLE REDUCED LPD (90%)		0.729 LPD		0.729 LPD		0.729 LPD		0.729 LPD	

INTERIOR LIGHTING CALCULATION - TABLE C405.3.2 (1) FOR (COMMERCIAL):

TOTAL GROSS FLOOR AREA = 3683.72 SF (SEE 2101.00)

ALLOWABLE WATTS/SF AS PER TABLE C405.3.2(1) FOR (SCHOOL/UNIVERSITY) = 0.81 W/SF

ALLOWABLE LIGHTING POWER = 3683.72 SF x 0.81 W/SF = 2983.81 W

REDUCED LIGHTING POWER BOX AS PER C406.3= 3683.72 SF x 0.729 W/SF = 2685.43 W

PROPOSED LIGHTING POWER = 1095.00 W < 2685.43 W -- OK

ELECTRICAL ENERGY METERING

PROVIDE ONE MAIN ELECTRICAL METER FOR COMMERCIAL PORTION OF THE BUILDING AND ONE MAIN ELECTRICAL METER FOR RESIDENTIAL PORTION OF THE BUILDING, BOTH TO BE INSTALLED IN THE CELLAR ELECTRICAL ROOM. SEPARATE ELECTRICAL SUB-METERS SHALL BE PROVIDED IN ELECTRICAL ROOM ON EACH FLOOR OF DWELLING UNITS (6th AND 7th FLOORS).

WHOLE-BUILDING ENERGY MONITORING


MEASURE DEVICES SHALL BE INSTALLED TO MONITOR THIS BUILDING USE OF THE FOLLOWING TYPES OF ENERGY SUPPLIED BY A UTILITY COMPANY OR ENERGY PROVIDER NOT WITHIN THE BUILDING:

A. NATURAL GAS

B. FUEL OIL

WHOLE-BUILDING ENERGY MONITORING RECORDING AND REPORTING

THE ENERGY USE OF THE ENTIRE BUILDING SHALL BE RECORDED AT A MINIMUM OF EVERY 60 MINUTES AND REPORTED AT LEAST HOURLY, DAILY, MONTHLY, AND ANNUALLY. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING ALL DATA COLLECTED FOR A MINIMUM OF 36 MONTHS AND CREATING USER REPORTS SHOWING AT LEAST HOURLY, DAILY, MONTHLY, AND ANNUAL ENERGY CONSUMPTION AND DEMAND.

INDIVIDUAL LIGHTING POWER ALLOWANCES FOR BUILDING EXTERIORS AS PER TABLE C405.4.2(2) - LIGHTING ZONE 3 (AS PER TABLE C405.4.2(1))											
						TRADABLE SURFACES			TOTALS		
						BUILDING ENTRANCES AND EXITS					
LEGEND	TAG	FIXTURE TYPE	FIXTURE WATTAGE	# OF LAMPS	TYPE	MAIN ENTRANCES (3)	TOTAL WATTAGE	OTHER DOORS (2)	TOTAL WATTAGE	TOTAL BUILDING FIXTURES	TOTAL BUILDING WATTAGE
	L4	NAC LIGHTING - WS-W2810 - WALL MOUNTED EXTERIOR LIGHT WITH PHOTO-CONTROL	25.0	1	LED	3	75.00 W	5	125.00 W	8	200.00 W
						3	75.00 W	5	125.00 W	8	200.00 W
						TOTAL LINEAR FOOT (3' BY DOOR)		9.0 LINEAR FOOT		168.0 LINEAR FOOT	
						PROPOSED		8.33 W/LINEAR FOOT		0.74 W/LINEAR FOOT	
						ALLOWABLE		20 W/LINEAR FOOT		20 W/LINEAR FOOT	

NOTE: 100% LIGHTS ARE HIGH-EFFICIENCY (MIN. BOX REQ.)

EXTERIOR LIGHTING CALCULATIONS TABLE C405.5.2(2) WITH ZONE 3	
BASE SITE ALLOWANCE : 750 WATTS	
TRADEABLE SURFACE:	
MAIN ENTRANCE	BUILDING ENTRANCE & EXITS: 3 LF x 5 DOOR x 21 WATTS/LF = 315 WATTS
TOTAL 315 WATTS > 200.00 WATTS PROPOSED — OK	

LIGHTING NOTES

- ALL EXT LIGHTS SHALL BE PROVIDED WITH LED LAMPS PROVIDE OF MAXIMUM OF 5 WATTS PER SIDE
- DAY LIGHT ZONE CONTROL SHALL BE PROVIDED AT CELLAR BANQUET HALL, FIRST FLOOR RECEPTION, LOBBY / WAITING AREA, RECREATION SPACE/ROOM, INDEPENDENT OF GENERAL LIGHTING CONTROL
- AN OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED TO BUILDING OWNER BY THE G.C. WITHIN 90 DAYS OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY. THE SUBMITTAL SHALL INCLUDE THE FOLLOWING:
  - CONSTRUCTION DOCUMENTS INDICATING LOCATION AND CATALOGUE NUMBER OF EACH PIECE OF EQUIPMENT.
  - NAME AND ADDRESS OF NOT LESS THAN ONE SERVICE AGENCY FOR INSTALLED EQUIPMENT
  - A NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE, INCLUDING RECOMMENDED SETPOINTS
  - DATA INDICATING ALL SELECTED OPTIONS FOR EACH PIECE OF LIGHTING EQUIPMENT AND LIGHTING CONTROLS
  - OPERATION AND MAINTENANCE MANUALS FOR EACH PIECE OF LIGHTING EQUIPMENT, REQUIRED ROUTINE MAINTENANCE ACTIONS, CLEANING AND RECOMMENDED RELAMPING SHALL BE CLEARLY IDENTIFIED
  - A SCHEDULE FOR INSPECTING AND RECALIBRATING ALL LIGHTING CONTROLS
  - REPORTS WITH RESULTS OF FUNCTIONAL PERFORMANCE TESTS
  - DISPOSITION OF DEFICIENCIES FOUND DURING TESTING, INCLUDING DETAILS OF CORRECTIVE MEASURES USED OR PROPOSED

LIGHTING CONTROLS

THE LIGHTING CONTROL SHALL OPERATE PER DESCRIBED BELOW:

- LOCAL CONTROL SWITCH (DWELLING UNITS) MANUAL ON SWITCH CONTROL INSTALLED WITHIN THE SPACES WHERE THE CONTROLLED LIGHTS ARE VISIBLE AND INSTALLED AT A LOCATION WITH READY ACCESS TO OCCUPANTS. THIS CONTROL SWITCH IS INTENDED TO CONTROL LOCAL LIGHTING FIXTURES WITHIN A ROOM OR SPACES SUCH AS LIVING, DINING AREA, KITCHEN, BATHROOM, CLOSET, ETC. WITHIN THE DWELLING UNIT.

LIGHTING CONTROLS CONT.

- KEY CONTROL (HOTEL GUEST ROOMS) KEY CARD CONTROL INSTALLED ADJACENT TO GUEST ROOM ENTRANCE THAT TURN ON ALL PERMANENTLY INSTALLED LUMINAIRES AND SWITCHED RECEPTABLES WITHIN TIME STATED IN LIGHTING CONTROL NARRATIVE ON THIS SHEET.

- LOCAL SWITCH WITH AUTOMATIC TURN OFF OCCUPANCY SENSOR: MANUAL ON SWITCH CONTROL INSTALLED WITHIN THE SPACES WHERE THE CONTROLLED LIGHTS ARE VISIBLE AND INSTALLED AT A LOCATION WITH READY ACCESS TO OCCUPANTS. THIS CONTROL SWITCH TURNS OFF THE CONNECTED LIGHTING FIXTURES WITHIN THE TIME STATED IN LIGHTING CONTROL NARRATIVE ON THIS SHEET. THE SPECIFIC ROOMS/SPACES REQUIRED FOR THIS CONTROL IS SPECIFIED IN LIGHTING CONTROL NARRATIVE ON THIS SHEET.

- LOCAL SWITCH WITH AUTOMATIC POWER REDUCTION SENSOR: SWITCH CONTROL SENSOR AUTOMATICALLY REDUCE THE POWER OF CONNECTED LIGHTING FIXTURES BY A MINIMUM OF 50% WITHIN THE TIME STATED IN LIGHTING CONTROL NARRATIVE ON THIS SHEET. THE SPECIFIC ROOMS/SPACES REQUIRED FOR THIS CONTROL IS SPECIFIED IN LIGHTING CONTROL NARRATIVE ON THIS SHEET.

- SIDELITE DAYLIGHT-RESPONSIVE CONTROLS: MANUAL ON SWITCH CONTROL WITH AMBIENT LIGHT SENSOR AUTOMATICALLY ADJUST THE POWER TO CONNECTED LIGHTING FIXTURE WITHIN THE SIDELITE ZONE, AND CAPABLE OF:

- MONITORING OCCUPANCY ACTIVITY TO BRIGHTEN OR DIM LIGHTING WHEN OCCUPIED OR UNOCCUPIED, RESPECTIVELY.
- MONITORING AMBIENT LIGHT, BOTH ELECTRIC LIGHT AND DAYLIGHT, AND BRIGHTEN OR DIM ARTIFICIAL LIGHT TO MAINTAIN DESIRED LIGHT LEVEL.

- CONFIGURATION AND RECONFIGURATION OF PERFORMANCE PARAMETERS INCLUDING BRIGHT AND DIM SETPOINTS, TIMEDUTS, DIMMING FADE RATES, SENSOR SENSITIVITY ADJUSTMENTS, AND WIRELESS ZONING CONFIGURATIONS.

- TIME-SWITCH CONTROL WITH AUTOMATIC DAYLIGHT SHUTOFF (EXTERIOR): EXTERIOR LIGHTING FIXTURE CONTROL WITH PROGRAMMABLE FOR 7 DAYS AND CAPABLE OF SEPARATELY PROGRAM FOR EACH DAY OF THE WEEK. TIME-SWITCH CONTROL SHALL HAVE INCORPORATE AN AUTOMATIC HOLIDAY SETBACK FEATURE AND HAVE PROGRAM BACKUP CAPABILITIES THAT PREVENT THE LOSS OF PROGRAM AND TIME SETTINGS FOR A PERIOD OF NOT LESS THAN 10 HOURS IN THE EVENT THAT POWER IS INTERRUPTED.

FUNCTIONAL TESTING

ALL LIGHTING CONTROL DEVICES AND CONTROL SYSTEMS SHALL BE TESTED TO ENSURE THAT CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED, AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHEN OCCUPANT SENSORS, TIME SWITCHES, PROGRAMMABLE SCHEDULE CONTROLS, OR PHOTO SENSORS ARE INSTALLED, AT A MINIMUM, THE FOLLOWING PROCEDURES SHALL BE PERFORMED:

- OCCUPANT SENSORS
  - CERTIFY THAT THE SENSOR HAS BEEN LOCATED AND AIMED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
  - ALL OCCUPANCY SENSORS SHALL BE TESTED.
  - TESTING SHALL BE DONE FOR EACH UNIQUE COMBINATION OF SENSOR TYPE AND SPACE GEOMETRY.
    - FOR EACH SENSOR TO BE TESTED, VERIFY THE FOLLOWING:
      - STATUS INDICATOR (AS APPLICABLE) OPERATES CORRECTLY
      - CONTROLLED LIGHTS TURN OFF OR DOWN TO THE PERMITTED LEVEL WITHIN THE REQUIRED TIME
      - FOR AUTO-ON OCCUPANT SENSORS, THE LIGHTS TURN ON TO THE PERMITTED LEVEL WHEN SOMEONE ENTERS THE SPACE
      - FOR MANUAL-ON SENSORS, THE LIGHTS TURN ON ONLY WHEN MANUALLY ACTIVATED
      - THE LIGHTS ARE NOT INCORRECTLY TURNED ON BY MOVEMENT IN NEARBY AREAS OR BY HVAC OPERATION

- AUTOMATIC TIME SWITCHES
  - CONFIRM THAT THE AUTOMATIC TIME-SWITCH CONTROLS PROGRAMMED WITH APPROPRIATE WEEKDAY, WEEKEND, AND HOLIDAY (AS APPLICABLE) SCHEDULES.
  - DOCUMENT FOR THE OWNER AUTOMATIC TIME-SWITCH PROGRAMMING, INCLUDING WEEKDAY, WEEKEND, AND HOLIDAY SCHEDULES, AS WELL AS ALL SETUP AND PREFERENCE PROGRAM SETTINGS.
  - VERIFY THAT CORRECT TIME AND DATE ARE PROPERLY SET IN THE TIME SWITCH.
  - VERIFY THAT ANY BATTERY BACKUP (AS APPLICABLE) IS INSTALLED AND ENERGIZED.
  - VERIFY THAT THE OVERIDE TIME LIMIT IS SET TO NO MORE THAN TWO HOURS.
  - SIMULATE OCCUPIED CONDITION. VERIFY AND DOCUMENT THE FOLLOWING:
    - ALL LIGHTS CAN BE TURNED ON AND OFF BY THEIR RESPECTIVE AREA CONTROL SWITCH.
    - THE SWITCH ONLY OPERATES LIGHTING IN THE ENCLOSED SPACE IN WHICH THE SWITCH IS LOCATED.
  - SIMULATE UNOCCUPIED CONDITION. VERIFY AND DOCUMENT THE FOLLOWING:
    - ALL NONEXCEPT LIGHTING TURNS OFF

FUNCTIONAL TESTING CONT.

- MANUAL OVER RIDE SWITCH ALLOWS ONLY THE LIGHTS IN THE ENCLOSED SPACE WHERE THE OVERIDE SWITCH IS LOCATED TO TURN ON OR REMAIN ON UNTIL THE NEXT SCHEDULED SHUT OFF OCCURS.

- DAYLIGHT CONTROLS
  - ALL CONTROL DEVICES (PHOTOCONTROLS) HAVE BEEN PROPERLY LOCATED, FIELD-CALIBRATED, AND SET FOR APPROPRIATE SETPOINTS AND THRESHOLD LIGHT LEVELS.
  - DAYLIGHT CONTROLLED LIGHTING LOADS ADJUST TO APPROPRIATE LIGHT LEVELS IN RESPONSE TO AVAILABLE DAYLIGHT.
  - THE LOCATION WHERE CALIBRATION ADJUSTMENTS ARE MADE IS READILY ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL. THE INDIVIDUAL(S) RESPONSIBLE FOR THE FUNCTIONAL TESTING SHALL NOT BE DIRECTLY INVOLVED IN EITHER THE DESIGN OR CONSTRUCTION OF THE PROJECT AND SHALL PROVIDE DOCUMENTATION CERTIFYING THAT THE INSTALLED LIGHTING CONTROLS MEET OR EXCEED ALL DOCUMENTED PERFORMANCE CRITERIA.

SUBMITTALS

- WITHIN 90 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION BE PROVIDED TO THE BUILDING OWNER OR THE DESIGNATED REPRESENTATIVE OF THE BUILDING OWNER. RECORD DRAWINGS SHALL INCLUDE, AS A MINIMUM, THE LOCATION, LUMINAIRE IDENTIFIER, CONTROL, AND ORCULATING FOR EACH PIECE OF LIGHTING EQUIPMENT.
- ALL LIGHTING EQUIPMENT AND LIGHTING CONTROLS, AN OPERATING AND MAINTENANCE MANUAL, BE PROVIDED TO THE BUILDING OWNER OR THE DESIGNATED REPRESENTATIVE OF THE BUILDING OWNER WITHIN 90 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE. THESE MANUALS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:
  - SUBMITTAL DATA INDICATING ALL SELECTED OPTIONS FOR EACH PIECE OF LIGHTING EQUIPMENT, INCLUDING BUT NOT LIMITED TO LAMPS, BALLASTS, DRIVERS, AND LIGHTING CONTROLS.
  - OPERATION AND MAINTENANCE MANUALS FOR EACH PIECE OF LIGHTING EQUIPMENT AND LIGHTING CONTROLS WITH ROUTINE MAINTENANCE CLEARLY IDENTIFIED INCLUDING, AS A MINIMUM, A RECOMMENDED RELAMPING/CLEANING PROGRAM AND A SCHEDULE FOR INSPECTING AND RECALIBRATING ALL LIGHTING CONTROLS.
  - A COMPLETE NARRATIVE OF HOW EACH LIGHTING CONTROL SYSTEM IS INTENDED TO OPERATE INCLUDING RECOMMENDED SETTINGS.
- DAYLIGHTING DOCUMENTATION THE DESIGN DOCUMENTS SHALL IDENTIFY ALL LUMINAIRES FOR GENERAL LIGHTING THAT ARE LOCATED WITHIN DAYLIGHT AREAS UNDER SKYLIGHTS, DAYLIGHT AREAS UNDER ROOF MONITORS AS WELL AS PRIMARY SIDE-LIGHTED AREAS AND SECONDARY SIDE-LIGHTED AREAS.

RCP ELECTRICAL NOTES

- EXAMINE AND VERIFY THAT JOB CONDITIONS ARE SATISFACTORY FOR SPEEDY AND ACCEPTABLE WORK. MAINTAIN AND USE UP-TO-DATE CONSTRUCTION DOCUMENTS ON SITE. MAINTAIN AND USE UP-TO-DATE TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
- CONFIRM THERE IS NO CONFLICT BETWEEN THIS WORK AND COVERING BUILDING AND SAFETY CODES. CONFIRM THERE ARE NO CONFLICTS BETWEEN THIS WORK AND WORK OF OTHER TRADES. CONFIRM THAT WORK OF OTHER TRADES THAT MUST PRECEDE THIS WORK HAS BEEN COMPLETED. MEET ALL REQUIREMENTS TO SECURE WARRANTY.
- NOTIFY ARCHITECT WHEN WORK IS SCHEDULED TO BE INSTALLED. USE AGREED SCHEDULE FOR INSTALLATION AND FOR FIELD OBSERVATION BY ARCHITECT.
- PROVIDE EXPERIENCED, WELL-TRAINED WORKERS COMPETENT TO COMPLETE THE WORK AS SPECIFIED.
- UNLESS APPROVED BY THE ARCHITECT, PROVIDE ALL RELATED PRODUCTS AND ACCESSORIES FROM ONE MANUFACTURER.
- USE PRODUCTS AND ACCESSORIES FROM MANUFACTURERS WHO SPECIALIZE IN MAKING, INSTALLING, AND SERVICING SYSTEMS OF THIS TYPE. FROM A MANUFACTURER SPECIFIED OR APPROVED BY THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND GOVERNING BUILDING AND SAFETY CODES.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PRODUCTS AND REQUIREMENTS FOR LAMPS AND LAMPHOLDERS ARE SHOWN IN THE LIGHTING FIXTURE SCHEDULE.
- PROVIDE AND INSTALL ALL REQUIRED ACCESSORIES FOR MOUNTING AND OPERATION OF EACH FIXTURE.
- AFTER INSTALLATION, INSPECT ALL WORK FOR IMPROPER INSTALLATION OR DAMAGE.
- OPERATING FIXTURES MUST PERFORM SMOOTHLY. REPAIR OR REPLACE ANY DEFECTIVE WORK. REPAIR WORK WILL BE UNDETECTABLE. REDO REPAIRS IF WORK IS STILL DEFECTIVE, AS DIRECTED BY THE ARCHITECT OR GOVERNING REGULATORY AGENCY.
- CLEAN THE WORK AREA AND REMOVE ALL SCRAP AND EXCESS MATERIALS FROM THE SITE.
- 50% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES MUST BE OF HIGH-EFFICIENCY TYPE.
- HIGH-EFFICIENCY LAMP REQUIREMENTS:
  - COMPACT FLUORESCENT LAMPS (CFL)
  - LINEAR FLUORESCENT LAMPS: T8 OR T5
  - LAMPS <=15 WATTS: 40 LUMENS/WATT.
  - LAMPS 15 TO 40 WATTS: 50 LUMENS/WATT.
  - LAMPS >40 WATTS: 60 LUMENS/WATT.
- 10" RATED LUMINAIRE CAN BE INSTALLED IN INSULATED CEILING. THE CEILING PENETRATION MUST BE AIR SEALED.
- AIR-TIGHT ENCLOSURE MUST BE BUILT AROUND "NON-IC" RATED LUMINAIRE. INSULATION MUST NOT COME IN CONTACT WITH FIXTURE HOUSING.

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SCOPE OF WORK


NEW 2 STORY &  
CELLAR ADDITION

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DUTCHESS COUNTY

TITLE  
**ROOF & BULKHEAD RCP**

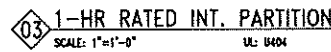
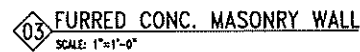
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DATE: 03/04/2024  
PROJECT No.:  
DRAWING BY: RV  
CHECKED BY: JCD  
DWG. No.:  
**A-401.00**  
SHEET No. OF

PROGRESS PRINT: 4-5-2024

RCP LEGEND

LEGEND	TAG	MANUFACTURER & FIXTURE TYPE
	FC	RECESSED LED 2'x2' LIGHT
	L4	NAC LIGHTING - WS-W2810 - WALL MOUNTED EXTERIOR LIGHT WITH PHOTO-CONTROL





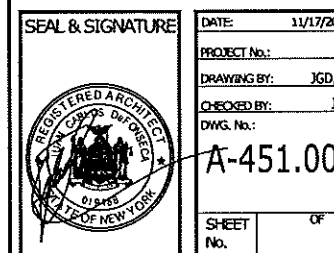
- NOTE: 20% OF WALL AND CEILING AREA OF ANY ROOM SPACE OR CORRIDOR MAY BE FINISHED WITH MATERIALS HAVING A CLASS C RATING, WHERE CLASS A OR B WOULD BE REQUIRED. MATERIALS IN EXCESS OF 20% OF AGGREGATE WALL AND CEILING SHALL HAVE THE FOLLOWING MAXIMUM SMOKE DEVELOPED RATINGS: EXITS, CORRIDORS - 25; H-1 AND H-2 OCCUPANCIES - 50; ROOMS HAVING A NET FLOOR AREA PER OCCUPANT OF 10 SQUARE FEET OR LESS - 100.

NEW 2 STORY &  
CELLAR ADDITION

[illegible]

PROJECT  
HARVEST CHURCH  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

FILE	PARTITION TYPES, DETAILS & NOTES
------	-------------------------------------

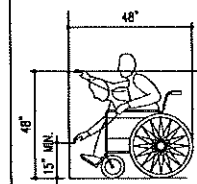


PROGRESS PRINT : 4-5-202

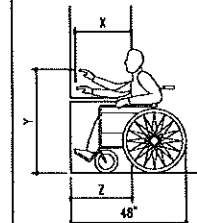


# D1 REACH REQUIREMENTS

SCALE 1/8" = 1'-0"



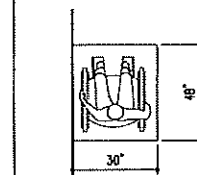
HIGH FORWARD REACH LIMIT



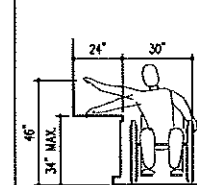
NOTES:

1. X SHALL BE  $\leq$  25 INCHES; Z SHALL BE  $\geq$  X.
2. WHEN X  $<$  20 INCHES, THEN Y SHALL BE 48 INCHES MAXIMUM.
3. WHEN X IS 20 TO 25 INCHES, THEN Y SHALL BE 44 INCHES MAXIMUM.

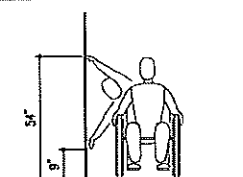
MAXIMUM FORWARD REACH OVER AN OBSTRUCTION



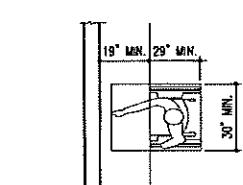
CLEAR FLOOR SPACE  
PARALLEL APPROACH



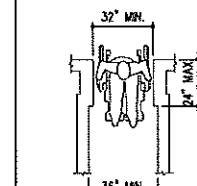
MAXIMUM SIDE REACH OVER AN OBSTRUCTION



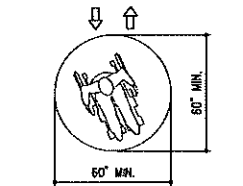
HIGH AND LOW  
SIDE REACH LIMITS



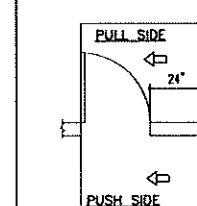
WORK SURFACE CLEARANCES



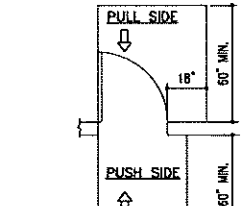
MINIMUM CLEAR WIDTH FOR  
SINGLE WHEELCHAIR



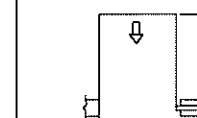
WHEELCHAIR TURNING SPACE



LATCH SIDE APPROACH—  
SWINGING DOORS



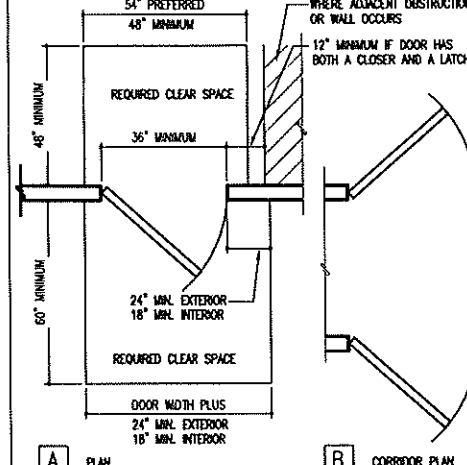
FRONT APPROACH—  
SWINGING DOORS



FRONT APPROACH—  
SLIDING DOORS

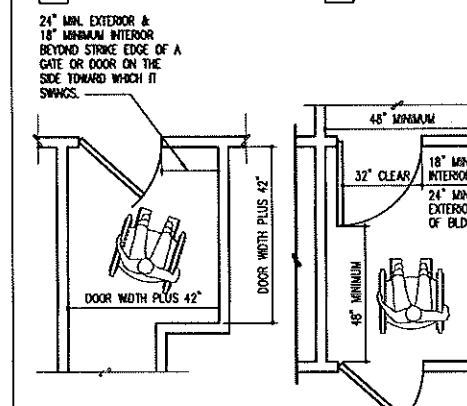
# D2 DOOR CLEAR SPACE

SCALE 1/8" = 1'-0"



A PLAN

B CORRIDOR PLAN



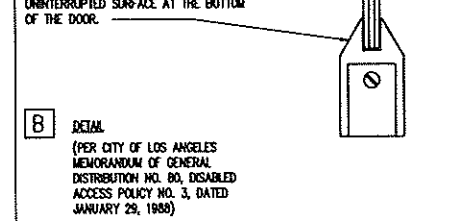
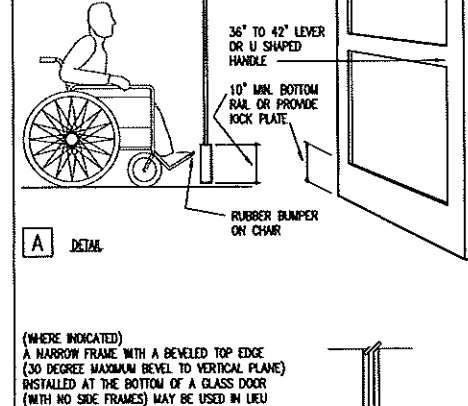
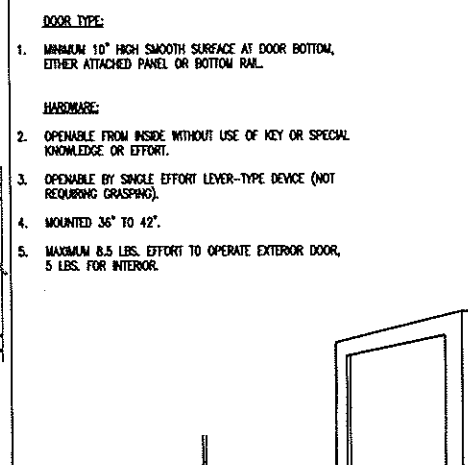
B RAMP LANDING AT  
DOORWAY PLAN

NOTES:

1. CLEAR SPACES MUST BE LEVEL TO PREVENT WHEELCHAIRS FROM ROLLING WHEN THE OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR THE DOOR. 1/4" PER FOOT IS ALLOWED FOR DRAINAGE.
2. WHERE DOORS OPEN ONTO, BUT NOT INTO A CORRIDOR, THE REQUIRED LEVEL AREA BEYOND THE DOORS MAY BE A MINIMUM OF 48". FOR ADDITIONAL INFORMATION, SEE APPLICABLE NOTES ON TYPICAL ACCESSIBILITY NOTES SHEET.

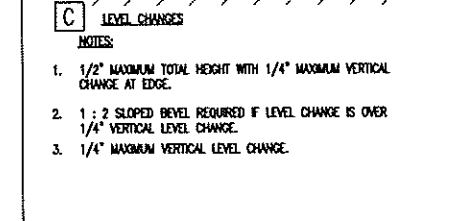
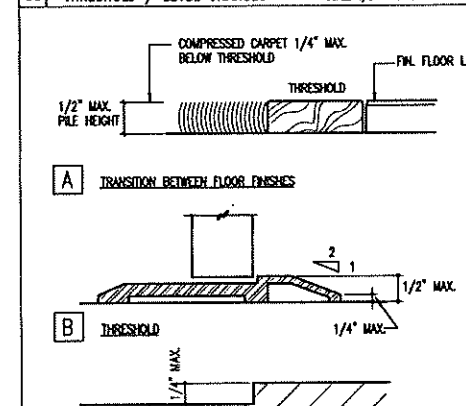
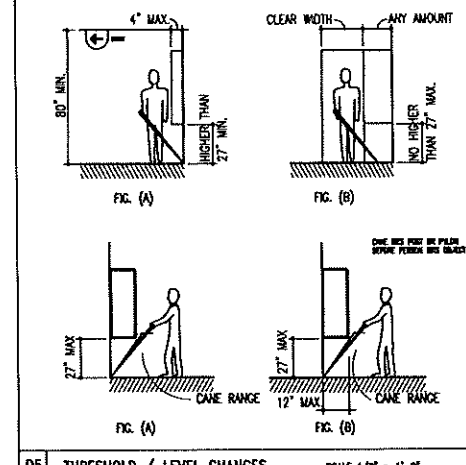
# D3 DOOR

SCALE 1/8" = 1'-0"



# D4 PROTRUDING OBJECTS

SCALE 1/8" = 1'-0"



# HANDICAPPED ADAPTABILITY NOTES

1. ALL DETAILS AND GENERAL NOTES PERTAINING TO HANDICAPPED ADAPTABILITY SHALL SUPERSEDE OTHER DETAILS AND NOTES HEREIN.
2. ALL CONSTRUCTION OF BUILDINGS REQUIRED TO COMPLY WITH HANDICAPPED ADAPTABILITY NOT COVERED BY THE SCOPE OF THESE DOCUMENTS SHALL ALSO COMPLY WITH REQUIREMENTS OF 2010 ADA STANDARDS (NOT LIMITED TO) EXTERIOR FLOORING, CONTROLS FOR BATHROOM, KITCHEN AND HVAC APPLIANCES AND FOR LIFTS, ELEVATORS, AND HANDICAPPED FOR DOORS, WINDOWS AND STORAGE AREAS.
3. DOORWAYS PREPARED FOR LOWER PASSAGE SHALL HAVE A MINIMUM CLEAR OPENING OF 32 IN. WITH THE DOOR OPEN 90 DEGREES. MEASURED BETWEEN THE FACE OF THE DOOR AND THE FRAME.
4. THE DOOR AND DOOR BACK AT THE BATHROOM (S) SHALL BE DESIGNED AND CONSTRUCTED SO THAT RELOCATING THE HINGES IS THE ONLY CHANGE REQUIRED TO BRING THE DOOR OUT.
5. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4 IN. IN HEIGHT FOR EXTERIOR RESIDENTIAL SLIDING DOORS OR 1/2 IN. FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE REVEALED WITH A SLOPE NOT GREATER THAN 1:2.
6. IN DRILLING LIMITS THE HEIGHT OF THE WATER CLOSET SEAT SHALL BE AT LEAST 15 IN. AND NO MORE THAN 18 IN. MEASURED TO THE TOP OF THE TOILET SEAT.
7. STRUCTURAL REINFORCEMENT OR OTHER PROTRUSIONS SHALL BE MADE THAT WILL ALLOW INSTALLATION OF GRAB BARS IN THE LOCATIONS SHOWN IN THE DETAILS.
8. IF A CABBINET IS PROVIDED UNDER THE LAVATORY, IT SHALL BE EASILY REMOVABLE FOR A WIDTH OF 32". FINISHED FLOORING SHALL EXTEND UNDER THIS AREA TO THE WALL.
9. THE SINK AND SURROUNDING COUNTER IN ADAPTABLE DWELLING UNITS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
  1. THE SINK AND SURROUNDING COUNTER SHALL BE ADJUSTABLE OR REPLACEABLE AS A UNIT AT VARIABLE HEIGHTS BETWEEN 28 IN. AND 34 IN. MEASURED FROM THE FINISHED FLOOR TO THE TOP OF THE COUNTER SURFACE OR SINK RIM. ON SHALL BE MOUNTED AT A FIXED HEIGHT NO GREATER THAN 34 IN. MEASURED FROM THE FINISHED FLOOR TO THE TOP OF THE COUNTER SURFACE OR SINK RIM.
  2. WHERE SINKS ARE INSTALLED TO BE ADJUSTABLE IN HEIGHT, EQUIPPED WITH PLUMBING SHALL BE LOCATED TO ACCEPT CONNECTIONS OF SUPPLY AND DRAIN PIPES FOR SINKS MOUNTED AT THE HEIGHT OF 30 IN.
  3. BASE CABBINETS, IF PROVIDED, SHALL BE REMOVABLE UNDER THE FULL 30 IN. MINIMUM FRONTAGE COUNTER. THE FINISHED FLOOR SHALL EXTEND COUNTER TO THE WALL.
  4. COUNTER THICKNESS AND SUPPORTING STRUCTURE SHALL BE 2 IN. MAXIMUM OVER THE REQUIRED CLEAR SPACE.
  5. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS. HOT-WATER PIPES AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED OR OTHERWISE COVERED.
10. OVERHEAD KITCHEN CABBINETS (EXCEPT OVER STOVES, COOKTOPS AND PASS THROUGH) SHALL BE INSTALLED SO AS TO BE EASILY LOWERED TO A HEIGHT OF 48" FROM FINISHED FLOOR TO TOP OF LOWEST SHELF.
11. IF A MEDICINE CABBINET IS PROVIDED ABOVE THE LAVATORY, THEN THE BOTTOM OF THE MEDICINE CABBINET SHALL BE LOCATED WITH A USABLE SHELF NO HIGHER THAN 44IN. ABOVE THE FLOOR.
12. AN IN-TUB SEAT OR A SEAT AT THE HEAD END OF THE TUB SHALL BE PROVIDED IN BATHROOMS. SEATS SHALL BE MOUNTED SECURELY AND SHALL NOT SLIP DURING USE.
13. A SEAT SHALL BE PROVIDED IN SHOWER STALLS (SEE DETAILS). THE SEAT SHALL BE MOUNTED 17 IN. TO 19 IN. FROM THE BATHROOM FLOOR AND SHALL EXTEND THE FULL DEPTH OF THE STALL. THE SEAT SHALL BE ON THE WALL OPPOSITE THE CONTROLS.
14. A SHOWER SPRAY UNIT SHALL BE PROVIDED WITH A HOSE AT LEAST 60 IN. LONG THAT CAN BE USED AS A FIXED SHOWER HEAD OR AS A HAND-HELD SHOWER. IF AN ADJUSTABLE-HEIGHT SHOWER HEAD MOUNTED ON A VERTICAL BAR USED, THE BAR SHALL BE INSTALLED SO AS NOT TO OBSTRUCT THE USE OF GRAB BARS.
15. THE 30 IN. KITCHEN WORK SURFACE SHOWN ON THE PLANS SHALL PROVIDE A WORK SURFACE THAT COMPLIES WITH THE FOLLOWING REQUIREMENTS:
  1. THE COUNTER SHALL BE ADJUSTABLE OR REPLACEABLE AS A UNIT AT VARIABLE HEIGHTS BETWEEN 28 IN. AND 34 IN. MEASURED FROM THE FINISHED FLOOR TO THE TOP COUNTER SURFACE. ON SHALL BE MOUNTED AT A FIXED HEIGHT NO GREATER THAN 34 IN. MEASURED FROM THE FLOOR TO THE TOP OF THE COUNTER SURFACE.
  2. BASE CABBINETS, IF PROVIDED, SHALL BE REMOVABLE UNDER THE FULL 30 IN. MINIMUM FRONTAGE COUNTER. THE FINISHED FLOOR SHALL EXTEND COUNTER TO THE WALL.
  3. COUNTER THICKNESS AND SUPPORTING STRUCTURE SHALL BE 2IN. MAXIMUM OVER THE COUNTER TO THE WALL.
  4. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SUCH COUNTERS.
  5. WASHING MACHINES AND CLOTHES DRYERS IN COMMON-USE LAUNDRY ROOMS SHALL BE FRONT LOADING.
  6. CLOTHES RODES SHALL BE A MAXIMUM OF 54 IN. FROM THE FLOOR; OR SHALL BE EASILY ADJUSTABLE TO THIS HEIGHT.
  7. CHANGES IN GROUND LEVEL UP TO 1/4 IN. MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4 IN. AND 1/2IN. SHALL BE REVEALED WITH A SLOPE NO GREATER THAN 1:5.
  8. DOORS TO HAZARDOUS AREAS SHALL BE MADE IDENTIFIABLE TO THE TOUCH BY A TEXTURED SURFACE ON THE DOOR HANDLE, KNOB, PULL OR OTHER OPERATING HARDWARE. THIS TEXTURED SURFACE MAY BE MADE BY RAUING OR ROUNDING OR BY A MATERIAL APPLIED TO THE CONTACT SURFACE. (HAZARDOUS AREAS INCLUDE LOADING PLATFORMS, BOILER ROOMS, STAGES, ETC.)
  9. DETECTABLE WARNING TEXTURES ON WALKING SURFACES AS SHOWN ON PLANS SHALL CONSIST OF EXPDED AGGREGATE COMPOSITE, DOWNSHOWN SURFACES MADE OF RUBBER OR PLASTIC, RAISED STRIPS, OR GROOVES. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE. RAISED STRIPS OR GROOVES SHALL COMPLY WITH AS 4-4. GROOVES MAY BE USED INDOORS ONLY.
  10. ALARMER EMERGENCY ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE PREVALENT EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST 15 DECIBELS OR EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A DURATION OF 30 SECONDS BY 5 DECIBELS, WHICHEVER IS LOUDER. SOUND LEVELS FOR ALARM SIGNALS SHALL NOT EXCEED 125 DECIBELS.
  11. VISUAL ALARMS SHALL BE FLASHING LIGHTS ARRANGED TO FLASH IN CONJUNCTION WITH THE ALARMER EMERGENCY ALARMS. THE FLASHING FREQUENCY OF VISUAL ALARMS SHALL BE APPROXIMATELY 1 Hz. SPECIALIZED SYSTEMS USING ADVANCED TECHNOLOGY MAY BE SUBSTITUTED IF EVALUATED PROTECTION IS PROVIDED HANDICAPPED USERS OF THE BUILDING OR FACILITY.
  12. THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS, AND MOUNTING DEVICES SHALL MEET THE FOLLOWING SPECIFICATIONS:
    1. BENDING STRESS IN A GRAB BAR OR SEAT PROVIDED BY THE MAXIMUM DESIGN MOMENT FROM THE APPLICATION OF 250 LBF (1130) SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
    2. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 LBF (1130) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.

ALL DIMENSIONS TO BE FIELD VERIFIED

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SCOPE OF WORK

NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY

DeFONSECA ARCHITECTS

164 BEAVER DRIVE, KINGS PARK, NY 11754  
TEL: (617) 3337755 (631) 7247744  
DeFonsecaArch@aol.com defonsecaarchitects@gmail.com  
www.defonsecaarchitects.com

PROJECT

HARVEST CHURCH  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE:

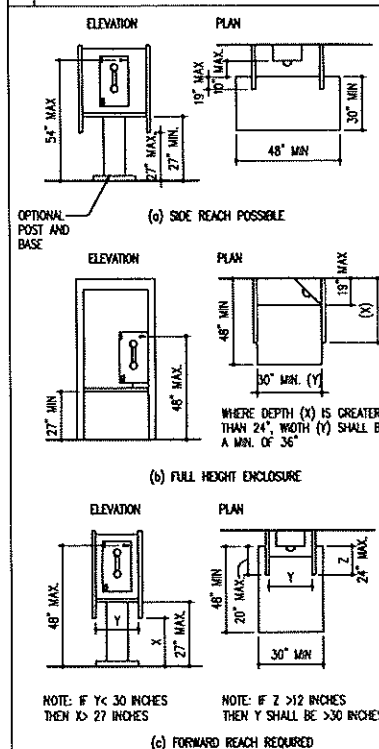
ADA  
DETAILS & NOTES (I)

SEAL & SIGNATURE

DATE: 11/17/2023  
PROJECT No.:  
DRAWING BY: JGD, RV  
CHECKED BY: JCD  
DWG. No.:  
A-501.00  
SHEET No. OF  
PROGRESS PRINT: 4-5-2024

# D1 PUBLIC TELEPHONES

SCALE 1/8" = 1'-0"



## WHEELCHAIR ACCESS:

1. MINIMUM CLEAR FLOOR OR GROUND SPACE FOR FORWARD OR PARALLEL APPROACH 30" x 48" INCLUDING KNEE SPACE UNDER PROJECTING OBJECTS.
2. ACCESSIBLE CLEAR FLOOR OR GROUND SPACE TO ADJOIN ONE SIDE OF REQUIRED MINIMUM SPACE AND ADJOIN THE REQUIRED ACCESSIBLE ROUTE.
3. IF MINIMUM CLEAR FLOOR OR GROUND SPACE HAS ONE TO THREE SIDES COMBINED BY VERTICAL SURFACES, ADDITIONAL 6" MIN. WIDTH OF MANEUVERING SPACE IS TO BE PROVIDED.
4. FLOOR OR GROUND SURFACE TO BE SLIP RESISTANT.
5. BASES, ENCLOSURES OR FIXED SEATS NOT TO IMPED ACCESS FOR WHEELCHAIR USERS.

## PARTIAL ENCLOSURES:

6. ENCLOSURES PROJECTING INTO WALKS, HALL, CORRIDORS OR ASLES TO COMPLY WITH REQUIREMENTS FOR PROTRUDING OBJECTS.
7. MINIMUM 30" ENCLOSURE WIDTH WHEN PROJECTIONS EXCEED 12".
8. MAXIMUM 18" PROJECTION OVER CLEAR FLOOR OR GROUND SPACE.
9. ENCLOSURE PROJECTIONS SHOULD BE A MIN. OF 27" ABOVE FLOOR OR GROUND SURFACE TO LOWEST POINT OF ENCLOSURE.

## FULL HEIGHT ENCLOSURES:

10. ENTRANCE 30" MINIMUM WIDTH, UNLESS NOTED OTHERWISE.

## TELEPHONE EQUIPMENT:

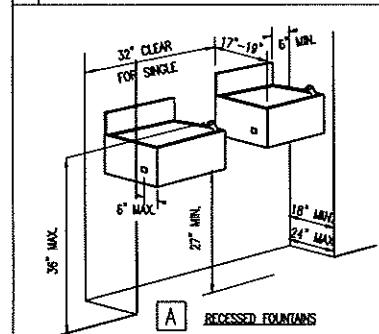
11. AT LEAST ONE PHONE IN A BUILDING OR FACILITY TO BE EQUIPPED WITH VOLUME CONTROL FOR HEARING IMPAIRED USERS.
12. PUSH-BUTTON CONTROLS ARE REQ'D. WHERE SERVICE FOR THIS EQUIPMENT IS AVAILABLE.
13. 29" LONG CORD FROM TELEPHONE TO HANSET.
14. MOUNTING HEIGHT TO HIGHEST OPERABLE PART OF EQUIPMENT IS 48" FOR FRONT REACH AND 54" FOR SIDE OR DIAGONAL REACH.

## ADDITIONAL NOTES:

15. TELEPHONE SHALL BE HEARING AID COMPATIBLE.
16. SEE TYPICAL ACCESSIBILITY NOTES SHEET FOR "ADDITIONAL REQUIREMENTS" INCLUDING INFORMATION PERTAINING TO TEXT TELEPHONES.

# D2 DRINKING FOUNTAINS

SCALE 1/8" = 1'-0"



## RECESSED FOUNTAINS:

1. WITHIN ALCOVES MINIMUM 63" WIDE, MINIMUM 18" DEEP WHEN DOUBLE DRINKING FOUNTAINS ARE REQUIRED AND 32" MIN. CLR. WHEN A SINGLE FOUNTAIN IS PERMITTED.
- A. CONTRACTOR SHALL COORDINATE WITH SIZE OF WATER FOUNTAIN TO BE USED AND SIZE ABOVE ACCORDINGLY COMPLYING WITH REQUIREMENTS AND RECOMMENDATIONS AND COORDINATING WITH THE ARCHITECT.
2. SEE TYPICAL ACCESSIBILITY NOTES SHEET SECTIONS "R" & "U".

## PROJECTED FOUNTAINS:

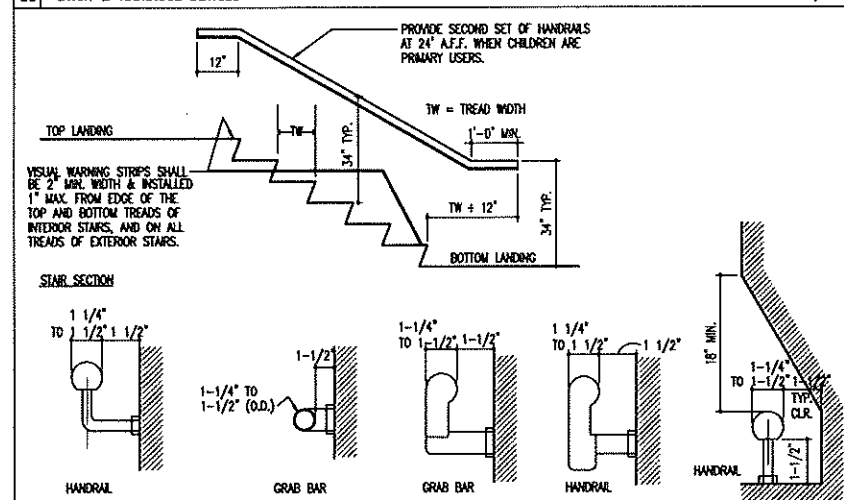
1. WARNING FOR THE VISION IMPAIRED AT A PROJECTED DRINKING FOUNTAIN CAN BE PROVIDED BY EITHER OF THE FOLLOWING MEANS:
  - A. THE SURFACE OF THE FLOOR OR GROUND AT THE DRINKING FOUNTAIN CAN BE OF CONTRASTING COLOR WITH A TEXTURE THAT CONTRASTS IN RESILIENCY WITH THE ADJACENT FINISHED FLOOR MATERIAL, SO THAT IT CAN BE SENSED BY A CANE, WITH THE TEXTURE EXTENDING FROM THE WALL TO ONE FOOT BEYOND THE FRONT EDGE OF THE DRINKING FOUNTAIN AND ONE FOOT BEYOND EACH SIDE OF THE FOUNTAIN, OR
  - B. INSTALL WING WALLS ON EACH SIDE OF THE DRINKING FOUNTAIN TO PROJECT OUT FROM THE MAIN WALL AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6" OF THE PATH OF TRAVEL FLOOR FINISH. THERE MUST BE 32" CLEAR BETWEEN THE WING WALLS, OR

## NOTE:

ILLUSTRATIONS SHOWN HERE ARE FOR DIMENSIONAL ACCESSIBILITY PURPOSES ONLY. A SECOND DRINKING FOUNTAIN SHOULD BE PROVIDED AT A MOUNTING HEIGHT SUITABLE TO PERSONS WITH LIMITED PHYSICAL BENDING ABILITY, ADJACENT TO THE ACCESSIBLE FOUNTAIN. MAINTAINING MINIMUM CLEARANCES NOTED AND AS REQUIRED. PROVIDE TEXTURED AREA OF CONTRASTING COLOR TO IDENTIFY WATER FOUNTAIN LOCATION AS NOTED. WHEN FOUNTAIN IS AT AN INTERIOR LOCATION, THE TEXTURED AREA SHALL ALSO BE OF DIFFERENT RESILIENCY THAN THAT OF THE ADJACENT FLOOR SURFACE FINISH. SEE TYPICAL ACCESSIBILITY NOTES SHEET FOR ADDITIONAL REQUIREMENTS.

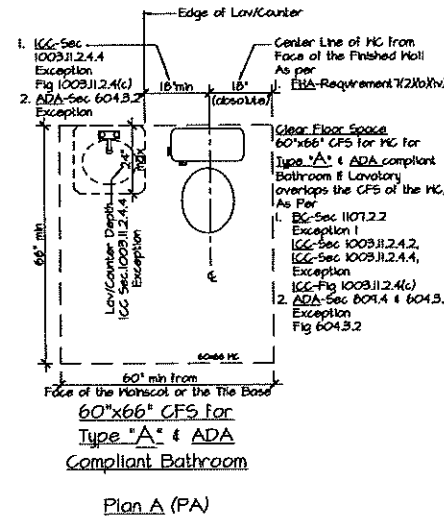
# D3 STAIR & HANDRAIL DETAILS

SCALE 1/8" = 1'-0"



# D4 HC BATHROOM

SCALE 1/2" = 1'-0"



- GB size & location As per
1. BC-Sec P102.3.2 Exception ICC-Sec 604.4.1
  - ICC-Sec 1009.1.1 Exception 4 for Type "A" Bathroom

- Seat Height Top of the Seat AFF As per
1. BC-Sec P102.3.4
  - ICC-Sec 1009.1.2.4.5 for Type "A" Bathroom
  - IFAS-Sec 4.34.5.2(2)

- Flush Control on the open/side side of MC

- Reinforcement height location As per
1. FHA Requirement 6 Fig 3
  2. IFAS-Sec 4.34.5.2(3) Fig 4(b)

- Reinforcement length for 24" Horizontal Grab bar shall be 26" min., i.e. it shall be 4" longer than the length of the Grab Bar to provide full support for the Escutcheon plates

- When GBs are installed the min spacing bet the GB & top of Toilet Tank shall be 15" min As per
1. ICC-Sec 604.3 Fig 604.3
  - 1a. Max height of the Toilet Tank shall be 30"-39", depending on the installation height of the GB

# D4 ACCESSIBILITY & ADAPTABILITY DIAGRAMS

SCALE 1/8" = 1'-0"

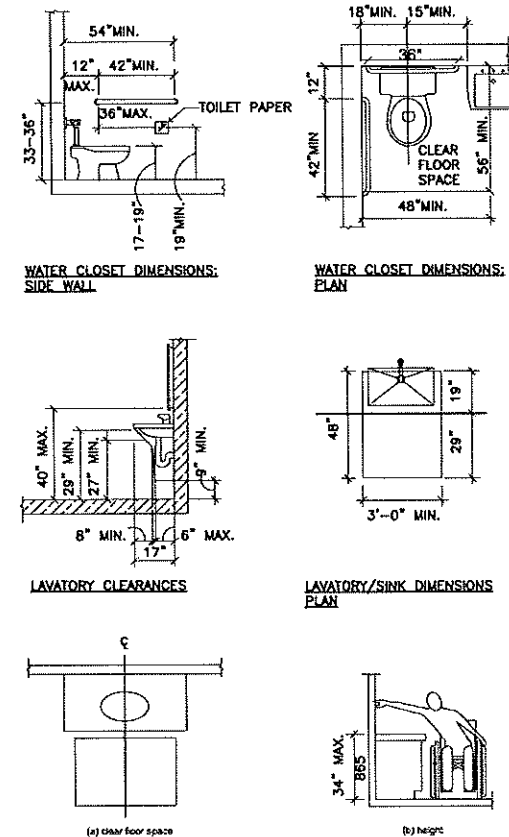
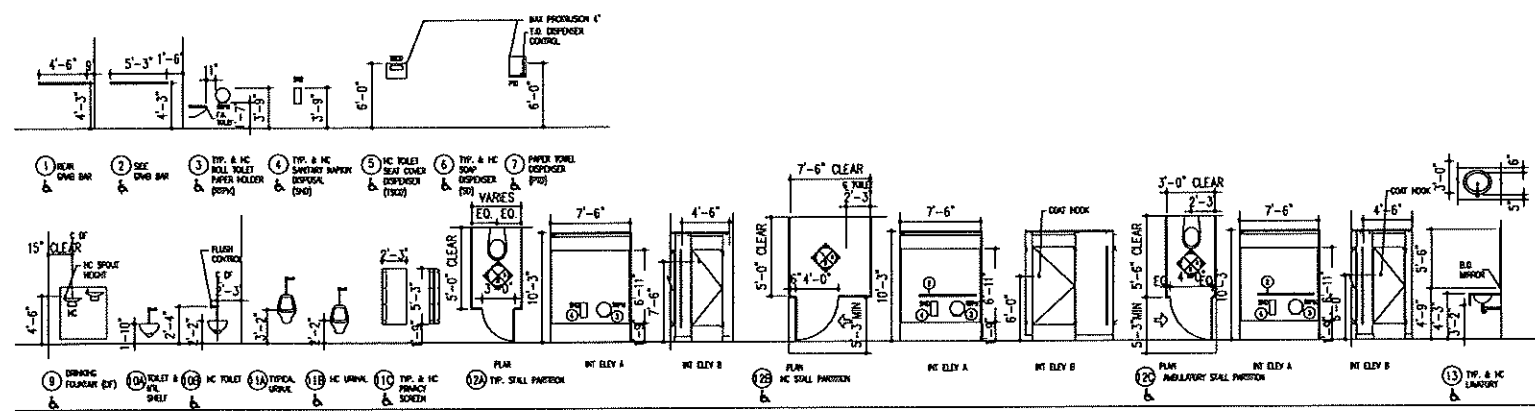


FIG. 1004.11.3.2.1 LAVATORY IN TYPE B BATHROOMS

# D11 TOILET FIXTURES & ACCESSORY MOUNTING HEIGHTS & PARTITION PLANS

SCALE 1/8" = 1'-0"



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## SCOPE OF WORK

NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY

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**HARVEST CHURCH**  
2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

ADA  
DETAILS & NOTES (II)

SEAL & SIGNATURE

DATE: 11/17/2023

PROJECT No.: JSD.RV

DRAWING BY: JSD

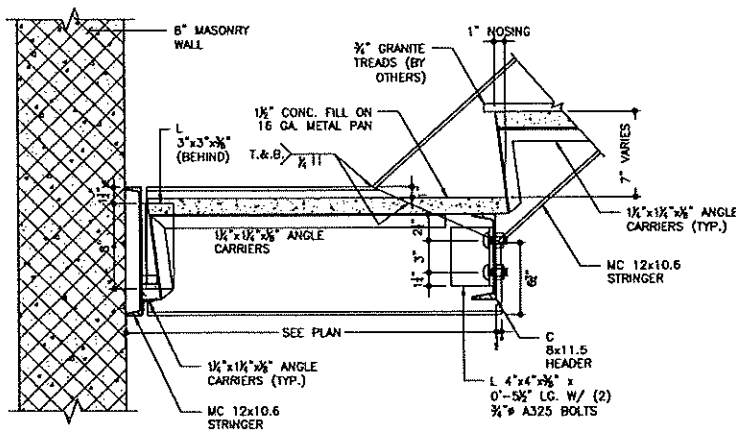
CHECKED BY: JCD

DWG. No.: A-502.00

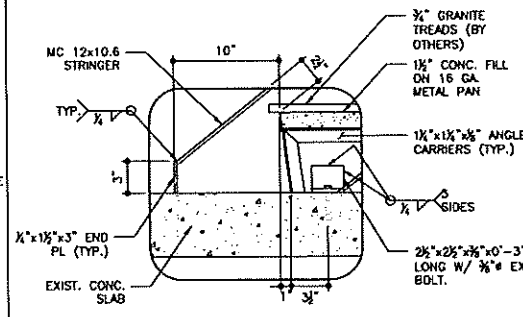
SHEET No. OF

PROGRESS PRINT: 4-5-2024

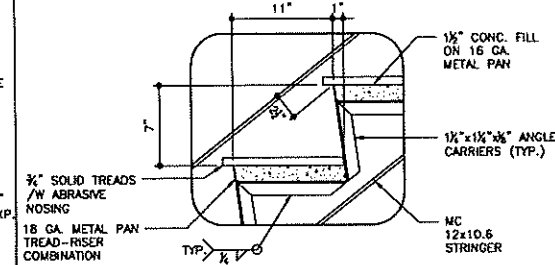




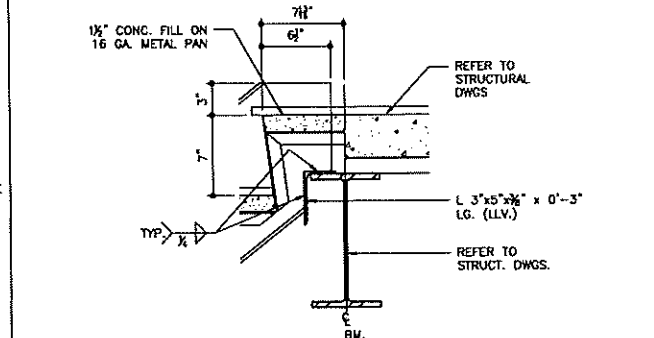
**D1** STRINGER CONNECTION TO MASONRY WALL  
SCALE: 1 1/2"=1'-0"



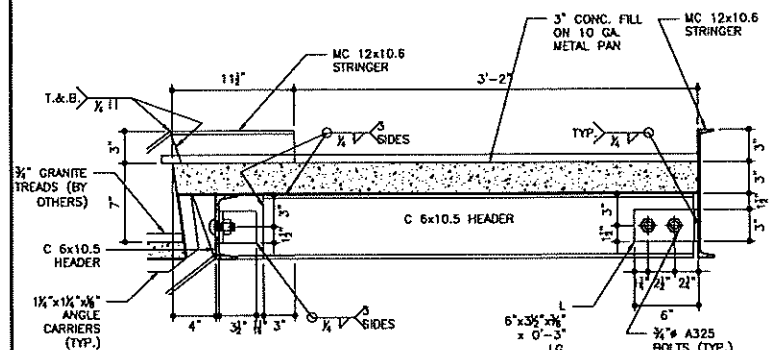
**D2** STRINGER CONNECTION TO SLAB  
SCALE: 1 1/2"=1'-0"



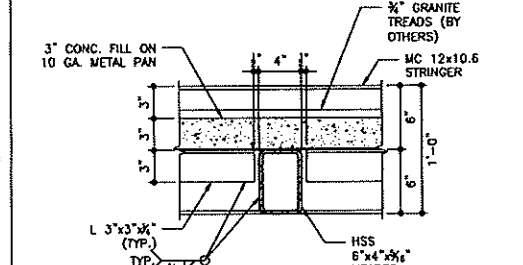
**D3** TYP. TREAD RISER DETAIL  
SCALE: 1 1/2"=1'-0"



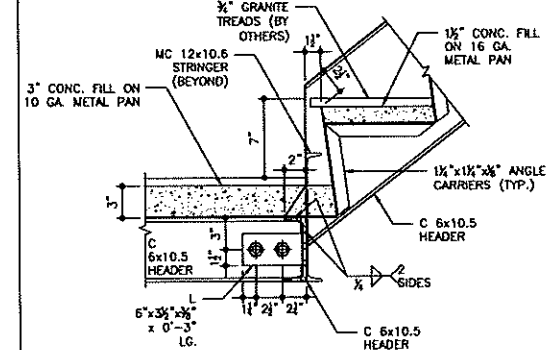
**D4** TYP. STRINGER TO BEAM CONN. DETAIL  
SCALE: 1 1/2"=1'-0"



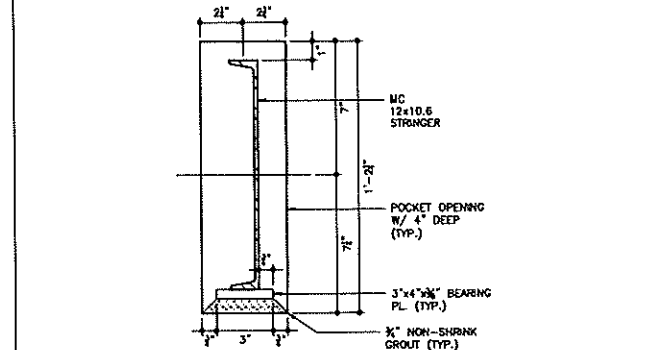
**D5** TYP. INTERMEDIATE LANDING DETAIL  
SCALE: 1 1/2"=1'-0"



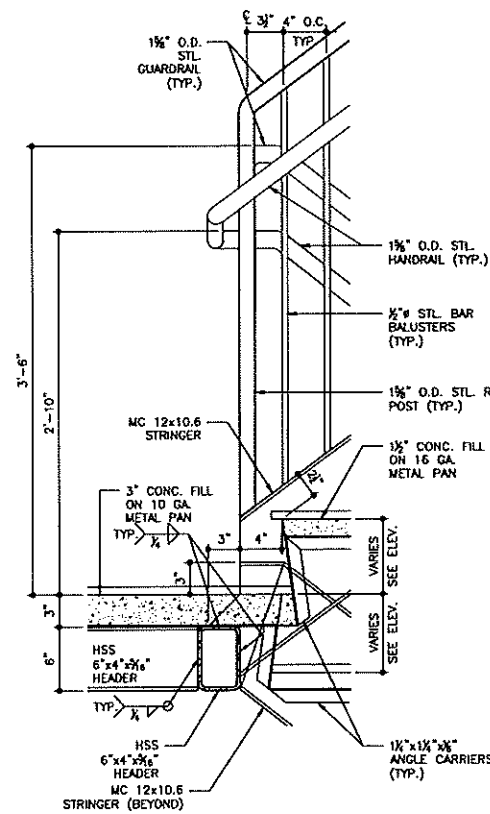
**D6** TYP. HSS HEADER TO STRINGER  
SCALE: 1 1/2"=1'-0"



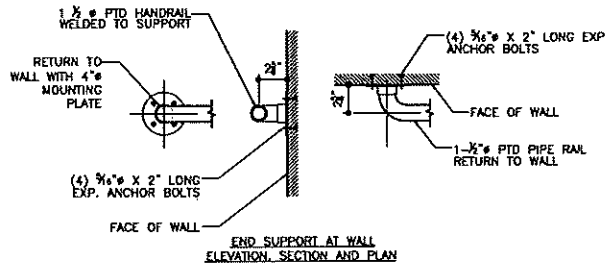
**D7** MC12 STRINGER TO HEADER CONN.  
SCALE: 1 1/2"=1'-0"



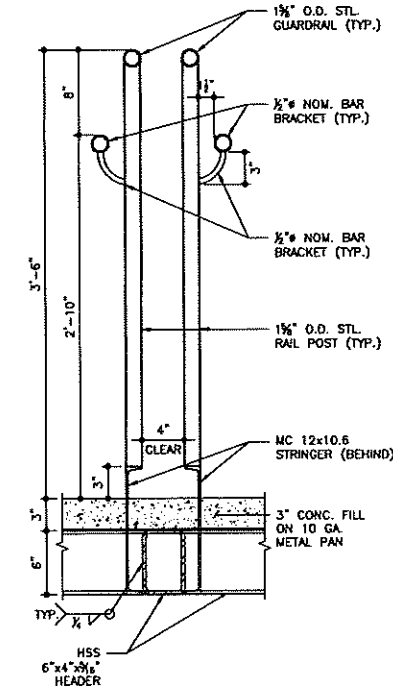
**D8** TYP. BEARING POCKET DETAIL  
SCALE: 1 1/2"=1'-0"



**D9** STRINGERS TO HEADER CONN.  
SCALE: 1 1/2"=1'-0"



**D10** TYP. DETAIL AT STEEL BRACKET WALL  
SCALE: 1 1/2"=1'-0"



**D11** GUARD & HANDRAIL TYP. DETAIL  
SCALE: 1 1/2"=1'-0"

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## SCOPE OF WORK

### NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT  
**HARVEST CHURCH**  
2368 ROUTE 9D,  
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DUTCHESS COUNTY

## STAIR & MISCELLANEOUS TYPICAL DETAILS (I)

SEAL & SIGNATURE

DATE: 11/17/2023

PROJECT No.: JGD.RV

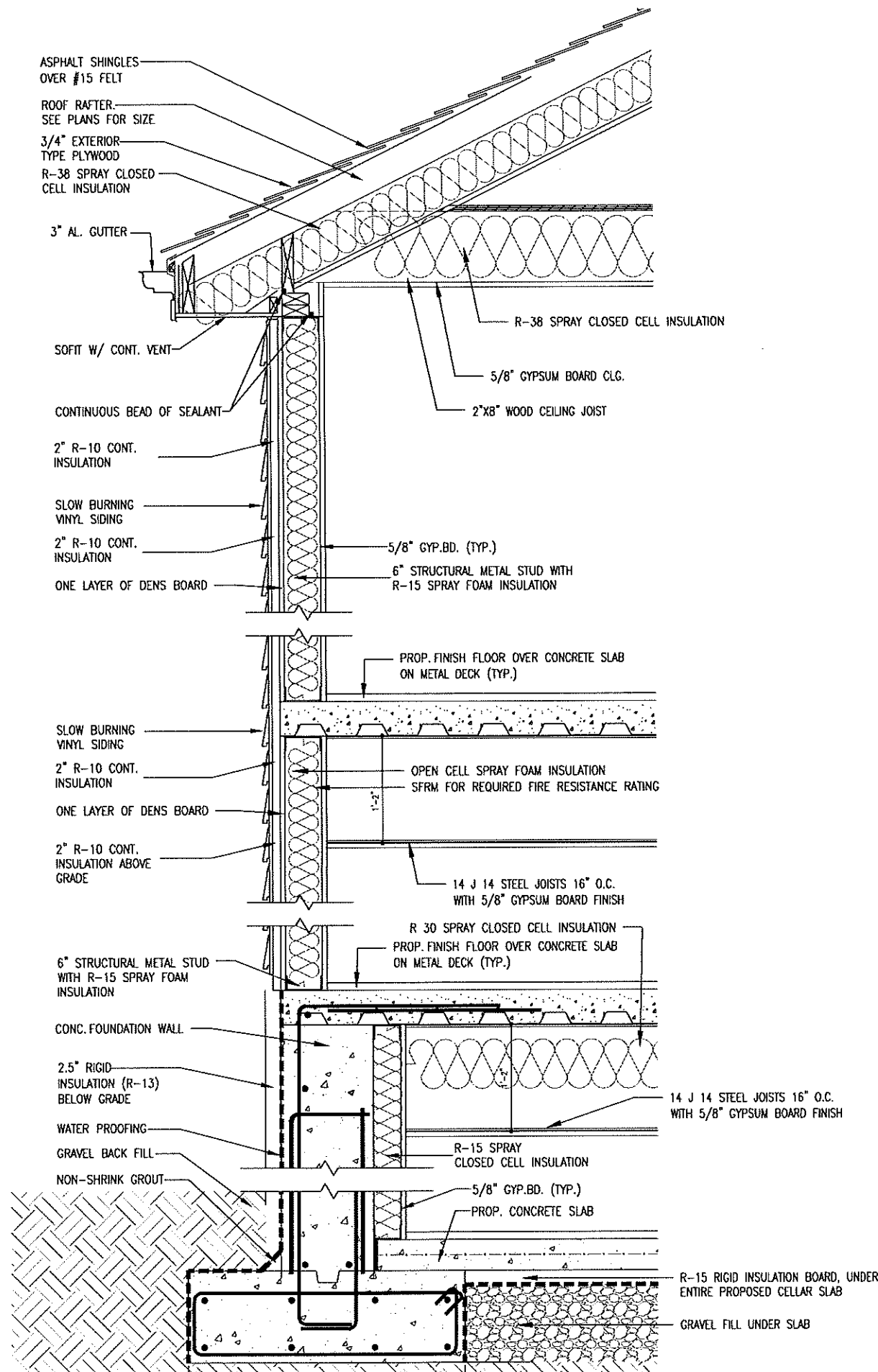
DRAWING BY: JGD

CHECKED BY: JGD

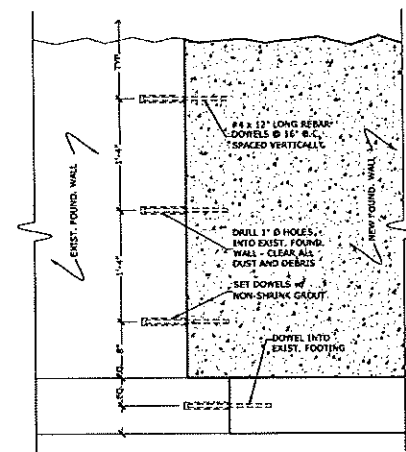
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SHEET No. OF

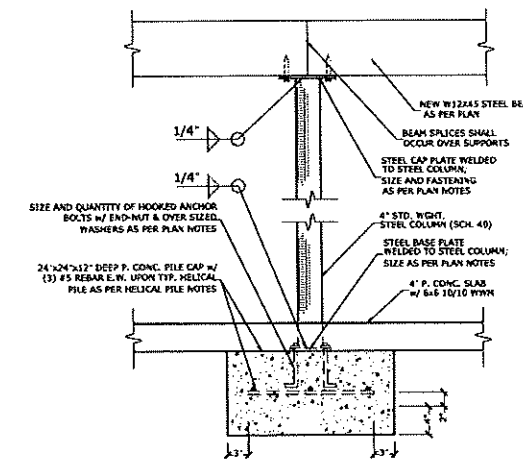
PROGRESS PRINT: 4.5.2023



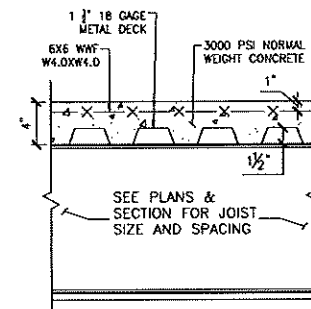
**D11 WALL SECTION DETAIL**  
SCALE: 1 1/2"=1'-0"



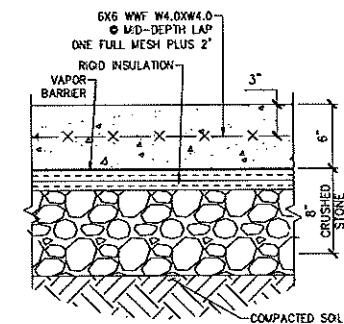
**D12 FOUNDATION DOWEL DETAIL**  
SCALE: N.T.S.



**D13 STEEL COLUMN ATTACHMENT DETAIL**  
SCALE: N.T.S.



**D14 TYPICAL CONCRETE DECK**  
SCALE: N.T.S.



**D15 TYPICAL SLAB ON GRADE**  
SCALE: N.T.S.

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**SCOPE OF WORK**

NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY

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PROJECT

**HARVEST CHURCH**  
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DUTCHESS COUNTY

TITLE

**WALL SECTION DETAIL & TYPICAL DETAILS (II)**

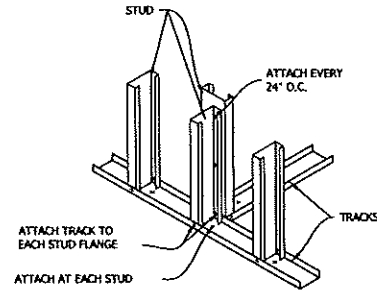
**SEAL & SIGNATURE**

REGISTERED ARCHITECT  
STATE OF NEW YORK

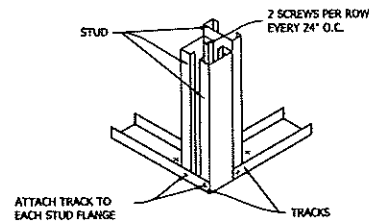
DATE: 11/17/2023  
PROJECT No.:  
DRAWING BY: JGD,RY  
CHECKED BY: JCD  
DWG. No.:  
**D-002.00**  
SHEET No. OF

PROGRESS PRINT - 4-5-2024

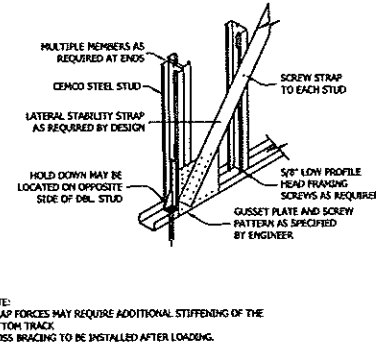




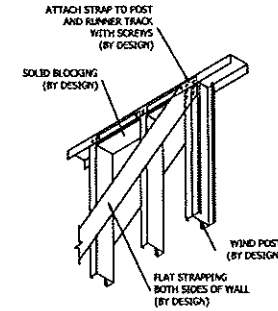
D1.1 PARTITION INTERSECTION  
D003 SCALE: NTS



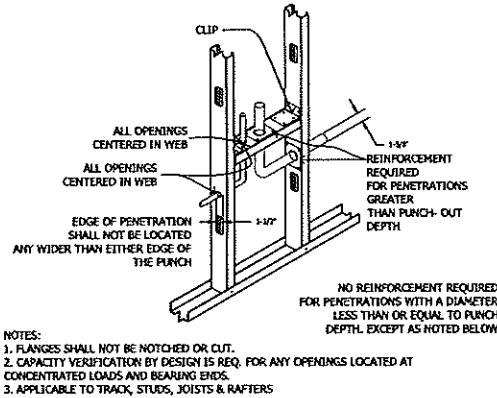
D1.2 TREE STUD CORNER  
D003 SCALE: NTS



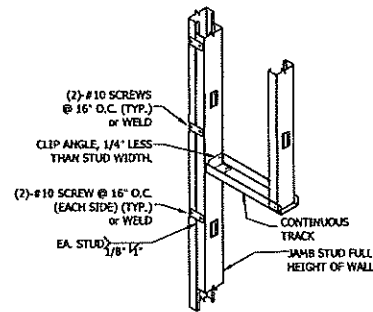
D1.3 SHEAR WALL HOLD DOWN AT CROSS BRACE  
D003 SCALE: NTS



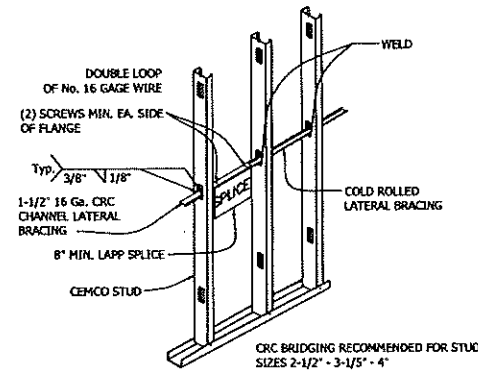
D1.4 SHEAR BRACING CONNECTION  
D003 SCALE: NTS



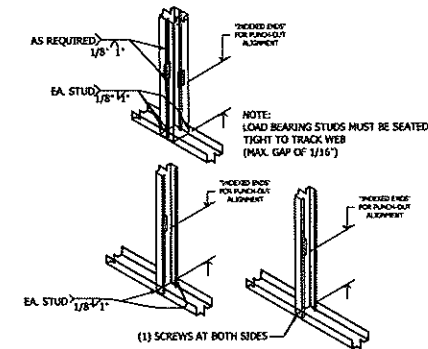
D1.5 JOIST, STUD, RAFTER WEB PENET.  
D003 SCALE: NTS



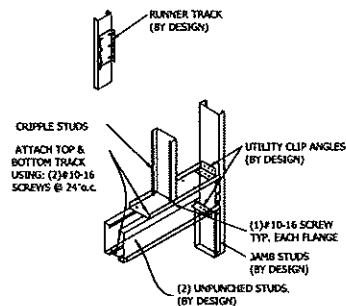
D1.6 JAMB STUD DETAIL  
D003 SCALE: NTS



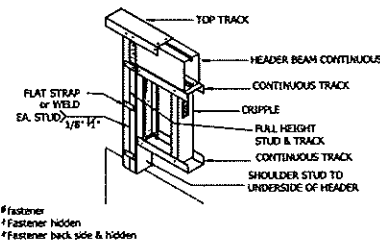
D1.7 WELDED CRC BRIDGING  
D003 SCALE: NTS



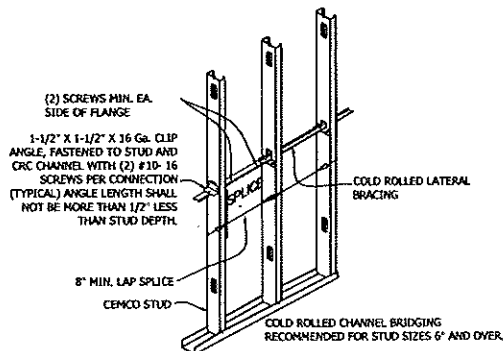
D1.8 TYP. STUD TO TRACK CONN.  
D003 SCALE: NTS



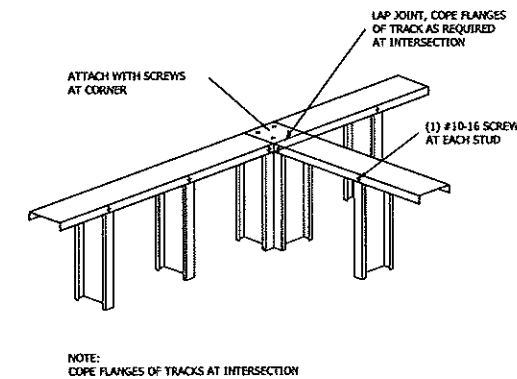
D1.9 HEADER TO JAMB STUD DETAIL  
D003 SCALE: NTS



D1.10 HEADER TO JAMB STUD DETAIL  
D003 SCALE: NTS



D1.11 CRC BRIDGING WITH CLIP ANGLE  
D003 SCALE: NTS



D1.12 INTERIOR STUD CORNER  
D003 SCALE: NTS

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### SCOPE OF WORK

NEW 2 STORY &  
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REVISIONS	DATE	BY

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PROJECT  
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2368 ROUTE 9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE  
**PARTITION FRAMING  
TYPICAL DETAILS (III)**

SEAL & SIGNATURE  
  
DATE: 11/17/2023  
PROJECT No.:  
DRAWING BY: JGD, RV  
CHECKED BY: JCD  
DWG. No.:  
SHEET No. OF  
D-003.00

PROGRESS PRINT: 4-5-2024





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**TABLE C402.4 BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS**

CLIMATE ZONE	1	2	3	4 EXCEPT MARINE	5 AND MARINE 4	6	7	8
Vertical fenestration								
U-factor								
Fixed fenestration	0.60	0.60	0.46	0.38	0.35	0.35	0.29	0.29
Operable fenestration	0.65	0.65	0.60	0.45	0.45	0.43	0.37	0.37
Entrance doors	1.10	0.83	0.77	0.77	0.77	0.77	0.77	0.77
SHGC								
Orientation <sup>a</sup>	SEW	N	SEW	N	SEW	N	SEW	N
PF < 0.2	0.25	0.33	0.25	0.33	0.25	0.33	0.40	0.48
0.2 ≤ PF < 0.6	0.30	0.37	0.30	0.37	0.30	0.37	0.46	0.53
PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.40	0.61	0.61
Skylights								
U-factor	0.75	0.65	0.55	0.50	0.50	0.50	0.50	0.50
SHGC	0.35	0.35	0.35	0.40	0.40	0.40	NR	NR

C402.4.1 MAXIMUM AREA

C402.5.1.1 AIR BARRIER CONSTRUCTION.  
THE CONTINUOUS AIR BARRIER SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING:

C402.5.1.2 AIR BARRIER COMPLIANCE OPTIONS.  
A CONTINUOUS AIR BARRIER FOR THE OPAQUE BUILDING ENVELOPE SHALL COMPLY WITH SECTION C402.5.1.2.1 OR C402.5.1.2.2.

1. PLYWOOD WITH A THICKNESS OF NOT LESS THAN 3/8 INCH (10 MM).
2. ORIENTED STRAND BOARD HAVING A THICKNESS OF NOT LESS THAN 3/8 INCH (10 MM).
3. FIBER-BACK POLYISOCYANURATE INSULATION BOARD HAVING A THICKNESS OF NOT LESS THAN 1/2 INCH (12.7 MM).
4. EXTRUDED POLYSTYRENE INSULATION BOARD HAVING A THICKNESS OF NOT LESS THAN 1/2 INCH (12.7 MM).
5. CLOSED-CELL SPRAY FOAM HAVING A MINIMUM DENSITY OF 1.5 PCF (0.6 AND 2.4 KG/M<sup>3</sup>) AND HAVING A THICKNESS OF NOT LESS THAN 1/2 INCH (12.7 MM).
6. OPEN-CELL SPRAY FOAM WITH A DENSITY BETWEEN 0.4 AND 1.5 PCF (0.6 AND 2.4 KG/M<sup>3</sup>) AND HAVING A THICKNESS OF NOT LESS THAN 1/2 INCH (12.7 MM).
7. EXTERIOR OR INTERIOR GYPSUM BOARD HAVING A THICKNESS OF NOT LESS THAN 1/2 INCH (12.7 MM).
8. CEMENT BOARD HAVING A THICKNESS OF NOT LESS THAN 1/8 INCH (12.7 MM).
9. BUILT-UP ROCKING MEMBRANE.
10. MONOPLY BITUMINOUS ROOF MEMBRANE.
11. FULLY ADHERED SINGLE-PLY ROOF MEMBRANE.
12. A PORTLAND CEMENT/SAND PARGE, OR GYPSUM PLASTER HAVING A THICKNESS OF NOT LESS THAN 1/2 INCH (12.7 MM).
13. CAST-IN-PLACE AND PRECAST CONCRETE.
14. FULLY GROUTED CONCRETE BLOCK MASONRY.
15. SHEET STEEL OR ALUMINUM.
16. SOLID OR HOLLOW MASONRY CONSTRUCTED OF CLAY OR SHALE MASONRY UNITS.

1. CONCRETE MASONRY WALLS COATED WITH EITHER ONE APPLICATION OF BLOCK FILLER OR TWO APPLICATIONS OF A PAINT OR SEALER COATING.
2. MASONRY WALLS CONSTRUCTED OF CLAY OR SHALE MASONRY UNITS WITH A NOMINAL WIDTH OF 4 INCHES (102 MM) OR MORE.
3. A PORTLAND CEMENT/SAND MORTAR, STUCCO OR PLASTER NOT LESS THAN 2 INCH (51 MM) IN THICKNESS.

**TABLE C402.5.2 MAXIMUM AIR LEAKAGE RATE FOR FENESTRATION ASSEMBLIES**

VENTILATION ASSEMBLY	MAXIMUM RATE (CFM/FT <sup>2</sup> )	TEST PROCEDURE
Windows	0.20 *	ANSI/ASHRAE 90.1-2009 or NFRC 400
Sliding doors	0.20 *	
Swinging doors	0.20 *	
Skylights – with condensation weepage openings	0.30	
Skylights – all other	0.20 *	
Curtain walls	0.05	NFRC 400 or ASTM E283 at 1.57 psf (75 Pa)
Storefront glazing	0.05	
Commercial glazed swinging entrance doors	1.00	
Power-operated sliding doors and power operated folding doors	1.00	
Revolving doors	1.00	
Garage doors	0.40	ANSI/ASHRAE 90.1, NFRC 400, or ASTM E283 at 1.57 psf (75 Pa)
Rolling doors	1.00	
High-speed doors	1.30	

FOR SI: 1 INCH = 25.4 MM, 1 POUND PER SQUARE FOOT = 4.88 KG/M<sup>2</sup>, 1 POUND PER CUBIC FOOT = 16 KG/M<sup>3</sup>

CI = CONTINUOUS INSULATION, NR = NO REQUIREMENT, LS = LINER SYSTEM

ASSEMBLY DESCRIPTIONS CAN BE FOUND IN ANSI/ASHRAE/IESNA APPENDIX A

WHERE USING R-VALUE COMPLIANCE METHOD, A THERMAL SPACER BLOCK SHALL BE PROVIDED, OTHERWISE USE THE U-FACTOR COMPLIANCE METHOD IN TABLE C402.1.4.

C.R.-5.7C1 IS ALLOWED TO BE SUBSTITUTED WITH CONCRETE BLOCK WALLS COMPLYING WITH ASTM C90, UNGROUTED OR PARTIALLY GROUTED AT 32 INCHES OR LESS ON CENTER VERTICALLY AND 48 INCHES OR LESS ON CENTER HORIZONTALLY, WITH UNGROUTED CORES FILLED WITH MATERIALS HAVING A MAXIMUM THERMAL CONDUCTIVITY OF 0.44 BTU-IN/H-F<sup>2</sup>F.

D. WHERE HEATED SLABS ARE BELOW GRADE, BELOW-GRADE WALLS SHALL COMPLY WITH THE EXTERIOR INSULATION REQUIREMENTS FOR HEATED SLABS.

E. "MASS FLOORS" SHALL BE IN ACCORDANCE WITH SECTION C402.2.3.

F. STEEL FLOOR JOIST SYSTEMS SHALL BE INSULATED TO R-38.

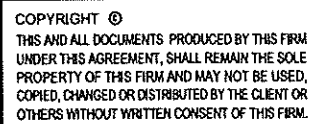
G. MASS WALLS SHALL BE IN ACCORDANCE WITH SECTION C402.2.2.

1. THE FIRST VALUE IS FOR PERIMETER INSULATION AND THE SECOND VALUE IS FOR SLAB INSULATION. PERIMETER INSULATION IS NOT REQUIRED TO EXTEND BELOW THE BOTTOM OF THE SLAB.

NOT APPLICABLE TO GARAGE DOORS. SEE TABLE C402.1.4.

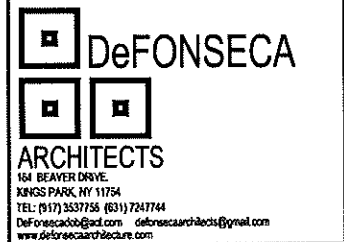
TERMAL ENVELOPE DIAGRAM (AS PER IECC 2018 TABLE C402.1.3)

SCALE: 3/16" = 1'-0"



## SCOPE OF WORK


NEW 2 STORY &  
CELLAR ADDITION

[illegible]

PROJECT  
HARVEST CHURCH  
2368 ROUTE NY-9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TIME

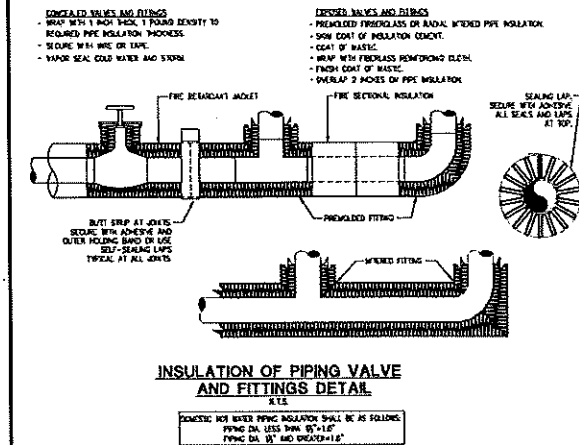
ENERGY  
TABULAR ANALYSIS,  
THERMAL ENVELOPE &  
AIR BARRIER

<b>SEAL &amp; SIGNATURE</b>  	DATE: 03/04/2024
	PROJECT No.: _____
	DRAWING BY: RV
	CHECKED BY: JCD
	DWG. No.: _____
	EN-101.00
SHEET No. _____	OF _____

PROGRESS PRINT : 4-5-2024

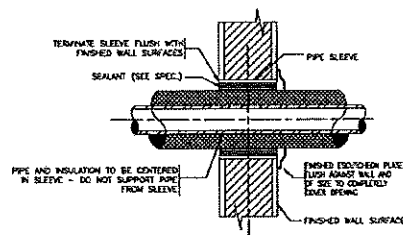
## 01 PIPE INSULATION DETAILS

SCALE: NTS

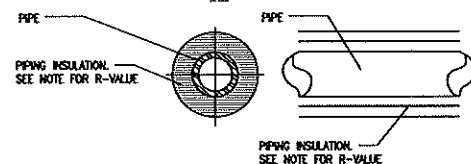


INSULATION OF PIPING VALVE AND FITTINGS DETAIL

DOMESTIC HOT WATER PIPING INSULATION SHALL BE AS FOLLOWS:  
PIPE DIA. LESS THAN 1/2" = 1/2"  
PIPE DIA. 1/2" AND OVER = 1/2"



PIPING SLEEVE &amp; INSULATION THRU INTERIOR WALL

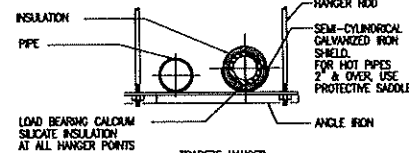


## NOTE:

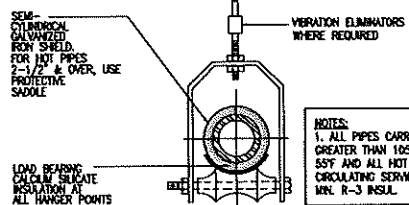
AS PER ICC 403.6 HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL 5 ON THE EQUIPMENT LOADS CALCULATED IN ACCORDANCE W/ MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES, BASED ON BUILDING LOADS FOR THE DIRECTIONAL ORIENTATION OF THE BUILDING.

## NOTES:

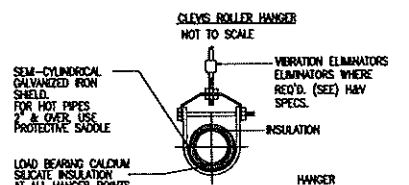
1. ALL PIPES CARRYING FLUIDS GREATER THAN 100°F OF BELOW 50°F SHALL BE INSULATED TO A MIN. R-3 INSUL. AS PER 403.3  
2. CIRCULATING HOT WATER SYSTEMS PIPING SHALL BE INSULATED TO A MIN. R-2 AS PER 403.4



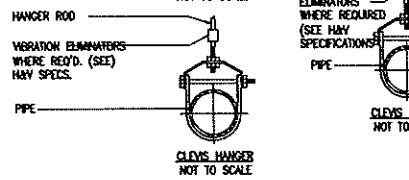
LOAD BEARING CALUMIN SILLICATE INSULATION AT ALL HANGER POINTS



LOAD BEARING CALUMIN SILLICATE INSULATION AT ALL HANGER POINTS



LOAD BEARING CALUMIN SILLICATE INSULATION AT ALL HANGER POINTS

TABLE C403.11.3 MINIMUM PIPE INSULATION THICKNESS (in inches)<sup>a, c</sup>

FLUID OPERATING TEMPERATURE RANGE AND USAGE (°F)	INSULATION CONDUCTIVITY		NOMINAL PIPE OR TUBE SIZE (inches)					
	Conductivity $k = \frac{Btu \cdot in}{h \cdot ft^2 \cdot ^\circ F}$	Mean Rating Temperature, °F	< 1	1 to < 1 1/2	1 1/2 to < 2	2 to < 3	3 to < 4	4 to < 8
> 250	0.32 - 0.34	250	4.5	5.0	5.5	6.0	6.5	7.0
251 - 350	0.28 - 0.32	200	3.0	4.0	4.5	5.0	5.5	6.0
351 - 450	0.27 - 0.30	150	2.5	2.5	2.5	3.0	3.0	3.0
451 - 550	0.25 - 0.29	125	1.5	1.5	2.0	2.0	2.0	2.0
551 - 650	0.21 - 0.28	100	1.0	1.0	1.5	1.5	1.5	1.5
651 - 750	0.21 - 0.27	75	0.5	0.5	1.0	1.0	1.0	1.0
< 40	0.20 - 0.25	50	0.5	1.0	1.0	1.0	1.0	1.0

FOR SE: 1 INCH = 25.4 MM, °C = [(°F) - 32]/1.8

A. FOR PIPING SMALLER THAN 1/2 INCHES AND LOCATED IN PARTITIONS WITHIN CONDITIONED SPACES, REDUCTION OF THESE THICKNESSES BY 1 INCH SHALL BE PERMITTED (BEFORE THICKNESS ADJUSTMENT REQUIRED IN FOOTNOTE B) BUT NOT TO A THICKNESS LESS THAN 1 INCH.

B. FOR INSULATION OUTSIDE THE STATED CONDUCTIVITY RANGE, THE MINIMUM THICKNESS (T) SHALL BE DETERMINED AS FOLLOWS:

WHERE:

T = MINIMUM INSULATION THICKNESS,

R = ACTUAL OUTSIDE RADIUS OF PIPE,

T = INSULATION THICKNESS LISTED IN THE TABLE FOR APPLICABLE FLUID TEMPERATURE AND PIPE SIZE.

K = CONDUCTIVITY OF ALTERNATE MATERIAL AT MEAN RATING TEMPERATURE INDICATED FOR THE APPLICABLE FLUID TEMPERATURE (BTU·IN/H·FT²·°F) AND K = THE UPPER VALUE OF THE CONDUCTIVITY RANGE LISTED IN THE TABLE FOR THE APPLICABLE FLUID TEMPERATURE.

C. FOR DIRECT-BURNED HEATING AND HOT WATER SYSTEM PIPING, REDUCTION OF THESE THICKNESSES BY 1/2 INCHES (38 MM) SHALL BE PERMITTED (BEFORE THICKNESS ADJUSTMENT REQUIRED BY FOOTNOTE B BUT NOT TO THICKNESSES LESS THAN 1 INCH.

## 02 NOTES

## C403.2.1 ZONE ISOLATION REQUIRED (MANDATORY)

HVAC SYSTEMS SERVING ZONES THAT ARE OVER 25,000 SQUARE FEET IN FLOOR AREA, SPAN MORE THAN ONE FLOOR, AND ARE DESIGNED TO OPERATE OR BE OCCUPIED NON-SIMULTANEOUSLY SHALL BE DIVIDED INTO ISOLATION AREAS. EACH ISOLATION AREA SHALL BE EQUIPPED WITH ISOLATION DEVICES AND CONTROLS CONFIGURED TO AUTOMATICALLY SHUT OFF THE SUPPLY OF CONDITIONED AIR, OUTDOOR AIR, AND EXHAUST AIR FROM THE ISOLATION AREA. EACH ISOLATION AREA SHALL BE CONTROLLED INDEPENDENTLY BY A DEVICE MEETING THE REQUIREMENTS OF SECTION C403.4.2.2. CENTRAL SYSTEMS AND PLANTS SHALL BE PROVIDED WITH CONTROLS AND DEVICES THAT WILL ALLOW SYSTEM AND EQUIPMENT OPERATION FOR ANY LENGTH OF TIME WHILE SERVING ONLY THE SMALLEST ISOLATION AREA SERVED BY THE SYSTEM OR PLANT.

## EXCEPTIONS:

EXHAUST AIR AND OUTDOOR AIR CONNECTIONS TO ISOLATION AREAS WHERE THE FAN SYSTEM TO WHICH THEY CONNECT IS NOT GREATER THAN 5,000 CFM (240 L/S). EXHAUST AIRFLOW FROM A SINGLE ISOLATION AREA OF LESS THAN 10 PERCENT OF THE DESIGN AIRFLOW OF THE EXHAUST SYSTEM TO WHICH IT CONNECTS. ISOLATION AREAS INTENDED TO OPERATE CONTINUOUSLY OR INTENDED TO BE INOPERATIVE ONLY WHEN ALL OTHER ISOLATION AREAS IN A ZONE ARE INOPERATIVE.

## C403.2.2 VENTILATION (MANDATORY)

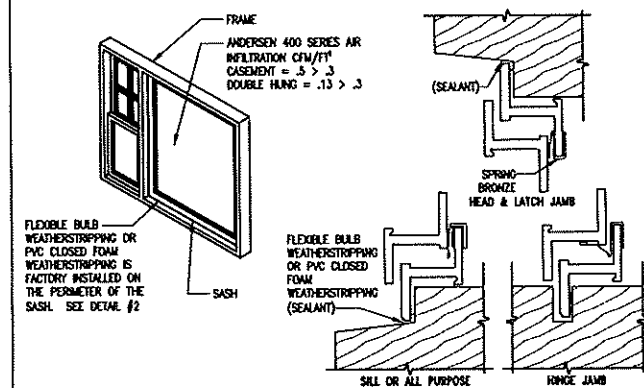
VENTILATION, EITHER MECHANICAL, SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 4 OF THE INTERNATIONAL MECHANICAL CODE. WHERE MECHANICAL VENTILATION IS PROVIDED, THE SYSTEM SHALL PROVIDE THE CAPABILITY TO REDUCE THE OUTDOOR AIR SUPPLY TO THE MINIMUM REQUIRED BY CHAPTER 4 OF THE INTERNATIONAL MECHANICAL CODE.

## C403.3 HEATING AND COOLING EQUIPMENT EFFICIENCIES (MANDATORY)

HEATING AND COOLING EQUIPMENT INSTALLED MECHANICAL SYSTEMS SHALL BE SIZED IN ACCORDANCE WITH SECTION C403.3.1 AND SHALL BE NOT LESS EFFICIENT IN THE USE OF ENERGY THAN AS SPECIFIED IN SECTION C403.3.2.

## 03 TYP. WINDOW DTL.

SCALE: NTS



## FEATURES

## Frame

① A seamless one-piece, preformed rigid vinyl frame cover is secured to the exterior of the frame to protect the wood frame from moisture and maintain an attractive appearance while minimizing maintenance.

② Venting units have a full-length, corrosion-resistant exterior frame snuggler, adding rigidity to the unit.

③ The seamless rigid exterior vinyl cover extends 1 1/4" (32) around the perimeter of the unit. This creates a flange to help seal the unit to the structure.

④ Wood frame members are treated with a water-repellent preservative for long-lasting protection and performance.

⑤ Interior stops are unfinished pine. Low-maintenance prefinished White interiors are also available.

## Sash

① Rigid vinyl (PVC) encases the entire sash — a vinyl weld protects each sash corner for superior weather-tightness. It maintains an attractive appearance and minimizes maintenance.

② Wood core members provide excellent structural stability and energy efficiency.

③ Flexible bulb weatherstripping or PVC closed-cell foam weatherstripping is factory installed on the perimeter of the sash.

ALL DIMENSIONS TO BE FIELD VERIFIED

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## SCOPE OF WORK

NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY

**DeFONSECA**  
ARCHITECTS  
164 BEAVER DRIVE  
KINGS PARK, NY 11754  
TEL: (516) 3537756 (516) 7247744  
DeFonsecaArch@aol.com DeFonsecaArchitects@gmail.com  
www.DeFonsecaArchitects.com

PROJECT  
**HARVEST CHURCH**  
2368 ROUTE NY-9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

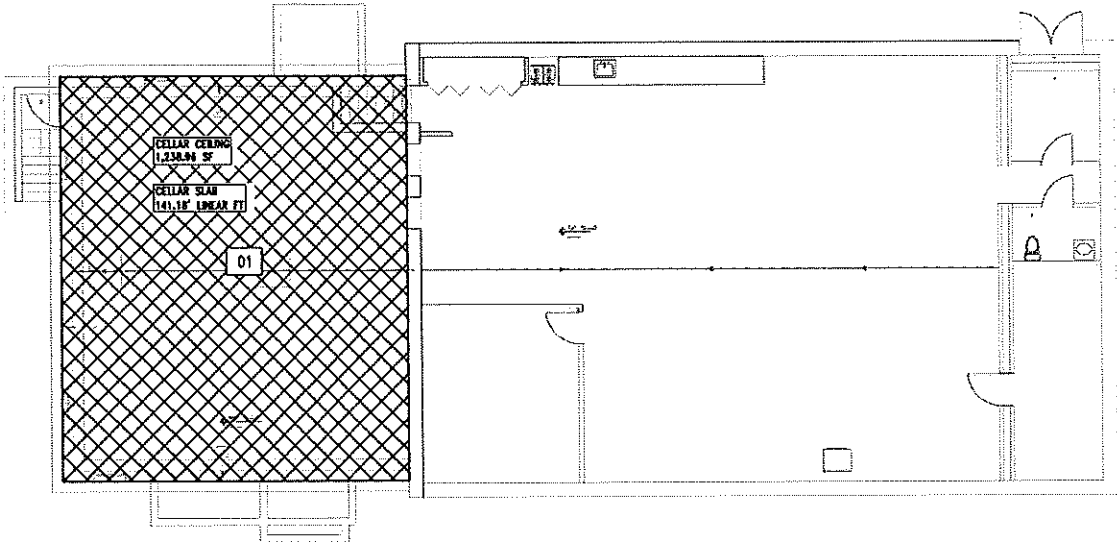
TITLE:  
**ENERGY  
TABULAR ANALYSIS  
PIPING INSULATION &  
WALL SECTION DETAIL**

SEAL & SIGNATURE	DATE: 03/04/2024
	PROJECT No.:
	DRAWING BY: RV
	CHECKED BY: JCD
	DWG. No.:
<b>EN-102.00</b>	
SHEET No. OF	

PROGRESS PRINT: 4.5-2024

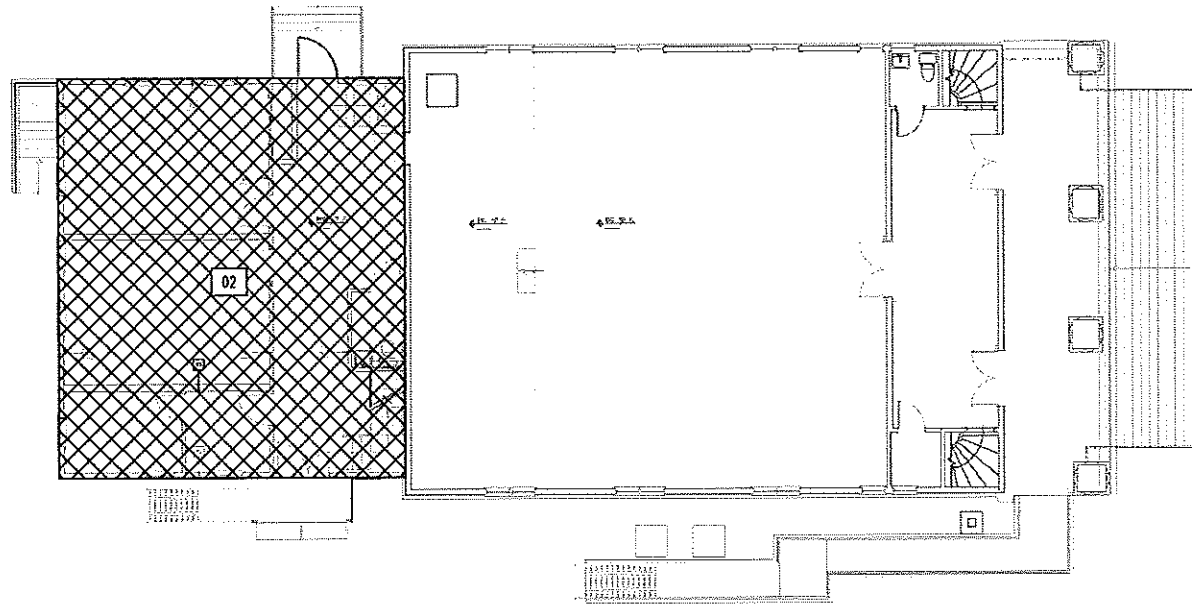


CELLAR PLAN SCALE: 1/8"=1'-0"



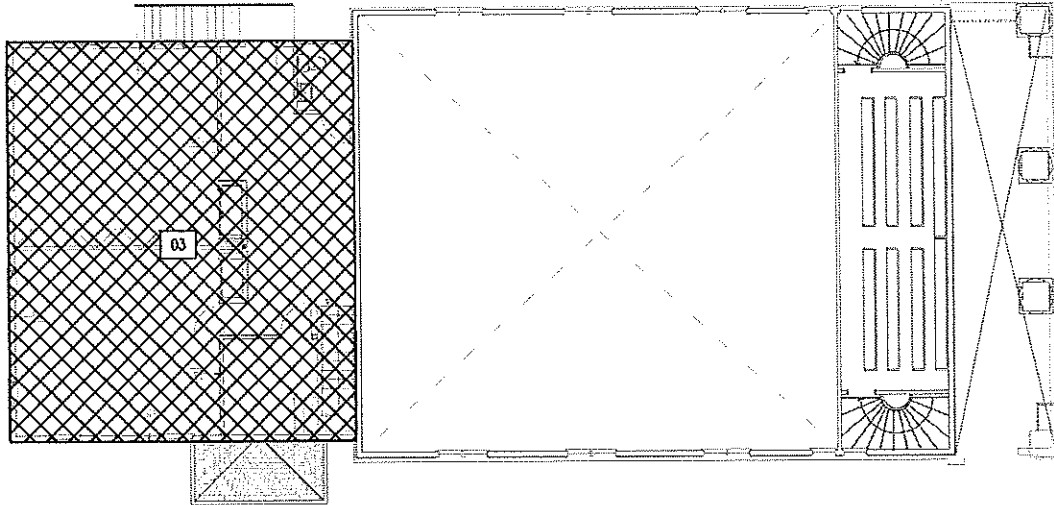
FLOOR AREA CALCS				
TAG	DIMS	DIMS	Gross Area	TOTAL
01	37'-11"	37'-8"	1230.96 SF	1230.96 SF

1ST FLOOR PLAN SCALE: 1/8"=1'-0"



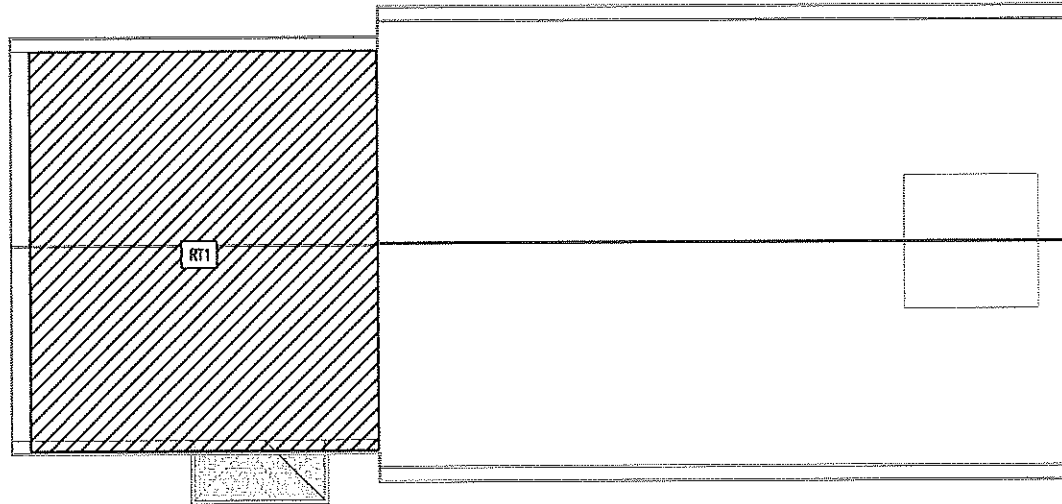
FLOOR AREA CALCS				
TAG	DIMS	DIMS	Gross Area	TOTAL
02	37'-8"	37'-3"	1222.38 SF	1222.38 SF

2ND FLOOR PLAN SCALE: 1/8"=1'-0"



FLOOR AREA CALCS				
TAG	DIMS	DIMS	Gross Area	TOTAL
03	37'-8"	37'-3"	1222.38 SF	1222.38 SF

ROOF SCALE: 1/8"=1'-0"



ROOF TYPES AREA	
TAG	TOTAL
RT1	1222.38 SF

TOTAL FLOOR AREA CALCS.

TOTAL FLOOR AREA CALCS				
TAG	DIMS	DIMS	Gross Area	TOTAL
01	37'-11"	37'-8"	1230.96 SF	1230.96 SF
02	37'-8"	37'-3"	1222.38 SF	1222.38 SF
03	37'-8"	37'-3"	1222.38 SF	1222.38 SF

ALL DIMENSIONS  
TO BE FIELD  
VERIFIED

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SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

**DeFONSECA**  
**ARCHITECTS**  
164 BEAVER DRIVE  
KINGS PARK, NY 11754  
TEL: (516) 3537756 (631) 7247744  
DeFonsecaArch@aol.com defonsecaarchitects@gmail.com  
www.defonsecaarchitects.com

PROJECT

HARVEST CHURCH  
2368 ROUTE NY-9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE:

FLOOR AREA DIAGRAM  
AND CALCULATIONS

SEAL & SIGNATURE

DATE: 03/04/2024

PROJECT No.:  

DRAWING BY: RV

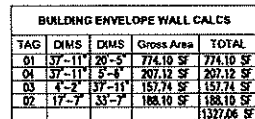
CHECKED BY: JCO

DWG. No.: EN-103.00

SHEET No.  OF  

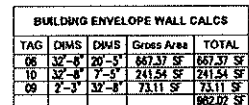
PROGRESS PRINT: 4-5-2024

**SOUTH (REAR) ELEVATION**      **SCALE:  $1/8" = 1'-0"$**



TAG	DIMS	DIMS	GROSS AREA	LTB	LTB TOTAL
W6	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
W7	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
W8	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
W9	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
W1	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W3	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W4	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W5	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W10	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W11	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W12	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W13	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W14	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W15	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W16	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W17	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W18	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W19	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W20	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W21	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W22	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W23	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W24	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W25	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W26	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W27	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W28	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W29	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W30	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W31	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W32	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W33	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W34	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W35	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W36	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W37	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W38	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W39	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W40	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W41	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W42	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W43	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W44	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W45	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W46	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W47	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W48	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W49	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W50	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W51	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W52	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W53	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W54	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W55	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W56	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W57	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W58	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W59	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W60	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W61	3'-0"	4'-6"	13.50 SF	15'-0"	15'-0"
W62	3'-0"	4'-6"	13.50 SF	15'-0"	1

\_\_\_\_\_



TAG	DIMS	DIMS	GROSS AREA	LTB	LTB TOTAL
D3	3'-0"	5'-0"	18.00 SF	18'-0"	18'-0"
W15	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
W16	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
W17	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
W18	3'-0"	5'-6"	16.50 SF	17'-0"	17'-0"
D4	3'-0"	5'-0"	18.00 SF	18'-0"	18'-0"
W22	3'-0"	2'-0"	6.00 SF	10'-0"	10'-0"
			108.00 SF		1388

	TOTAL BUILDING
--	----------------

TOTAL BUILDING ENVELOPE WALL CALCS				
TAG	DIMS	DIMS	Gross Area	TOTAL
06	3'-8"	2'-5"	667.37 SF	667.37 SF
07	3'-8"	2'-5"	667.37 SF	667.37 SF
08	3'-8"	2'-5"	667.37 SF	667.37 SF
09	3'-8"	2'-5"	667.37 SF	667.37 SF
07	3'-8"	2'-5"	241.50 SF	241.50 SF
06	2'-3"	3'-8"	73.11 SF	73.11 SF
01	3'-8"	3'-8"	73.11 SF	73.11 SF
06	3'-11"	2'-3"	774.10 SF	774.10 SF
04	3'-11"	2'-3"	207.52 SF	207.52 SF
03	4'-2"	3'-11"	157.74 SF	157.74 SF
02	17'-7"	33'-7"	188.10 SF	188.10 SF
				3281.06 SF
TOTAL BUILDING ENVELOPE (ABOVE GRADE)				3800.90 SF

TOTAL BUILDING FENESTRATION CALCS & LTB						
TAG	DIMS	CM'S	GROSS AREA	LTB -	LTB TOTAL	
D3	3'-0" x 6'-0"	18.00 SF	18'-0"	18'-0"		
W15	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W16	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W17	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W18	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
D4	3'-0" x 6'-0"	18.00 SF	18'-0"	18'-0"		
D1	3'-0" x 6'-0"	18.00 SF	18'-0"	18'-0"		
O2	3'-0" x 6'-0"	18.00 SF	18'-0"	18'-0"		
W11	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W12	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W13	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W14	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W5	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W6	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W9	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W10	3'-0" x 5'-6"	16.50 SF	17'-0"	17'-0"		
W1	3'-0" x 4'-6"	13.50 SF	15'-0"	15'-0"		
W2	3'-0" x 4'-6"	13.50 SF	15'-0"	15'-0"		
W3	3'-0" x 4'-6"	13.50 SF	15'-0"	15'-0"		
W4	3'-0" x 4'-6"	13.50 SF	15'-0"	15'-0"		
W5	3'-0" x 4'-6"	13.50 SF	15'-0"	15'-0"		
W6	3'-0" x 4'-6"	13.50 SF	15'-0"	15'-0"		
W10	3'-0" x 2'-0"	6.00 SF	10'-0"	10'-0"		
D5	3'-0" x 2'-0"	6.00 SF	10'-0"	10'-0"		
W1	3'-0" x 2'-0"	6.00 SF	10'-0"	10'-0"		
W21	3'-0" x 2'-0"	6.00 SF	10'-0"	10'-0"		
W22	3'-0" x 2'-0"	6.00 SF	10'-0"	10'-0"		
			385.50 SF			5052

TOTAL BUILDING FENESTRATION CALCS & LTB (ABOVE GRADE):		
343.64 SF		4856

THE VERTICAL FENESTRATION AREA, NOT INCLUDING OPAQUE DOORS AND OPAQUE SPANDREL PANELS, SHALL BE NOT GREATER THAN 30 PERCENT OF THE GROSSABOVE-GRADE WALL AREA. THE SKYLIGHT AREA SHALL BE NOT GREATER THAN 3 PERCENT OF THE GROSS ROOF AREA.

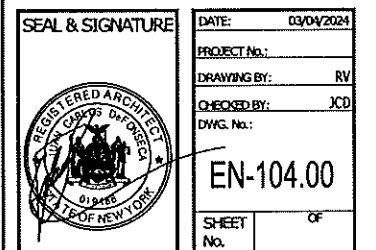
TOTAL FENESTRATION AREA = 14.13 %

TAG	DIMS	DIMS	Gross Area	TOTAL
10	32'-8"	7'-5"	241.54 SF	241.54
07	32'-8"	7'-5"	241.50 SF	241.50
04	37'-11"	5'-6"	207.12 SF	207.12
				890.16

CONCRETE WALL (ABOVE GRADE)				
TAG	DIMS	DIMS	Gross Area	TOTAL
08	2'-3"	32'-8"	73.11 SF	73.11
06	2'-3"	32'-8"	73.11 SF	73.11
03	4'-2"	37'-11"	157.74 SF	157.74
				303.96

STEEL FRAME WALL				
TAG	DIMS	DIMS	Gross Area	TOT
01	37'-11"	20'-5"	774.10 SF	774.10
02	17'-7"	33'-7"	188.10 SF	188.10
05	32'-8"	20'-5"	667.37 SF	667.37
06	32'-8"	20'-5"	667.37 SF	667.37
				2296.9

REVISIONS	DATE	BY
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PROGRESS PRINT - 4-5-2024



# COMcheck Software Version 4.1.5.5 Envelope Compliance Certificate

**Project Information**  
 Energy Code: 2018 IECC  
 Project Title: HARVEST CHURCH - NEW 2 STORY & CELLAR ADDITION  
 Location: Wappingers Falls, New York  
 Census Zone: 84  
 Project Type: Addition  
 Vertical Cladding / Fuel Area: 11%

Convention Site: 2368 ROUTE NY-9D  
 WAPPINGERS FALLS, NY 12590  
 Owner/Agent: NY  
 Designer/Contractor: JUAN C. DEFONSECA  
 DEFONSECA ARCHITECTS  
 164 BEAVER DRIVE  
 KING'S PARK, NY 11754  
 (617) 353 7756 (631) 724 7744  
 DEFONSECA008@AOL.COM

Building Area	Floor Area
1 School/University: Residential	3604

Envelope Assemblies	Assembly	Gross Area or Perimeter	Cavity R-Value	Cost R-Value	Proposed U-Factor	Budget U-Factor
WALL 01: 07.19 - FOUNDATION WALL (BELOW GRADE): Solid Concrete 12" Thickness, Medium Density, Furring: None, (Bldg. Use 1 - School/University)		890	—	13.0	0.064	0.060
Door 001: Insulated Metal, Non-Swinging, Bldg. Use 1 - School/University		18	—	—	0.310	0.179
WALL 03: 06.09 - FOUNDATION WALL: Solid Concrete 12" Thickness, Medium Density, Furring: None, (Bldg. Use 1 - School/University)		304	—	16.0	0.079	0.080
WINDOW W01 THROUGH W02: Metal Frame Operable, Part. Spec., Product ID AND-HA-01215-00003, SHGC 0.38, VT 0.43, (Bldg. Use 1 - School/University) (S)		24	—	—	0.250	0.450
WALL 01: 02.05.08 - "F" STRUCTURAL METAL STUDS AND VINYL SIDING STEEL FRAME: Blue-Facade, 15" c.c., (Bldg. Use 1 - School/University)		2297	15.0	10.0	0.064	0.064
WINDOW W01 THROUGH W02: Metal Frame Operable, Part. Spec., Product ID AND-HA-01215-00003, SHGC 0.38, VT 0.43, (Bldg. Use 1 - School/University) (S)		277	—	—	0.250	0.450
DOOR 001 THROUGH 003: Doors (1 50% glazing) Metal Frame, Non-Insulated Door, Part. Spec., Product ID JELD-WEN FIBERGLASS DOORS, SHGC 0.34, VT 0.18, (Bldg. Use 1 - School/University) (S)		86	—	—	0.360	0.450
SLAB ON GRADE: Sub-On-Grade Unheated Fully Insulated (uniform R-value across perimeter + under entire slab) (Bldg. Use 1 - School/University) (S)		141	—	15.0	0.300	0.540
CELLAR CEILING: Insulation Entirely Above Deck, (Bldg. Use 1 - School/University)		1226	—	30.0	0.026	0.032
ROOF: Asic Roof with Wood Joists, (Bldg. Use 1 - School/University)		1222	6.0	30.0	0.025	0.021

Project Title: HARVEST CHURCH - NEW 2 STORY & CELLAR ADDITION  
 Data Filename: F:\Dropbox\00 ARCH ALL - RV02 Defonseca\0251 - HARVEST CHURCH\COMcheck\HARVEST CHURCH - ECC 2018 (NY STATE).cdx  
 Report date: 04/05/24  
 Page: 1 of 16

(a) Budget U-factors are used for software baseline calculations ONLY, and any not code requirements.  
 (b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.  
 (c) Sub-On-Grade proposed and budget U-factors shown in table are "F" factors.

**Project Notes**  
 Envelope PASSES: Design 26%, better than code  
 Envelope Compliance Statement  
 Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 NEW 2 STORY & CELLAR ADDITION

Project Title: HARVEST CHURCH - NEW 2 STORY & CELLAR ADDITION  
 Data Filename: F:\Dropbox\00 ARCH ALL - RV02 Defonseca\0251 - HARVEST CHURCH\COMcheck\HARVEST CHURCH - ECC 2018 (NY STATE).cdx  
 Report date: 04/05/24  
 Page: 2 of 16

# COMcheck Software Version 4.1.5.5 Interior Lighting Compliance Certificate

**Project Information**  
 Energy Code: 2018 IECC  
 Project Title: HARVEST CHURCH - NEW 2 STORY & CELLAR ADDITION  
 Location: Wappingers Falls, New York  
 Census Zone: 84  
 Project Type: Addition  
 Vertical Cladding / Fuel Area: 11%

Convention Site: 2368 ROUTE NY-9D  
 WAPPINGERS FALLS, NY 12590  
 Owner/Agent: NY  
 Designer/Contractor: JUAN C. DEFONSECA  
 DEFONSECA ARCHITECTS  
 164 BEAVER DRIVE  
 KING'S PARK, NY 11754  
 (617) 353 7756 (631) 724 7744  
 DEFONSECA008@AOL.COM

Allowed Interior Lighting Power	A Area Category	B Floor Area (F2)	C Allowed Watts / F2	D Allowed Watts (B X C)
1 School/University		3604	0.81	2924
			Total Allowed Watts =	2924

Proposed Interior Lighting Power	A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamp/Fixture	C # of Fixtures	D Watts (C X D)
1 School/University	FC PCESS-LED 2'X' LIGHT, LED Linear 15W	1	75	1095
			Total Proposed Watts =	1095

Interior Lighting PASSES: Design 63%, better than code  
 Interior Lighting Compliance Statement  
 Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: HARVEST CHURCH - NEW 2 STORY & CELLAR ADDITION  
 Data Filename: F:\Dropbox\00 ARCH ALL - RV02 Defonseca\0251 - HARVEST CHURCH\COMcheck\HARVEST CHURCH - ECC 2018 (NY STATE).cdx  
 Report date: 04/05/24  
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# COMcheck Software Version 4.1.5.5 Exterior Lighting Compliance Certificate

**Project Information**  
 Energy Code: 2018 IECC  
 Project Title: HARVEST CHURCH - NEW 2 STORY & CELLAR ADDITION  
 Location: Wappingers Falls, New York  
 Census Zone: 84  
 Project Type: Addition  
 Vertical Cladding / Fuel Area: 11%

Convention Site: 2368 ROUTE NY-9D  
 WAPPINGERS FALLS, NY 12590  
 Owner/Agent: NY  
 Designer/Contractor: JUAN C. DEFONSECA  
 DEFONSECA ARCHITECTS  
 164 BEAVER DRIVE  
 KING'S PARK, NY 11754  
 (617) 353 7756 (631) 724 7744  
 DEFONSECA008@AOL.COM

Allowed Exterior Lighting Power	A Area/Category	B Quantity	C Allowed Watts / Unit	D Total Allowed Watts (B X C)
1 School/University		24182	0.07	1693
			Total Allowed Watts =	1693

Proposed Exterior Lighting Power	A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamp/Fixture	C # of Fixtures	D Watts (C X D)
1 School/University	FC PCESS-LED 2'X' LIGHT, LED Linear 15W	1	75	1095
			Total Proposed Watts =	1095

Exterior Lighting PASSES: Design 62%, better than code  
 Exterior Lighting Compliance Statement  
 Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: HARVEST CHURCH - NEW 2 STORY & CELLAR ADDITION  
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# COMcheck Software Version 4.1.5.5 Inspection Checklist

Requirements: 0.0% were addressed directly in the COMcheck software  
 Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req#	Plan Review	Complies?	Comments/Assumptions
C103.1 (PR11)	Plans and/or specifications provide all information with which compliance can be determined for the building envelope and document where exceptions to the standard are claimed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C103.2 (PR17)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C103.2 (PR17)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the exterior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include exterior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.4.1 (PR10)	The vertical fenestration area <= 30 percent of the gross above-grade wall area.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.4.1 (PR11)	The skylight area <= 3 percent of the gross roof area.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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Section # & Req#	Plan Review	Complies?	Comments/Assumptions
C403.4.2 (PR14)	In enclosed spaces > 2,500 ft <sup>2</sup> directly under a roof with ceiling height > 15 ft, and used as an office, lobby, atrium, concourse, corridor, storage, gymnasium/exercise center, connection center, automotive service, manufacturing, non-retail/wholesale warehouse, retail store, distribution/working area, transportation, or workshop, the following requirements apply: (a) the daylight zone under skylights is >= half the floor area; (b) the skylight area to daylight zone is <= 3 percent with a skylight VT >= 0.40; or a minimum skylight effective aperture >= 3 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.3 (PR15)	Group R-2 dwelling units have separate electric meters.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.3 (PR15)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:  
 Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)  
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Section # & Req#	Fenestration / Fenestration Inspection	Complies?	Comments/Assumptions
C403.2.1 (PR17)	Sub edge insulation installed per manufacturer's instructions.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.2 (PR17)	Exterior insulation protected against damage, sunlight, moisture, wind, landscaping and equipment maintenance activities.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.3 (PR17)	Installed sub-edge insulation type and its value consistent with insulation specifications reported in plans and COMcheck reports.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C403.2.4 (PR17)	Sub edge insulation depth/length: Sub insulation extending away from building is covered by pavement or >= 10 inches of soil.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.

Additional Comments/Assumptions:  
 Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)  
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Section # & Req#	Fenestration / Fenestration Inspection	Complies?	Comments/Assumptions
C403.2.1 (PR17)	Fenestration products rated in accordance with NFRC.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.2 (PR17)	Fenestration products are certified as 30 performance labels in certificates provided.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.3 (PR17)	Vertical fenestration SHGC value.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C403.2.4 (PR17)	Installed vertical fenestration U-factor and SHGC, or consistent with label specifications and as reported in plans and COMcheck reports.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C403.2.5 (PR17)	The building envelope contains a continuous air barrier that is tested in an approved manner.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.6 (PR17)	Factory-built fenestration and doors are labeled as meeting air leakage requirements.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.7 (PR17)	Vestibules are installed on all building entrances. Doors have self-closing devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:  
 Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)  
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SCOPE OF WORK  
 NEW 2 STORY & CELLAR ADDITION

REVISIONS	DATE	BY

**DeFONSECA ARCHITECTS**  
 164 BEAVER DRIVE  
 KING'S PARK, NY 11754  
 TEL: (617) 353 7756 (631) 724 7744  
 Defonseca008@aol.com defonsecaarchitects@gmail.com  
 www.defonsecaarchitects.com

HARVEST CHURCH  
 2368 ROUTE NY-9D,  
 WAPPINGERS FALLS, NY 12590  
 DUTCHESS COUNTY

COMCHECK (1)

SEAL & SIGNATURE  
 DATE: 03/04/2024  
 PROJECT No.:  
 DRAWING BY: RV  
 CHECKED BY: JCD  
 DWS No.:  
 EN-105.00  
 SHEET No. OF

PROGRESS PRINT: 4-5-2024

Section #	Requirement	Complies?	Comments/Assumptions
C402.2.1 [E127]	Roof and elevator shaft vents have motorized dampers that automatically close. Reference section C402.2.1 for operational details.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.2 [E128]	Outdoor air and exhaust systems have motorized dampers that automatically shut when not in use and meet minimum leakage rates. Check gasketed dampers where allowed. Reference section language for operational details.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)  
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Section #	Requirement	Complies?	Comments/Assumptions
C402.2.1 [E127]	Roof insulation installed per manufacturer's instructions. Bases of poured loose-fill insulation is installed only where the roof slope is <= 3 in 12.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.2 [E128]	Insulation installed on a suspended ceiling having rafter ties is not below specified for raftering assemblies. Continuous insulation board installed in 2 or more layers with edge joints offset between layers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.3 [E129]	Building envelope insulation is labeled with R-value or insulation certificate providing R-value and other relevant data.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.4 [E130]	Above-grade wall insulation installed per manufacturer's instructions.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.5 [E131]	Exterior insulation is protected from damage with a protective material. Verification for exposed foundation insulation may need to occur during foundation inspection.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.6 [E132]	Recessed lighting spaces doors have R-15 insulation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.7 [E133]	Installed above-grade wall insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.2.8 [E134]	Installed floor insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.2.9 [E135]	Radiant panels and associated components, designed for heat transfer from the panel surfaces to the occupants or indoor space are insulated with a minimum of R-5.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.10 [E136]	Installed roof insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports. For some ceiling systems, verification may need to occur during framing inspection.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.2.11 [E137]	All sources of air leakage in the building thermal envelope are sealed, caulked, gasketed, weather stripped or wrapped with moisture vapor permeable wrapping material to minimize air leakage.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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Section #	Requirement	Complies?	Comments/Assumptions
C405.2.1 [E127]	Spaces required to have light reduction controls have a manual control that allows the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern >= 50 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 [E128]	Occupancy sensors installed in classrooms, lecture halls, training rooms, conference rooms, computer rooms, copy/print rooms, open plan office areas, restrooms, storage rooms, locker rooms, warehouse storage areas, and other spaces <= 300 sq ft that are enclosed by floor-to-ceiling height partitions. Reference section language C405.2.2.3 for control function in warehouses and section C405.2.2.3 for open plan office spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 [E129]	Occupancy sensors control function in warehouses: in warehouses, the lighting in aisles and open areas is controlled by occupancy sensors that automatically reduce lighting power by 50% or more when the areas are unoccupied. The occupancy sensors control lighting in each aisleway independently and do not control lighting beyond the aisleway being controlled by the sensor.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.4 [E130]	Occupancy sensor control function in open plan office areas: Occupant sensor controls in open office spaces >= 300 sq ft. have controls 1) configured so that general lighting can be controlled separately in control zones with floor areas <= 600 sq ft. within the space, 2) automatically turn off general lighting in all control zones within 20 minutes after all occupants have left the space, 3) are configured so that general lighting power in each control zone is reduced by >= 80% of the full rated general lighting power within 20 minutes of all occupants leaving that control zone, and 4) are configured such that any daylight responsive control with activable space general lighting or control zone general lighting only when occupancy for the same area is detected.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.5 [E131]	Each area not served by occupancy sensors (see C405.2.3) have time switch controls and functions detailed in sections C405.2.3 and C405.2.2.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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Section #	Requirement	Complies?	Comments/Assumptions
C405.2.1 [E127]	Daylight zones provided with individual controls that control the lighting independent of general area lighting. See section C405.2.3. Daylight-responsive controls for applicable spaces. C405.2.3.1 Daylight responsive control function and section C405.2.3.2 daylight zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 [E128]	Separate lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 [E129]	Additional interior lighting power allowed for special functions per the approved lighting plans and in automatically controlled and separately from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.4 [E130]	Manual controls required by the energy code are in a location with ready access to occupants and located where the controlled lights are visible, or identify the area served and their status.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.5 [E131]	Automatic lighting controls for exterior lighting installed. Controls will be daylight controls, set based on business operation time-of-day, or reduce connected lighting > 30%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.6 [E132]	Exit signs do not exceed 5 watts per face.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.7 [E133]	Low-voltage dry-type distribution electric transformers meet the minimum efficiency requirements of Table C405.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.8 [E134]	Electric motors meet the minimum efficiency requirements of Tables C405.7(1) through C405.7(4). Efficiency verified through certification under an approved certification program or the equipment efficiency ratings shall be provided by motor manufacturer (where certification programs do not exist).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.9 [E135]	Elevators and moving walks comply with ASME A17.1/CSA B44 and have automatic control configured to reduce speed to the maximum permitted speed in accordance with ASME A17.1/CSA B44 or applicable local code when not conveying passengers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.10 [E136]	Total voltage drop across the combination of feeders and branch circuits <= 5%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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Section #	Requirement	Complies?	Comments/Assumptions
C406.2.1 [E127]	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406.2.2 [E128]	Weatherstrips installed on all loading dock large door openings and provide direct contact along the top and sides of vehicles parked in the doorway.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406.2.3 [E129]	Recessed luminaires in thermal envelope to limit infiltration and be IC rated and labeled. Seal between interior finish and luminaire housing.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406.2.4 [E130]	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Interior Lighting fixture schedule for values.
C406.2.5 [E131]	Exterior lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Exterior Lighting fixture schedule for values.
C406.2.6 [E132]	Building operations and maintenance documents will be provided to the owner. Documents will cover manufacturer's information, specifications, programming procedures and means of illustrating to owner how building equipment and systems are intended to be installed, maintained, and operated.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406.2.7 [E133]	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406.2.8 [E134]	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)  
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## SCOPE OF WORK

NEW 2 STORY &  
CELLAR ADDITION

REVISIONS	DATE	BY

**DeFONSECA**  
ARCHITECTS  
104 BEAVER DRIVE  
KINGS PARK, NY 11754  
TEL: (516) 353-7758 (516) 724-7744  
DeFonsecaArch@aol.com defonsecaarchitects@gmail.com  
www.defonsecaarchitects.com

PROJECT  
**HARVEST CHURCH**  
2368 ROUTE NY-9D,  
WAPPINGERS FALLS, NY 12590  
DUTCHESS COUNTY

TITLE  
**COMCHECK (II) & NOTES**

SEAL & SIGNATURE	DATE: 03/04/2024
	PROJECT No.: RV
	DRAWING BY: JCD
	CHECKED BY: JCD
	DWG. No.: EN-106.00
SHEET No.	OF

PROGRESS PRINT - 4-5-2024



