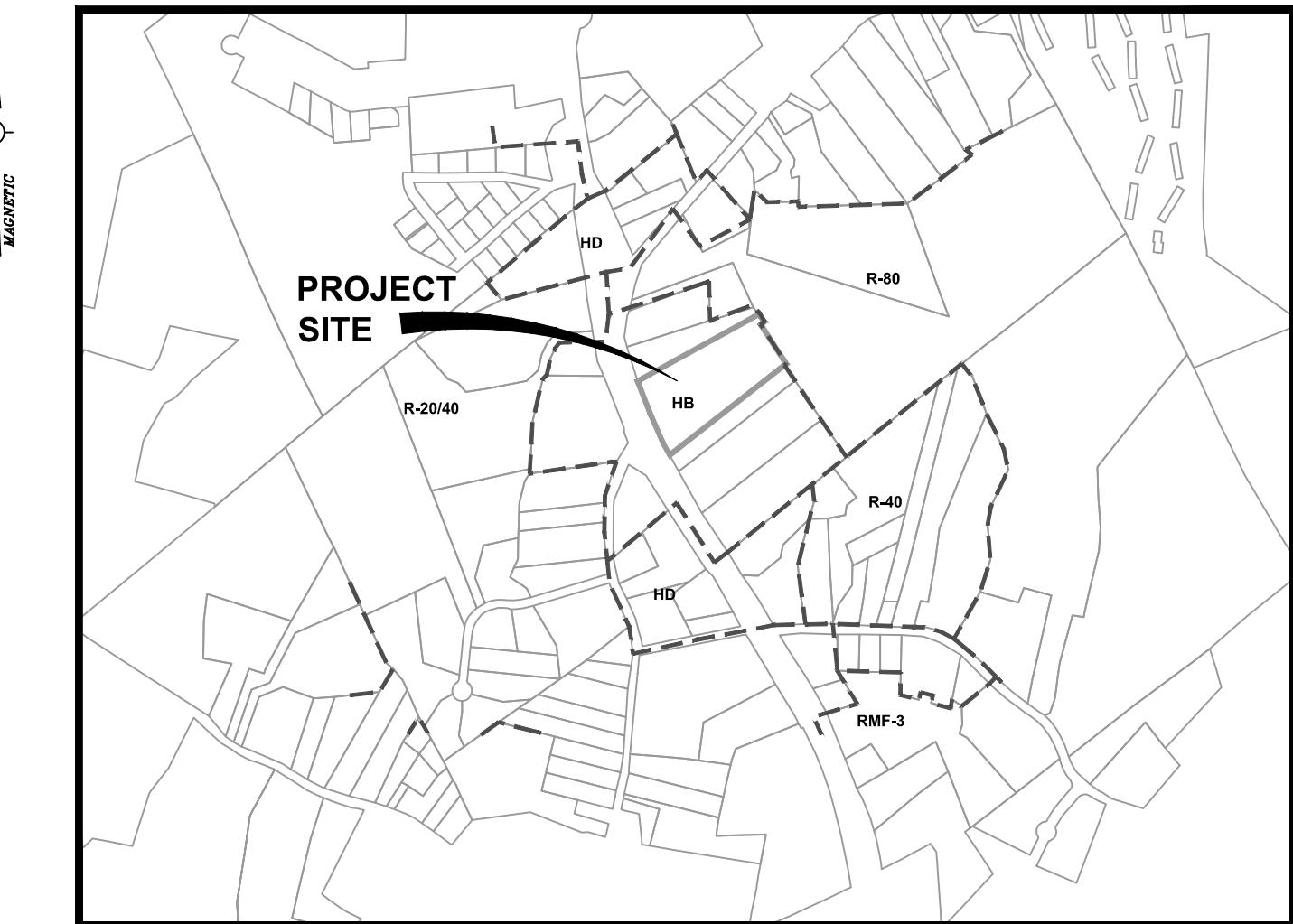


WAPPINGER SUBARU BUILDING EXPANSION

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY



LOCATION MAP
SCALE: 1"=1000'

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TOWN OF WAPPINGER PLANNING BOARD APPROVAL TOWN OF WAPPINGER, NEW YORK
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK ON THE ____ DAY OF _____. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS SITE PLAN AS APPROVED SHALL VOID THIS APPROVAL SIGNED THIS ____ DAY OF _____. BY
CHAIRMAN, TOWN PLANNING BOARD

WAPPINGER SUBARU
BUILDING EXPANSION
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO: DATE: DESCRIPTION:
Revisions

PROJECT NUMBER: 2254625
DRAWN BY:
REVIEWED BY:
ISSUED FOR: PLANNING BOARD REVIEW
DATE: 12/17/2025
DRAWING NAME:

COVER SHEET

BULK TABLE:			
HIGHWAY BUSINESS ZONING DISTRICT: (HB)			
ZONING REQUIREMENTS:			
REQUIRED	EXISTING	PROPOSED	
MINIMUM LOT AREA	3 ACRES	6.31 ACRES	
MINIMUM LOT WIDTH	150 FT	302.7 FT	
MINIMUM LOT DEPTH	200 FT	788 FT	
MINIMUM REQUIRED STREET FRONTOAGE	150 FT	429.4 FT	429.4 FT
MINIMUM YARDS			
FRONT	75 FT	134.7 FT	134.7 FT
SIDES	10 FT	56.8 FT	55.3 FT
REAR	30 FT	442 FT	322 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT
MAXIMUM BUILDING COVERAGE	25 %	6.79%	13.06%
MAXIMUM FLOOR AREA RATIO	0.4	.136	.198
MAXIMUM IMPERVIOUS AREA	75%	50%	54.5%
MINIMUM LANDSCAPED OPEN SPACE	25%	50%	45.5%

EXISTING/ 2015 APPROVED AMENDED SITE TOTAL PARKING SPACES ON SITE:	PARKING REQUIREMENTS AND PROPOSED CONFORMANCE: 40 EMPLOYEE X 2 SPACES/ 3 EMPLOYEES = 27 10 CUSTOMER (3 ADA ACCESSIBLE) 27 EMPLOYEE + 137 EMPLOYEE CONTROLLED SPACES 268 INVENTORY SPACES 442 SPACES TOTAL
	TOTAL PARKING SPACES PROVIDED ON SITE: 10 CUSTOMER (3 ADA ACCESSIBLE) 27 EMPLOYEE + 116 EMPLOYEE CONTROLLED SPACES 265 INVENTORY 408 SPACES TOTAL
	NOTE: 70 CARS PER ACRE MAXIMUM 6.31 ACRES X 70 CARS/ ACRE = 441 CARS, 408 SPACES PROVIDED PER TABLE 1106.1 OF THE NYS BUILDINGS CODE- 2 HANDICAP SPACES REQUIRED FOR TOTAL PARKING IN LOT FROM 26 TO 50 SPACES, 3 HANDICAP SPACES PROPOSED. (TOTAL PARKING IN LOT BASED UPON 10 CUSTOMER SPACES + 27 EMPLOYEE SPACES)
CUSTOMER/EMPLOYEE PARKING SPACES (10'X18'):	PARKING SPOTS BUILT TO TOWN STANDARDS FOR EMPLOYEES PARKING PERSONAL CARS AS WELL AS CUSTOMER PARKING
EMPLOYEE CONTROLLED PARKING SPACES (9'X18'):	SPACES UTILIZED BY EMPLOYEES TO PLACE CARS IN QUEUE PRIOR TO AND AFTER SERVICE. ALSO USED FOR VEHICLE RETAIL DISPLAY.
INVENTORY PARKING SPACES (7'X14')(7'X16')(8'X16')(9'X16'):	SPACES USED SOLELY FOR VEHICLE INVENTORY/STORAGE

VIP SUBARU WAPPINGER, LLC
31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756
2254625: WAPPINGER SUBARU BUILDING EXPANSION
DECEMBER 17, 2025

DEMOLITION NOTES:

- REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS & NOTES PRIOR TO COMMENCEMENT OF WORK.
- BUILDING/STRUCTURE TO BE DEMOLISHED IS SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK. PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS GOVERNING THE DISPOSAL OF SOLID WASTE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
- CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, Hauling, DISPOSAL AND STORAGE OF DEMOLITION MATERIALS.
- PROVIDE ERECT, AND MAINTAIN TEMPORARY BARRIERS, AND SECURITY DEVICES.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITY HAVING JURISDICTION.
- NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- REMOVAL AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
- MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE W/ AUTHORITY HAVING JURISDICTION.
- CEASE ALL WORK IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
- ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
- FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLANS TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- CONDUCT DEMOLITION OPERATIONS TO REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- ICE WORK, USE TEMPORARY PROTECTIONS AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT, COMPLY WITH COVERING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICING, FLOODING, AND TRANSPORTING POLLUTANTS.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT AREAS AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
- PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

SITE PLAN NOTES:

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE RELOCATED BY THE CONTRACTOR AT EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
- ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.
- ALL ARCHAEOLOGICAL FEATURES SHALL BE MAINTAINED IN AN UNALTERED STATE.
- NOTICE ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
- NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
- ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY LOCATED ON THE SITE, EXCEPT AS BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVING AND REPAIR AS NECESSARY. SAWCUT LINES SHALL BE MAINTAINED AT POINT NEEDING TO BLEND GRADE. REMOVE LAWN AND REPLACE TO MINIMUM LINE OF EXCAVATION.
- IF PREVIOUSLY UNKNOWN CULTURAL, ARCHAEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. THE AREA SHALL REMAIN SUSPENDED UNTIL THE PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.

LAYOUT NOTES:

- BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE BLDG LAYOUT. THE CONTRACTOR SHALL TAKE CARE OF UTILITIES CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

PAVING NOTES:

- NO VEHICLE TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL UNTIL IT HAS BEEN FINELY GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
- SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS DURING THE LATEST EDITION. CONSTRUCTION SHALL BE AS PERMITTED FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
- PLACE ASPHALT CONCRETE MIXTURE OF PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
- PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAY'S WORK.
- TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
 - TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITION", SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 – TACK COAT SHALL BE APPLIED IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
 - MOVE LOGS AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
 - APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & AND SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTIONS INTO OR ABUTTING PAVEMENT. DRY THE "TACKY" CONSISTENCY BEFORE PAVING.
 - TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
- AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

GRADING NOTES:

- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
- IF ROCK IS ENCOUNTERED DURING CONSTRUCTION & REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND LOCAL AUTHORITY ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCCR 39 AND INDUSTRIAL CODE RULE 753.
- STRIP AT LEAST 10' FROM THE COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LATER STAGES. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
- BOX ALL TREES AND HOUSE, ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS POSSIBLE. REPLANTED TREES, SHRUBS, AND HEDGES SHALL BE REPLACED AT THE CONTRACTOR EXPENSE.
- ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
- REMOVE ALL VEGETATION, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS FROM THE AREAS SELECTED FOR CONSTRUCTION.
- IF PREVIOUSLY UNKNOWN CULTURAL, ARCHAEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. THE AREA SHALL REMAIN SUSPENDED UNTIL THE PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.

UTILITY PLAN NOTES:

GENERAL CONSTRUCTION NOTES:

- ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY THEIR ACTUAL LOCATION IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ANY CONDITION ENCOUNTERED IN THE FIELD FERLING FROM THOSE SHOWN HEREON SHALL BE REPORTED TO THE DESIGN ENGINEER FOR CONSTRUCTION TO BE ADVISED.
- SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10 (TEN) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE 18 (EIGHTEEN) INCHES BETWEEN TOP OF SEWER AND BOTTOM OF THE WATER MAIN AT UTILITY CROSSINGS. WHEN NOT POSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, SEWER PIPE SHALL BE PRESSURE RATED AND TESTED @ 150psi 10 (TEN) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED.
- ALL PROPOSED UTILITIES SHALL TERMINATE 5 FEET FROM ANY PROPOSED BUILDING FACE. CONTRACTOR TO COORDINATE WITH BUILDING PLANS FOR ANY CONNECTIONS.
- ALL STORM SEWER SHALL BE SMOOTH INTERIOR HOPE UNLESS OTHERWISE SPECIFIED.
- ALL GRANITE SATELLITE SEWER SHALL BE SDW 35 PVC UNLESS OTHERWISE SPECIFIED.
- ALL CUPPER PIPE SHALL BE LEAD FREE AND UNCOATED, AND SPARES PROVIDED.
- CONTRACTOR TO VERIFY STATUS OF ALL UTILITY SERVICES PRIOR TO INTERRUPTION.
- EXPLORATORY EXCAVATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT ALL UTILITY CONNECTION LOCATIONS AND AS NEEDED TO VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
- BEFORE CONDUCTING LINES TO CONNECT TO EXISTING UTILITIES, VERIFY EXISTING UTILITY INVERTS, AND NOTIFY THE ENGINEER IF ANY VARIATION FROM THE PLAN IS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES IN SERVICE FOR THE DURATION OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS OF CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR Dewatering UTILITY TRENCHES AND EXCAVATIONS AND FOR THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK.
- IF ROCK REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

ROCK BLASTING NOTES:

BLASTING OF BEDROCK IS NOT ANTICIPATED AT THIS SITE IN ORDER TO COMPLETE THE PROPOSED DEVELOPMENT. HOWEVER, THESE NOTES ARE INCLUDED SHOULD UNFORESEEN CONDITIONS REQUIRE THE NEED TO BLAST TO EXCAVATE BEDROCK.

- ALL RECOMMENDED SAFETY REQUIREMENTS AND STANDARDS REFERENCED AND ANY LOCAL REGULATIONS SHALL APPLY AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION, AND SPECIFICALLY RELATED DETAILS FOR BLASTING PROCEDURES, AT ALL TIMES, FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE FOLLOWED CONCERNING THE TRANSPORTATION AND STORAGE OF EXPLOSIVES.
- A MINIMUM OF FOUR (4) WEEKS PRIOR TO COMMENCEMENT OF THE INITIAL BLASTING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AS APPROPRIATE: POLICE DEPARTMENTS, GAS AND ELECTRIC SERVICE COMPANIES, TELEPHONE AND CABLE OPERATING COMPANIES, TOWN WATER AND SEWER DEPARTMENTS, NYSDOT, AND LOCAL FIRE, RESCUE, AND AMBULANCE SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM THE USE OF EXPLOSIVES. EXPLOSIVE SHELLS SHALL BE STORED IN A SECURE MANNER IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- THE CONTRACTOR SHALL NOTIFY EACH PROPERTY AND UTILITY OWNER HAVING A BUILDING, STRUCTURE, OR OTHER INSTALLATION ABOVE OR BELOW GROUND IN PROXIMITY TO THE SITE OF THE WORK OF HIS INTENTION TO USE EXPLOSIVES. NOTICE SHALL BE GIVEN SUFFICIENTLY IN ADVANCE TO ENABLE THE OWNER TO TAKE STEPS TO PROTECT THEIR PROPERTY. NOTICE SHALL BE PROVIDED BY THE CONTRACTOR OF THE CONTRACTOR OF RESPONSIBILITY FOR DAMAGE RESULTING FROM HIS BLASTING OPERATIONS.
- THE CONTRACTOR SHALL CONDUCT PRE-BLAST SURVEYS WITH PROPERTY OWNERS LOCATED IN THE AREA POTENTIALLY AFFECTED BY AIRBLAST OVERPRESSURE AND GROUND VIBRATION OR AS REQUIRED.
- THE CONTRACTOR SHALL IMPLEMENT ENGINEERING MEASURES IN ORDER TO MINIMIZE THE POTENTIAL FOR DAMAGE TO NEARBY AND GROUND VIBRATION. BLAST VIBRATION CONTROL WILL BE ACHIEVED BY LIMITING THE CHARGE PER DELAY SO THAT THE PEAK PARTICLE VELOCITY REMAINS BELOW THE SPECIFIED LEVELS.
- A APPROPRIATELY QUALIFIED, LICENSED BLASTING SPECIALIST, WITH EXPERIENCE SHALL BE ON SITE AND SUPERVISING BLASTING OPERATIONS. AT ALL TIMES, THE BLASTING AREA SHALL BE RESERVED FOR BLASTING OPERATIONS AND AUTHORIZED PERSONNEL.
- PROTECTIVE MEASURES INCLUDING INSTALLATION OF SIGNAGE, NOTIFICATION OF NEARBY RESIDENTS, TRAFFIC CONTROL AS NECESSARY ALONG NEARBY ROADS, AUDIBLE PRE-BLAST WARNINGS, AND USE OF BLAST MATS SHALL BE IMPLEMENTED.
- DELIVERY AND TRANSPORT OF EXPLOSIVES FROM THE POWDER MAGAZINES TO THE BLAST AREA SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN THE SAFETY REQUIREMENTS. ONLY AUTHORIZED PERSONS WILL TRANSPORT AND HANDLE THE EXPLOSIVES AS DESIGNATED BY THE ISSUING AUTHORITY OF THOSE LICENSES FOR THIS PURPOSE.
- MONITORING OF PEAK PARTICLE VELOCITY (INCHES/SECOND) AND PEAK AIRBLAST OVERPRESSURE (PSI) SHALL BE PERFORMED DURING ALL BLASTS.

SPDES GENERAL PERMIT NOTE:

THIS PLAN SET AND THE ACCOMPANYING SWPPP ENTITLED "AMENDED STORMWATER POLLUTION PREVENTION PLAN" HAVE BEEN SUBMITTED AS A SET. THESE ENGINEERING DRAWINGS ARE CONSIDERED AN INTEGRAL PART OF THE SWPPP, THEREFORE THE PLAN SET IS NOT CONSIDERED COMPLETE WITHOUT THE SWPPP.

- THIS PROJECT HAS NOT RECEIVED WRITTEN APPROVAL FROM THE TOWN OF WAPPINGER ALLOWING THE DISTURBANCE OF MORE THAN FIVE (5) ACRES OF LAND AT ANY ONE TIME. THEREFORE, IF THE CONTRACTOR'S CONSTRUCTION SEQUENCE REQUIRES THE DISTURBANCE OF MORE THAN FIVE ACRES AT ANY ONE TIME, WRITTEN APPROVAL MUST BE OBTAINED FROM NYSDOT PRIOR TO EXCEEDING THE 5 ACRE LIMIT.

- MOVE LOGS AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
- APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & AND SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTIONS INTO OR ABUTTING PAVEMENT. DRY THE "TACKY" CONSISTENCY BEFORE PAVING.
- TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
- AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

LEGEND:

EXISTING CONDITIONS:

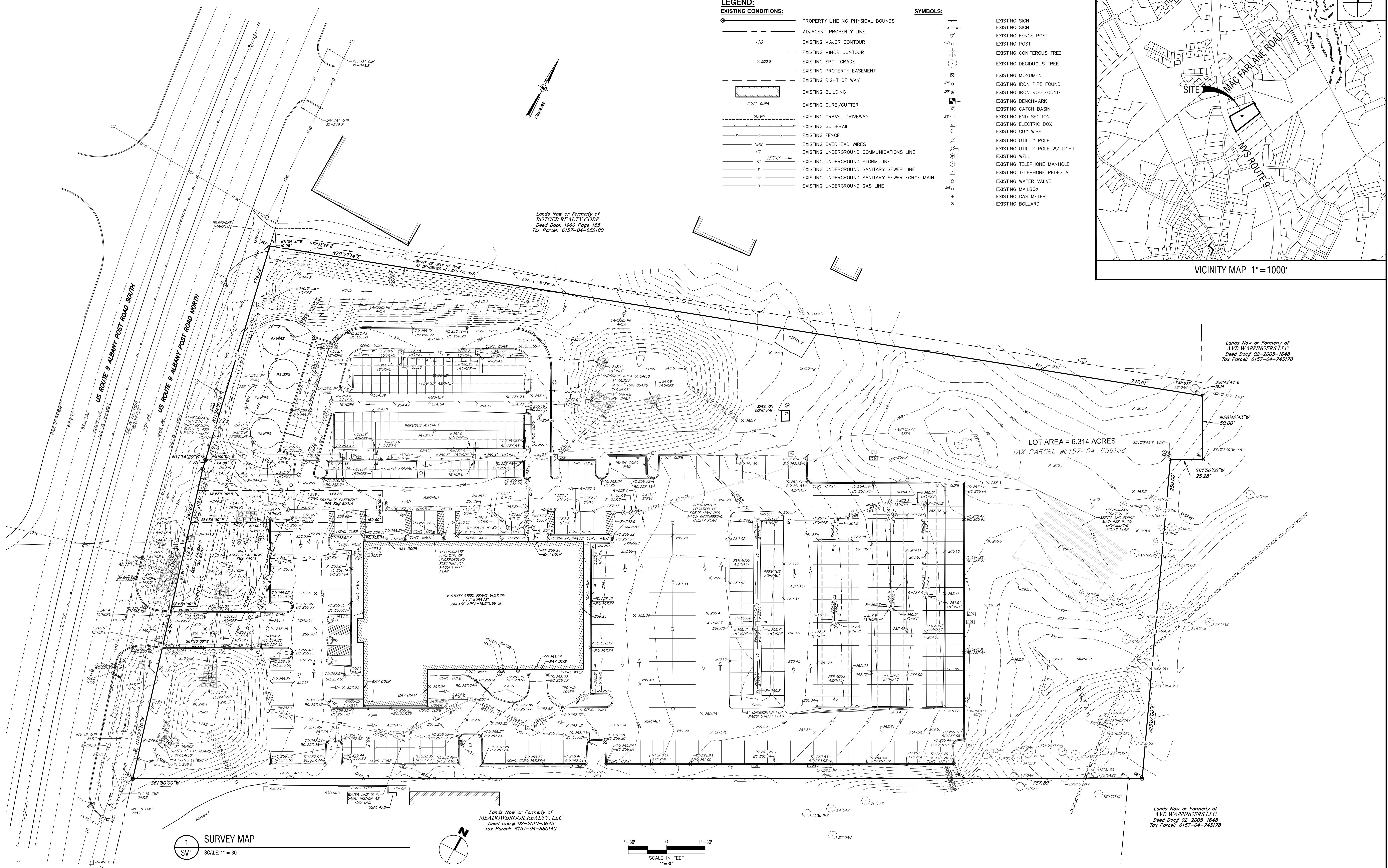
	PROPERTY LINE NO PHYSICAL BOUNDS
	ADJACENT PROPERTY LINE
	EXISTING PROPERTY EASEMENT
	EXISTING RIGHT OF WAY
	ACOE WETLANDS LINE
	ACOE WETLANDS 100' BUFFER LINE
	EXISTING FOUNDATION
	EXISTING BUILDING
	EXISTING CURB/GUTTER
	EXISTING GRAVEL DRIVEWAY
	EXISTING GUIDERAIL
	EXISTING FENCE
	EXISTING TREE LINE
	EXISTING BRUSH LINE
	EXISTING OVERHEAD WIRES
	EXISTING UNDERGROUND COMMUNICATIONS LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SPOT GRADE
	EXISTING STONE WALL

SYMBOLS:

	EXISTING SIGN
	EXISTING FENCE POST
	EXISTING POST
	EXISTING MONUMENT
	EXISTING IRON PIPE FOUND
	EXISTING IRON ROD FOUND
	EXISTING SPIKE FOUND
	EXISTING BENCHMARK
	EXISTING CATCH BASIN
	EXISTING END SECTION
	EXISTING ELECTRIC BOX
	EXISTING GUY WIRE
	EXISTING UTILITY POLE
	EXISTING UTILITY POLE W/ LIGHT
	EXISTING WELL
	EXISTING TELEPHONE MANHOLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING WETLAND BOUNDARY FLAG

LAYOUT:

	LOT LINE
	EASEMENT LINE
	BUILDING
	PAVED ROAD / DRIVeway / PARKING AREA
	ROAD CENTER LINE
	SIDEWALK
	CONC. CURB
	CURB/WING GUTTER
	GRAVEL DRIVEWAY
	WORKLIMITS
	GUIDERAIL
<img alt="	



NOTES:
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

CERTIFICATIONS INDICATE HEREBY SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON SO NOTED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.

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BUILDING SHOWN HERON SERVED BY UNDERGROUND UTILITIES.

NOTES CONTINUED:

THE SUBJECT PARCEL HAS DIRECT ACCESS TO N.Y.S. ROUTE 9 ALBANY POST ROAD NORTH (A PUBLIC ROAD).

TOPOGRAPHY SHOWN HERON WAS COMPLETED FROM A FIELD SURVEY COMPLETED MAY 20, 2013, BY THE CHAZEN COMPANIES DATUM NAVD-88, 1 FOOT CONTOUR INTERVAL, ADDITIONAL FIELD SURVEY FOR EIGEN PARCEL COMPLETED JANUARY 31, 2014 BY THE CHAZEN COMPANIES. SUPPLEMENTAL TOPOGRAPHY AROUND THE NEW VEHICLE DISPLAY AREA WAS COMPLETED FROM A FIELD SURVEY COMPLETED NOVEMBER 22, 2013 BY THE CHAZEN COMPANIES IN THE ABOVE REFERENCED DATUM. FIELD UPDATE COMPLETED BY LABELLA ASSOCIATES ON AUGUST 3, 2023.

VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DERIVED FROM THE ABOVE REFERENCED THE CHAZEN COMPANIES FIELD SURVEY AND WAS VERIFIED BY LABELLA ASSOCIATES.

HORIZONTAL DATUM AND NORTH ORIENTATION ARE BASED ON FIELD MAP NO. 12496.

UNDERGROUND FACILITIES AND STRUCTURES SHOWN HERON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORDS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HERON ARE THE PROPERTY OF THE SURVEYOR AND NOT OWNED BY THE SUBJECT PARCEL. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.

NOTES CONTINUED:

THE CONTRACTOR SHALL COMPLY WITH NEW YORK STATE INDUSTRIAL CODE RULE 753 - 48 HOURS PRIOR TO DIGGING CALL UDGS-NY 1-800-962-7902 TO HAVE PUBLIC UTILITY LOCATIONS PAINTED.

THE LOCATION OF UNDERGROUND IMPROVEMENTS OR INTRUSIONS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR INTRUSIONS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR INTRUSIONS ARE NOT COVERED BY THIS CERTIFICATE.

SUBSURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED.

HORIZONTAL DATUM AND NORTH ORIENTATION ARE BASED ON FIELD MAP NO. 12496.

UNDERGROUND FACILITIES AND STRUCTURES SHOWN HERON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORDS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HERON ARE THE PROPERTY OF THE SURVEYOR AND NOT OWNED BY THE SUBJECT PARCEL. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.

MAP REFERENCES:

1. MAP ENTITLED "AMENDED SUBMISSION OF THE LANDS OF PULLO" PREPARED BY BARBER, CAMPBELL, GRAY & RAILING, INC. AND FILED IN THE DUTCHES COUNTY CLERK'S OFFICE ON MAY 17, 1984 AS FILED MAP NO. 6901.
2. MAP ENTITLED "SUBMISSION MAP ABANDONMENT OF FILED MAP NO. 6901 ENTITLED (AMENDED SUBMISSION OF THE LANDS OF PULLO)" PREPARED BY GRAY ENGINEERING, P.C. #53227 AND FILED IN THE DUTCHES COUNTY CLERK'S OFFICE ON APRIL 4, 2003 AS FILED MAP NO. 6901A.
3. MAP ENTITLED "SUBMISSION OF BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR INSTITUTE ASSOCIATES" PREPARED BY CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C., PROJECT 3132, REVISION DATED JANUARY 8, 2014.
4. MAP ENTITLED "PRESTIGE MINI LOT CONSOLIDATION PLAN" PREPARED BY THE CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C., AND FILED IN THE DUTCHES COUNTY CLERK'S OFFICE ON FEBRUARY 12, 2015 AS FILED MAP NO. 12496.
5. SURVEY MAP ENTITLED "1182 ROAD 9, MAP OF EXISTING CONDITIONS PREPARED FOR PRESTIGE FAMILY OF FINE CARS" PREPARED BY CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE & GEOLOGY CON., D.P.C., PROJECT NO. 802136, DATED JANUARY 17, 2022.
6. MAP ENTITLED "PRESTIGE MINI 1182 ROAD 9, MAP OF EXISTING CONDITIONS PREPARED FOR PRESTIGE FAMILY OF FINE CARS" PREPARED BY LAWRENCE J. PAGUR, PC, PC CONSULTING ENGINEERING, DATED JUNE 23, 2014.

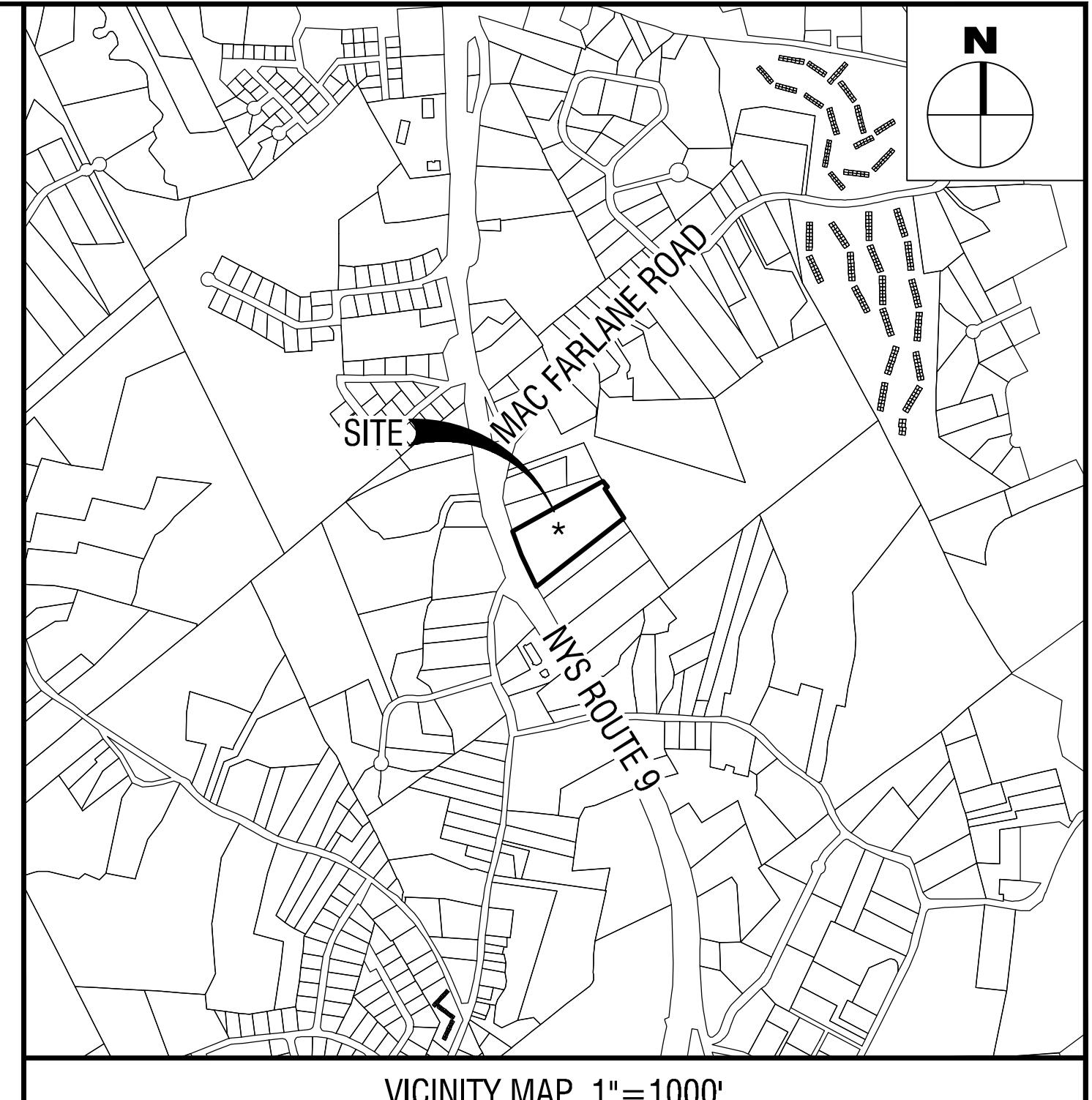
DEED REFERENCES:

1. PEPPER WHITE PARTNERS, LLC TO MWF, LLC DATED FEBRUARY 2, 2015 AND RECORDED IN THE DUTCHES COUNTY CLERKS OFFICE ON FEBRUARY 11, 2015 IN DEED DOCUMENT NUMBER 02-2015-904.

TAX PARCEL DESIGNATION:

TOWN OF WAPPINGER, DUTCHES COUNTY, STATE OF NEW YORK

6157-04-659168



NO: DATE: DESCRIPTION:
Revisions
PROJECT SITE:
WAPPINGER SUBARU BUILDING EXPANSION

1162 US RT. 9
TOWN OF WAPPINGERS FALLS,
DUTCHESS COUNTY, NY

PROJECT NUMBER: 2254625
DRAWN BY: ZI
REVIEWED BY: CJS
ISSUED FOR: DESIGN
DATE: 12/10/2025
DRAWING NAME:

**MAP OF SURVEY
PREPARED FOR VIP
SUBARU WAPPINGER,
LLC.**

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON NOVEMBER 22, 2022 AND FIELD UPDATE ON AUGUST 8, 2025 AND THAT THIS SURVEY MAP WAS MADE BY ME OR UNDER MY DIRECTION, AND CONFORMS WITH THE MINIMUM STANDARD OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

STATE OF NEW YORK
DAVID H. DIPPEL
S. 050871
LAND SURVEYOR
Drawing Number: SV1
Sheet 1 of 1
MAP NO. 6400

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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VIP SUBARU WAPPINGER, LLC

1954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

WAPPINGER SUBARU BUILDING EXPANSION

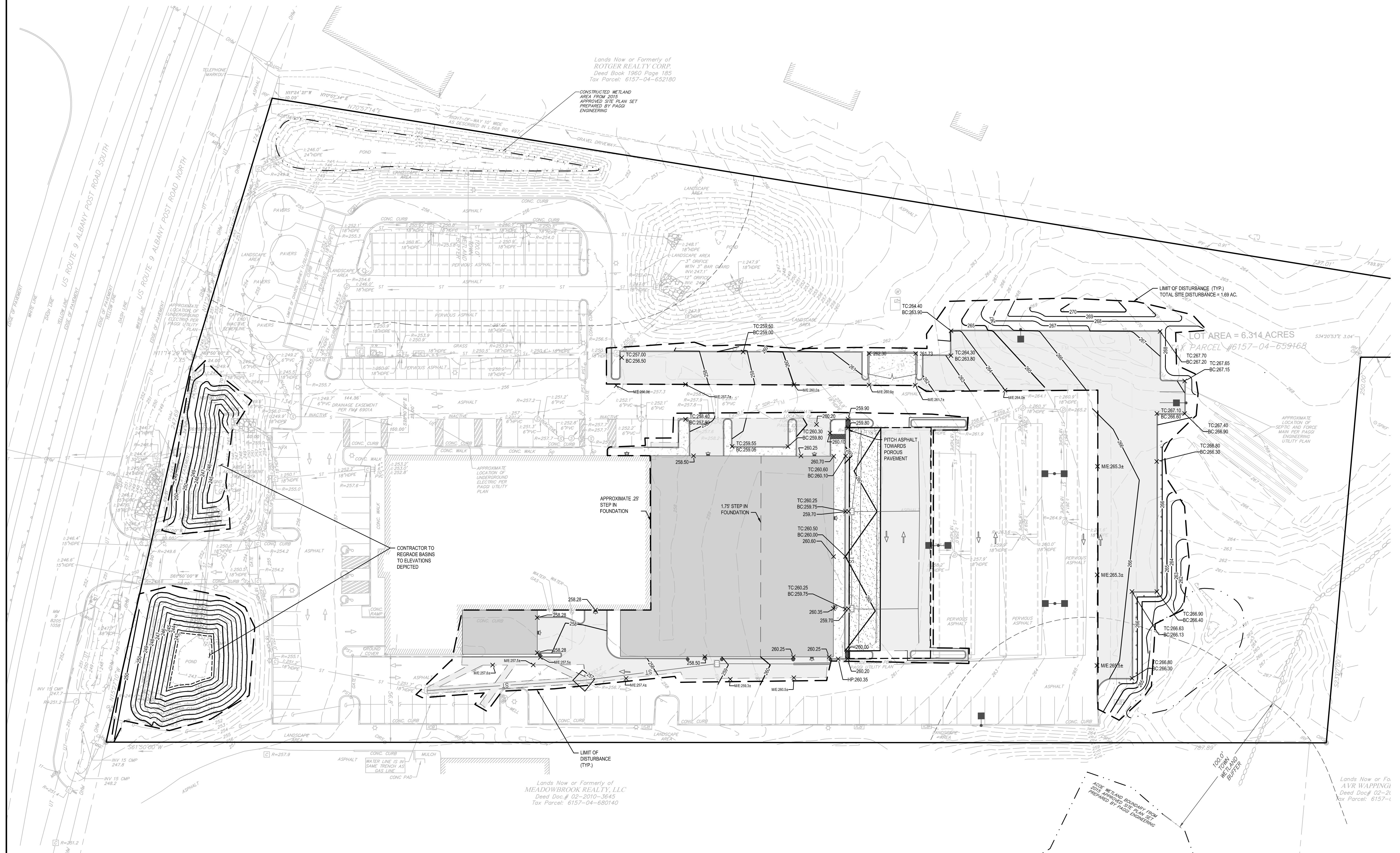
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO:	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER:		
2254625		
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR:		
PLANNING BOARD REVIEW		
DATE:		
12/17/2025		
DRAWING NAME:		

GRADING PLAN

DRAWING NUMBER:

C140



Drawing Name: lcash.labu\Projects\Westbury.Jeep\2254625 - Wappinger Subaru Bldg Expansion\06_Drawings\01_C140_2254625_GRAD.dwg
Xrefs Attached: LBA-24x36-Arch D; XLAYOUT_2254625; XBASEMAP_2254625
Date Printed: Dec 16, 2025, 12:41pm

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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**VIP SUBARU
WAPPINGER, LLC**

31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

**WAPPINGER SUBARU
BUILDING EXPANSION**

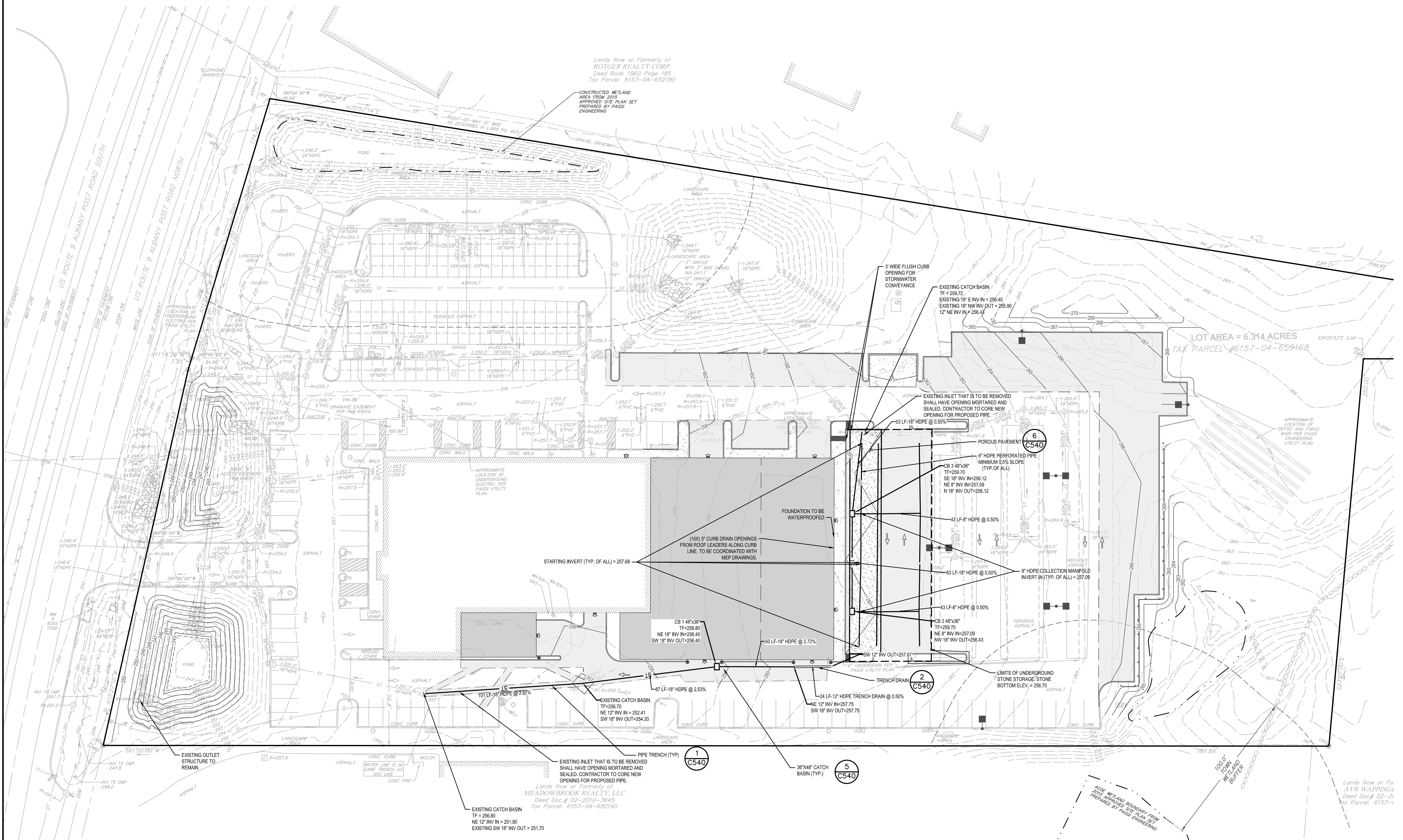
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO:	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2254625		
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR: PLANNING BOARD REVIEW		
DATE: 12/17/2025		
DRAWING NAME:		

DRAINAGE PLAN

DRAWING NUMBER:

C141



NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

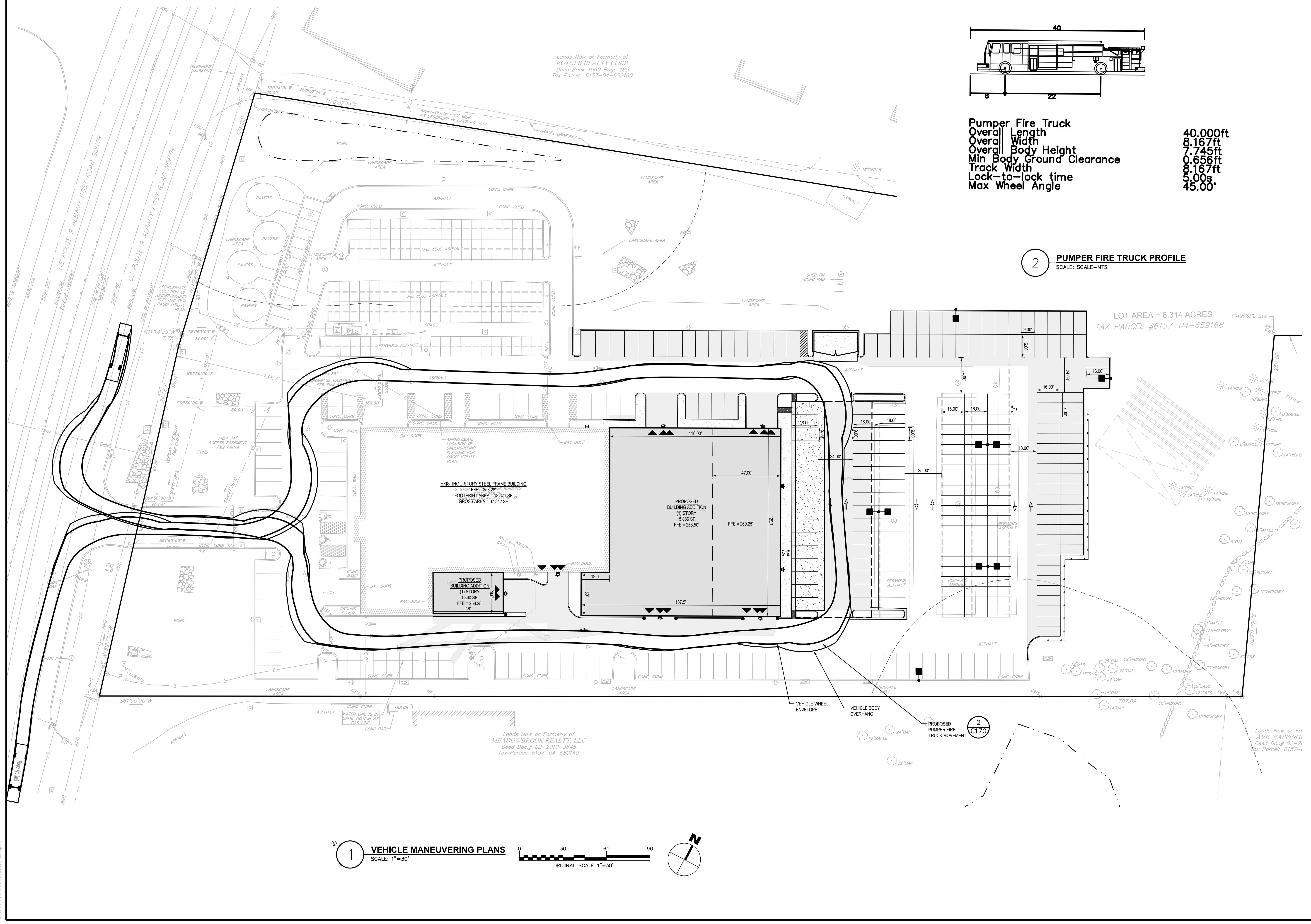
WAPPINGER SUBARU BUILDING EXPANSION

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

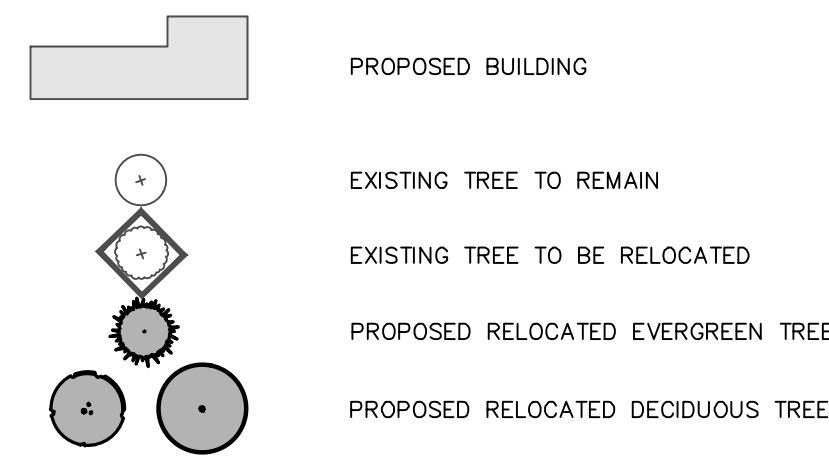
NO:	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2254625		
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR: PLANNING BOARD REVIEW		
DATE: 12/17/2025		
DRAWING NAME:		

VEHICLE MANEUVERING PLAN

DRAWING NUMBER:



LANDSCAPING LEGEND:



1. SEE EROSION AND SEDIMENT CONTROLS SHEET C550 FOR PERMANENT AND TEMPORARY VEGETATION SEEDING NOTES AND SPECIFICATIONS.
2. ALL DISTURBED AREAS NOT SPECIFICALLY CALLED OUT FOR NEW IMPROVEMENTS SHALL BE TOPSOILED, SEEDED WITH LAWN SEED MIX, AND MULCHED.
3. ALL PLANTINGS SHOWN ON AN APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE, AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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VIP SUBARU WAPPINGER, LLC

31954 HEMPSTEAD TPK
LEVITTOWN, NY 11756

EEVITETOWN, NY 11750

WAPPINGER SUBARU BUILDING EXPANSION

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO:	DATE:	DESCRIPTION:
Revisions		
<hr/> <p>PROJECT NUMBER:</p> <p>2254625</p> <hr/> <p>DRAWN BY:</p> <p>REVIEWED BY:</p> <hr/> <p>ISSUED FOR:</p> <p>PLANNING BOARD REVIEW</p> <hr/> <p>DATE:</p> <p>12/17/2025</p> <hr/> <p>DRAWING NAME:</p>		

LANDSCAPE PLAN

DRAWING NUMBER:

C180

Lands Now or Formerly of ROTGER REALTY CORP.
Deed Book 1960 Page 185
Tax Parcel: 6157-04-652180

GENERAL NOTES:

- SEE EROSION AND SEDIMENT CONTROLS SHEET C550 FOR PERMANENT AND TEMPORARY VEGETATION SEEDING NOTES AND SPECIFICATIONS.
- ALL DISTURBED AREAS NOT SPECIFICALLY CALLED OUT FOR NEW IMPROVEMENTS SHALL BE TOPSOILED, SEEDED WITH LAWN SEED MIX, AND MULCHED.
- ALL PLANTINGS SHOWN ON AN APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE, AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.

LANDSCAPING LEGEND:

- PROPOSED BUILDING
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE RELOCATED
- PROPOSED RELOCATED EVERGREEN TREE
- PROPOSED RELOCATED DECIDUOUS TREE

LOT AREA = 6.314 ACRES
TAX PARCEL #6157-04-659468

PROPOSED BUILDING ADDITION
(1) STORY
1,360 SF.

PROPOSED BUILDING ADDITION
(1) STORY
15,886 SF.

RELOCATED TREE PLANTING
2 C180

RELOCATED LANDSCAPING SPADE DUG TREE PLANTING
2 C180

EXISTING TREE PLANTINGS TO REMAIN IN PLACE (TYP. OF 10)

EXIST. NORWAY SPRUCE, 8'-10± HEIGHT

EXIST. RIVER BIRCH, 2.5'-3± CALIPER

EXIST. PIN OAK, 5'-5.5± CALIPER

EXIST. RED MAPLE, 5.5'-6± CALIPER

EXIST. SUGAR MAPLE, 3.5'-4± CALIPER

EXISTING LANDSCAPING INSTALLED PER THE 2015 APPROVED PLAN TO BE RELOCATED. (8) TREES TO BE RELOCATED AS DIRECTED BY LANDSCAPE ARCHITECT. APPLICANT SHALL ENGAGE A NY-CERTIFIED ARBORIST TO INSPECT TREE HEALTH PRIOR TO RELOCATION AND PROVIDE GUIDANCE ON PROPOSED TRANSPLANT LOCATIONS AND OPERATION. EXISTING AND RELOCATED TREES LOST DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR.

STABILIZE ALL DISTURBED AREAS NOT DESIGNATED FOR OTHER SURFACES WITH PERMANENT VEGETATION (LAWN, TYP.) SEE SHEET C550

EXISTING WETLAND MITIGATION PLANTINGS INSTALLED PER 2015 APPROVED PLANS TO BE RELOCATED TO MEET NEW FOOTPRINT. SEE EXISTING WETLAND MITIGATION PLANTING TABLE FOR REQUIRED PLANTINGS.

PLAN VIEW

120°

REINFORCED BLACK RUBBER HOSE

GALV. CABLE CLAMPS (2 PER CABLE)

SPRAY TREES WITH ANTIDESICCANT IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. SPRAY ALL EVERGREEN TREES; SPRAY DECIDUOUS TREES IF FOLIAGE IS PRESENT.

© 1 **LANDSCAPE PLAN**
SCALE: 1"=30'

A horizontal scale with numerical markings at 0, 30, 60, and 90. A thick black bar is positioned at the 90 mark, extending slightly beyond the scale's end.

A compass rose with a large letter N indicating North.

LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL CAREFULLY COORDINATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
2. THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
3. THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
6. QUALITY ASSURANCE:
 - A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
 - B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC (AAN), UNLESS OTHERWISE SPECIFIED.
 - C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CLIMACTIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN

ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HEELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.

CONFORMING TO FEDERAL AND STATE STANDARDS. PROVIDE SEED MIXTURES SPECIFIED BY THE EROSION AND SEDIMENT CONTROL NOTES, SHEET C550.

E. TREE PLANTINGS:

- i. PLANTING SOIL MIXTURE: SHALL CONTAIN THE FOLLOWING BY VOLUME:
3 PARTS EXISTING ON-SITE SURFACE SOIL OR TOPSOIL
1 PART LEAF COMPOST
- ii. LEAF COMPOST: COMMERCIALLY PRODUCED, CONFORMING TO NYSDOT 713-15, TYPE D.

F. STAKES: 8 FEET LONG, 3 INCH DIA. OR SQ. CEDAR OR P.T. WOOD STAKES.

G. HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.

H. MULCH: GROUND OR SHREDDED HARDWOOD BARK, UNCOLORED. NO PIECES OVER 2 INCHES GREATEST DIMENSION. FREE FROM SAWDUST.

9. EXECUTION:

- A. LANDSCAPE WORK SHALL BE UNDERTAKEN AS SOON AS SITE AREAS ARE AVAILABLE.
- B. TOPSOIL SHALL BE SPREAD NO LESS THAN 4" OVER SUB-GRADE MATERIAL. SOIL AMENDMENTS SHALL BE THOROUGHLY MIXED INTO THE TOP 4" OF TOPSOIL, FOLLOWING THE SPECIFICATIONS STATED BELOW.
- C. PERFORM FINE GRADING TO FINISHED ELEVATION ONLY IMMEDIATELY PRIOR TO PLANTING. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN SURFACE, FREE OF DEPRESSIONS OR RIDGES WITH A UNIFORM LOOSE, FINE TEXTURE.
- D. LAWN— TEMPORARY AND PERMANENT SEEDED VEGETATION: SEE EROSION AND SEDIMENT CONTROL DETAILS AND SPECIFICATIONS, SHEET 550.

EXISTING WETLAND MITIGATION PLANTINGS (INSTALLED PER 2015 APPROVED PLANS)

PLANS					
KEY	QUANTITY	PLANT NAME	COMMON NAME	SIZE	REMARKS
AR	1	ACER RUBRUM RED SUNSET	RED MAPLE	5"-5.5" CALIPER	B&B
PA	2	PICEA ABIES	NORWAY SPRUCE	6"-8" HGT.	B&B
BN	2	BETULA NIGRA	RIVER BIRCH	2"-2.5" CALIPER	B&B MULTI STEMMED
QP	1	QUERCUS PALUSTRIS	PIN OAK	5"-5.5" CALIPER	B&B
AS	1	ACER SACCHARUM	SUGAR MAPLE	3"-3.5" CALIPER	B&B
ADV	4	AZALEA DELAWARE VALLEY WHITE	DELAWARE VALLEY WHITE AZALEA	18"-24" HGT.	#3 CONT.
IG	6	ILEX GLABRA "COMPACTA"	COMPACT INKBERRY HOLLY	18"-24" HGT.	#3 CONT.
RC	6	MA	NOVA ZEMBLA RHODODENDRON	2"-2.5" HGT.	B&B
MP	2	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	18"-24" HGT.	#3 CONT.

LIGHTING SCHEDULE										
QUANTITY	DESIGNATION	MANUFACTURER - MODEL	CATALOG NUMBER	MOUNT HEIGHT*	LIGHTING TYPE	TOTAL LUMENS	WATTS	LIGHT TEMP.	BUG RATING	REMARKS
6	EXLP-1	CREE LIGHTING-EDGE SERIES AREA LIGHT	ARE-EDG-4MB-DA-06-XX-XX-525-30K	18.5'	LED	6,575	3000K	B1-U0-G2		EXISTING LIGHT POLES TO REMAIN
6	RLP-1	CREE LIGHTING-EDGE SERIES AREA LIGHT	ARE-EDG-4MB-DA-06-XX-XX-525-30K	18.5'	LED	6,575	3000K	B1-U0-G2		RELOCATED EXISTING LIGHT POLE-SINGLE FIXTURE
6	RLP-2	CREE LIGHTING-EDGE SERIES AREA LIGHT	ARE-EDG-5M-DA-06-XX-XX-700-30K	18.5'	LED	10,831	3000K	B4-U0-G2		RELOCATED EXISTING LIGHT POLE-DOUBLE FIXTURE
1	EXW-1	CREE LIGHTING-EDGE SERIES WALL MOUNT	SEC-EDG-3MB-WM-06-X-XX-XX-700-30K	15'	LED	7,220	134	3000K	B1-U0-G2	EXISTING WALL MOUNTED FIXTURE TO REMAIN
4	W-1	CREE LIGHTING-EDGE SERIES WALL MOUNT	SEC-EDG-3MB-WM-06-X-XX-XX-700-30K	15'	LED	7,220	134	3000K	B1-U0-G2	PROPOSED/NEW WALL MOUNTED FIXTURE-TYPE 1
4	W-2	CURRENT LIGHTING-BEACON GEOPAK SERIES	TRP1-15-4F-3K	11.5'	LED	1,701	14	3000K	B0-U0-G1	PROPOSED/NEW WALL MOUNTED FIXTURE-TYPE 2

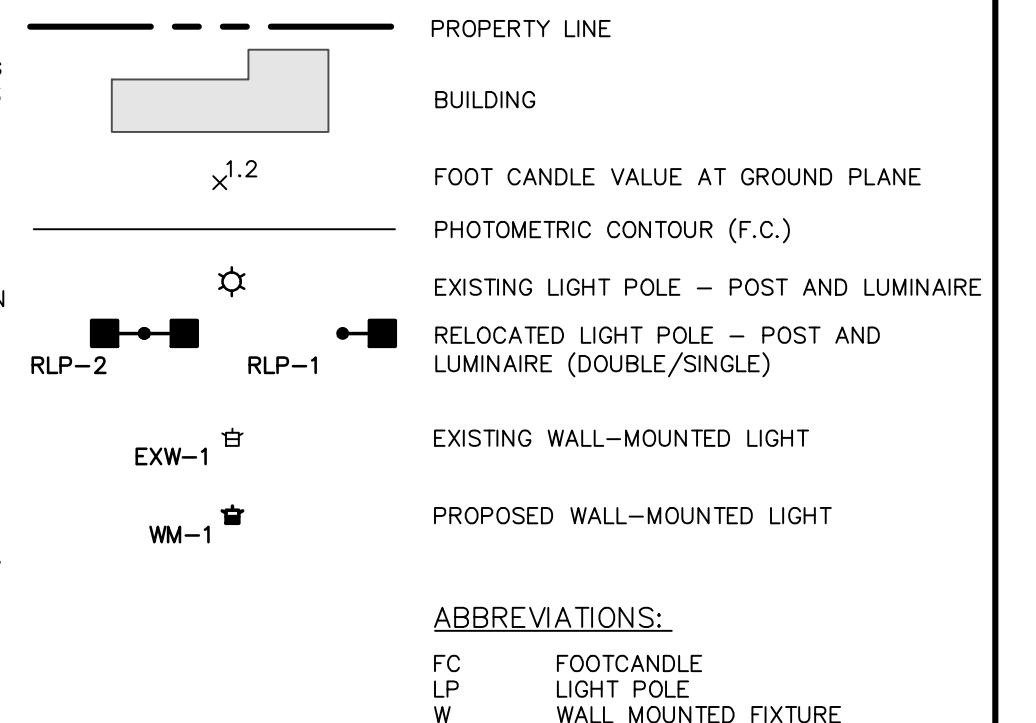
LIGHTING STATISTICS					
DESCRIPTION-CALCULATION AREA	AVERAGE	MAXIMUM	MINIMUM	AVE/MIN RATIO	
SITE TO PL	0.6 FC	4.8 FC	0.01 FC	NA	
EAST PARKING AREA ONLY	1.7 FC	4.4 FC	0.0 FC	NA	
SOUTH PARKING AREA	1.3 FC	4.6 FC	0.0 FC	NA	

LIGHTING NOTES:

1. THIS IS A PARTIAL PHOTOMETRIC PLAN. EXISTING LIGHT FIXTURES ON THE NORTH AND WEST SIDE OF EXISTING BUILDING ARE TO REMAIN AS-IS, AND HAVE NOT BEEN INCLUDED IN THIS PHOTOMETRIC PLAN.
2. GRID NUMBERS SHOWN REPRESENT FOOT CANDLE VALUES AT GROUND PLANE.
3. THE LIGHTING FIXTURES, SURFACE LOCATIONS AND ASSOCIATED PHOTOMETRIC VALUES ARE IDENTIFIED BY LABELLA ASSOCIATES. DETAILED DESIGN OF THE LIGHTING SPECIFICATIONS, FOUNDATION DESIGN, LIGHTING CONDUIT, WIRING, AND CONTROLS CIRCUITRY SHALL BE BY OTHERS.
4. THE LIGHT POLES REMOVED DURING THE DEMOLITION PROCESS SHALL BE REUSED AND REINSTALLED IN NEW LOCATIONS.
5. IF DISCREPANCIES EXIST BETWEEN THE LIGHTING SCHEDULE AND LIGHTING PLAN, THE PLAN SHALL DICTATE.
6. BUSINESS OPERATION HOURS: 8AM-7PM WEEKDAYS; WEEKENDS, LIMITED HOURS.

A. EXTERIOR POLE MOUNTED LIGHTING INSTALLATIONS SHALL INCLUDE A PHOTOCELL CONTROLLERS THAT TURN THE LIGHTS OFF DURING DAYLIGHT HOURS.
 B. EXTERIOR LIGHTING INSTALLATIONS SHALL INCLUDE CONTROLS, SUCH AS DIMMERS AND MOTION SENSORS, TO MAINTAIN EXTERIOR SECURITY LIGHTING LEVELS DURING NON-BUSINESS HOURS.

7. SEE SHEET C531 FOR LIGHTING DETAILS

PHOTOMETRIC LEGEND:


ABREVIATIONS:
 FC FOOTCANDLE
 LP LIGHT POLE
 W WALL MOUNTED FIXTURE

CERTIFICATE OF AUTHORIZATION NUMBER:
 PROFESSIONAL ENGINEERING: 0021272
 LAND SURVEYING: 0021271
 GEOLOGICAL: 0021659

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 31954 HEMPSTEAD TPKE
 LEVITTOWN, NY 11756

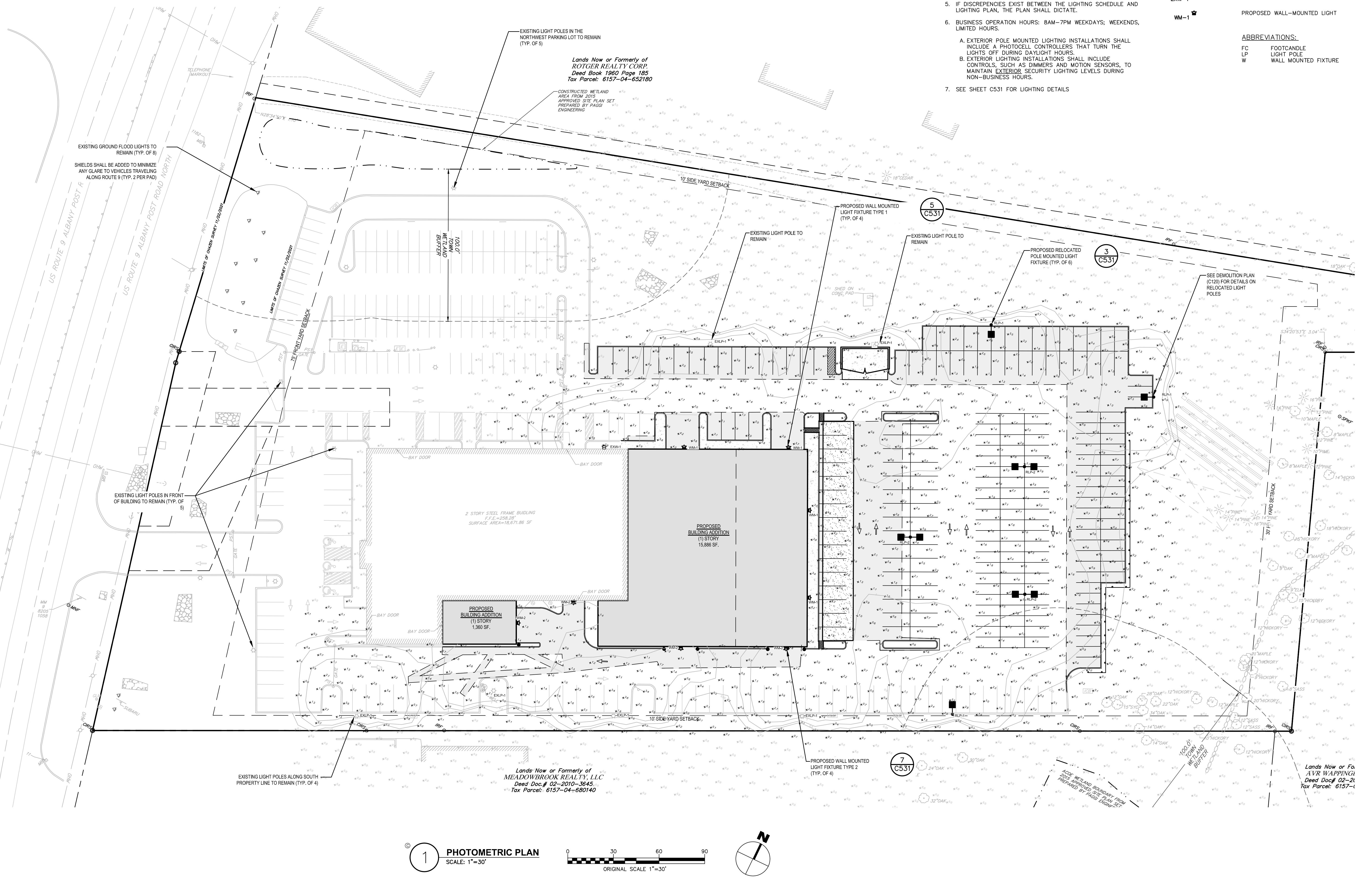
WAPPINGER SUBARU
BUILDING EXPANSION
 1162 US RT. 9
 WAPPINGERS FALLS, NY 12590
 TOWN OF WAPPINGER
 DUTCHESS COUNTY

NO:	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER: 2254625		
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR: PLANNING BOARD REVIEW		
DATE: 12/17/2025		
DRAWING NAME:		

PHOTOMETRIC PLAN

DRAWING NUMBER:

C190



NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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VIP SUBARU WAPPINGER, LLC

31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

WAPPINGER SUBARU BUILDING EXPANSION

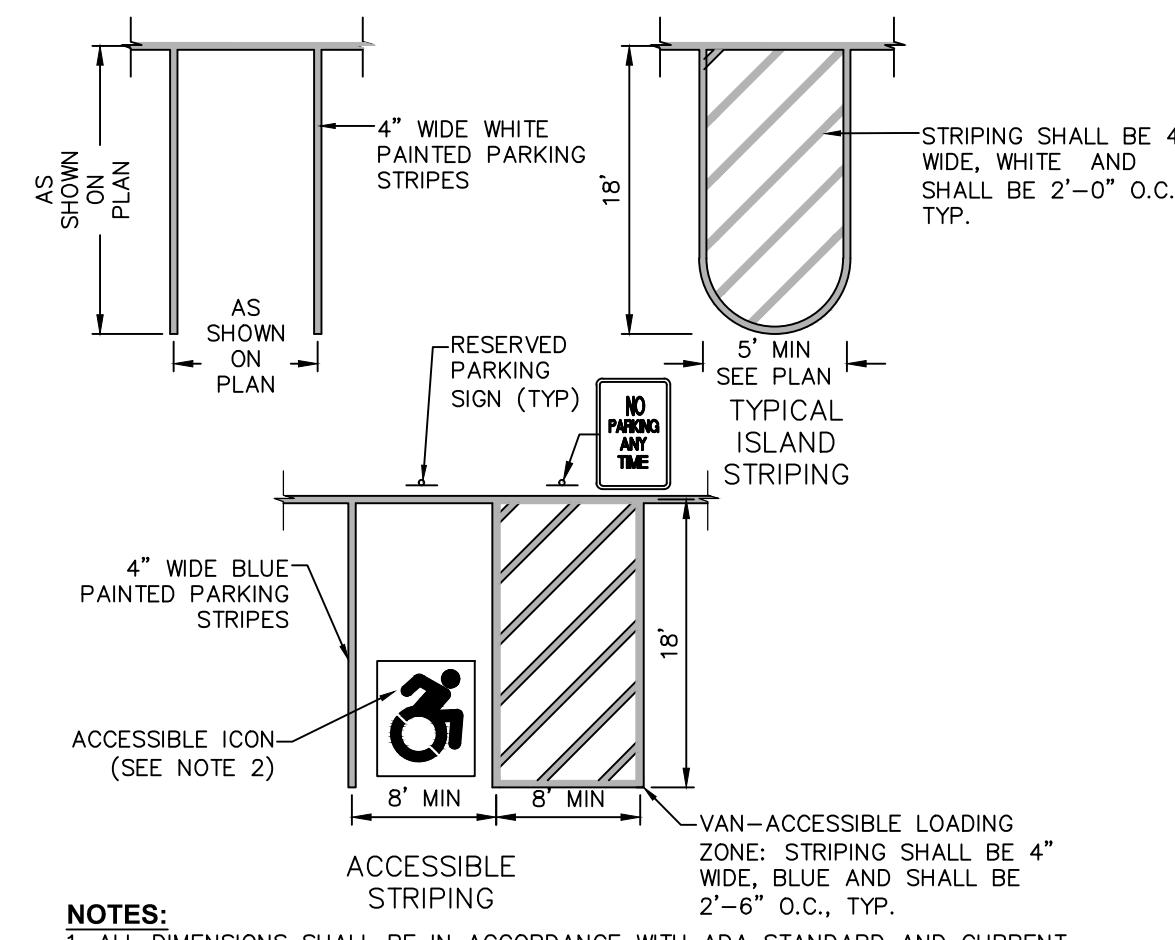
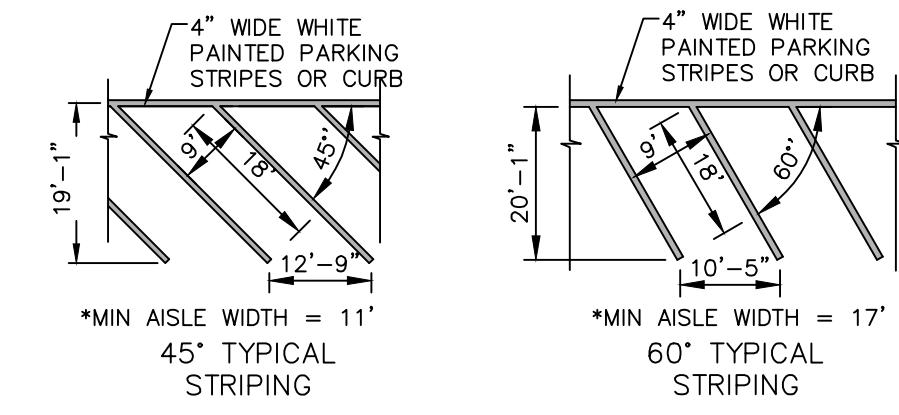
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

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Revisions		
PROJECT NUMBER: 2254625		
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR: PLANNING BOARD REVIEW		
DATE: 12/17/2025		
DRAWING NAME:		

SITE DETAILS

DRAWING NUMBER:

C531

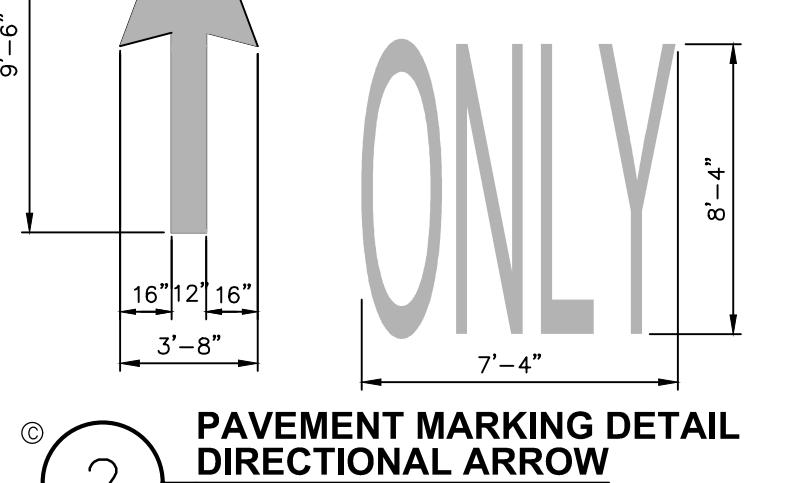
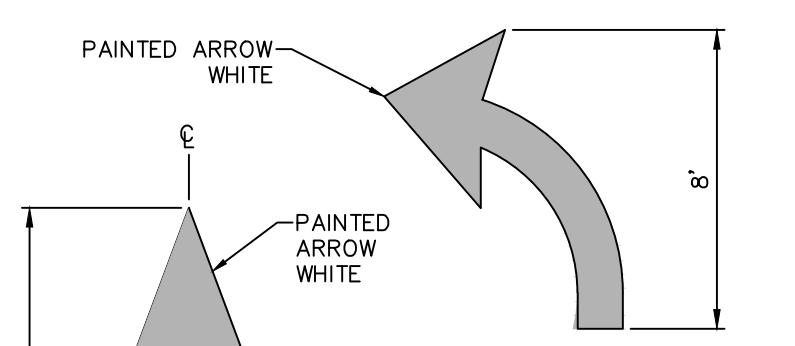


NOTES:

1. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARD AND CURRENT ZONING AND SITE REGULATIONS.
2. PAINTED ACCESSIBLE LOGO TO BE IN ACCORDANCE W/ NEW YORK STATE LAW.
3. SLOPE OF PAVEMENT SURFACE IN ACCESSIBLE PARKING AREA SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
4. SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE.

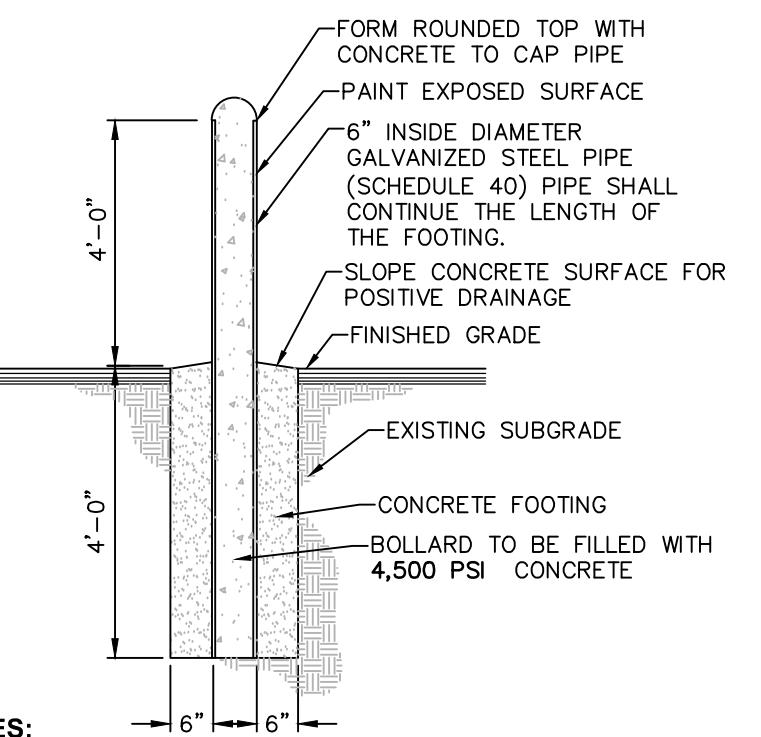
PAVEMENT MARKING DETAIL PARKING STRIPING

SCALE: NOT TO SCALE



PAVEMENT MARKING DETAIL DIRECTIONAL ARROW

SCALE: NOT TO SCALE

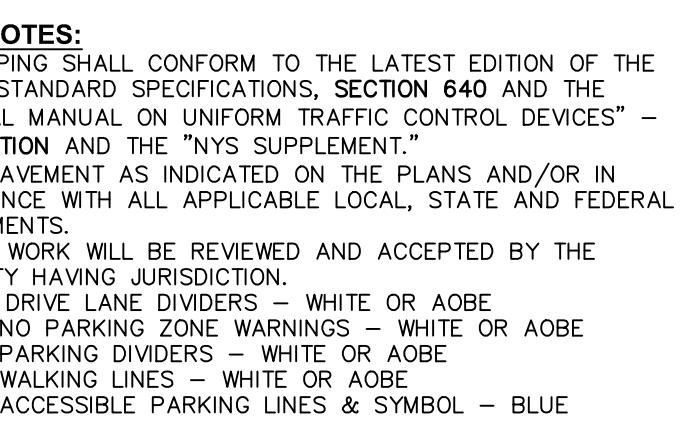


NOTES:

1. BOLLARD FINISH: PREPARE GALVANIZED COATING TO RECEIVE PAINTED FINISH. APPLY (1) COAT OF RUST INHIBITOR PRIMER, APPLY (2) COATS OF GLOSS ENAMEL (COLOR TO BE SELECTED BY THE OWNER.)
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI @ 28 DAYS.
3. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" (WITH A TOLERANCE OF 1").
4. ALL CONCRETE SHALL HAVE A 5% ENTRAINED AIR (WITH A TOLERANCE OF 1%) CONFORMING WITH ASTM C260.

STEEL & CONCRETE BOLLARD DETAIL

SCALE: NOT TO SCALE



NOTES:

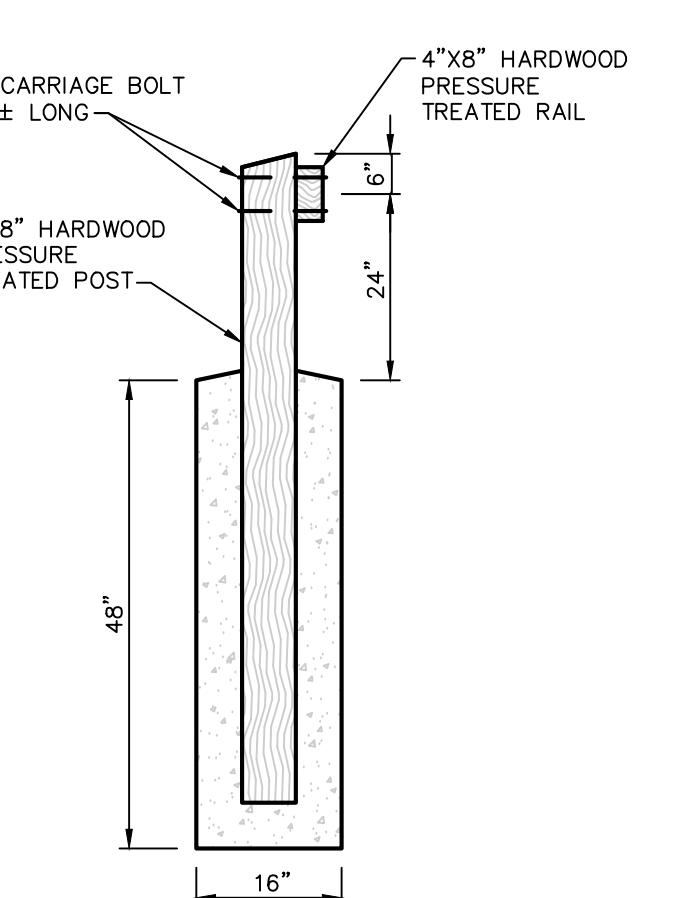
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, SECTION 645 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
2. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
3. SIGN POST SHALL BE IN ACCORDANCE W/ NYSDOT STANDARD Specs SECTION 730.

SIGNAGE NOTES:

1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, SECTION 645 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."

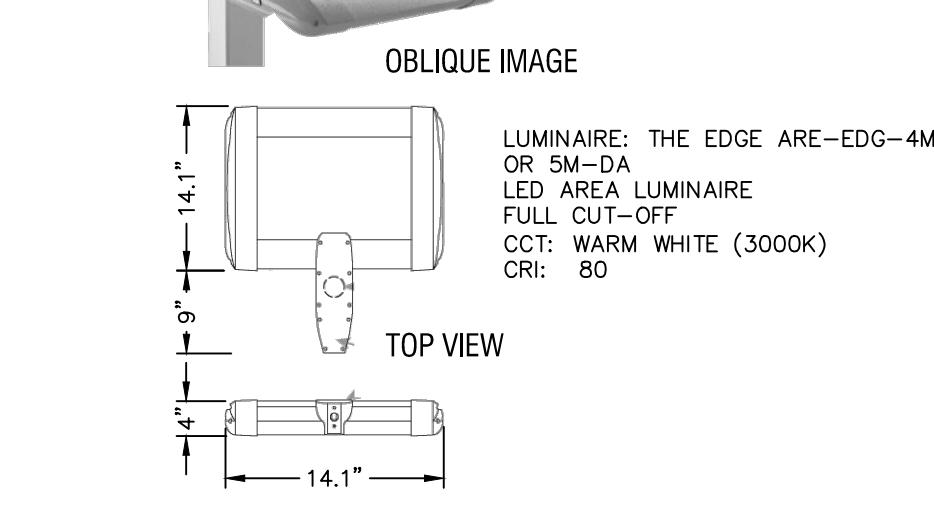
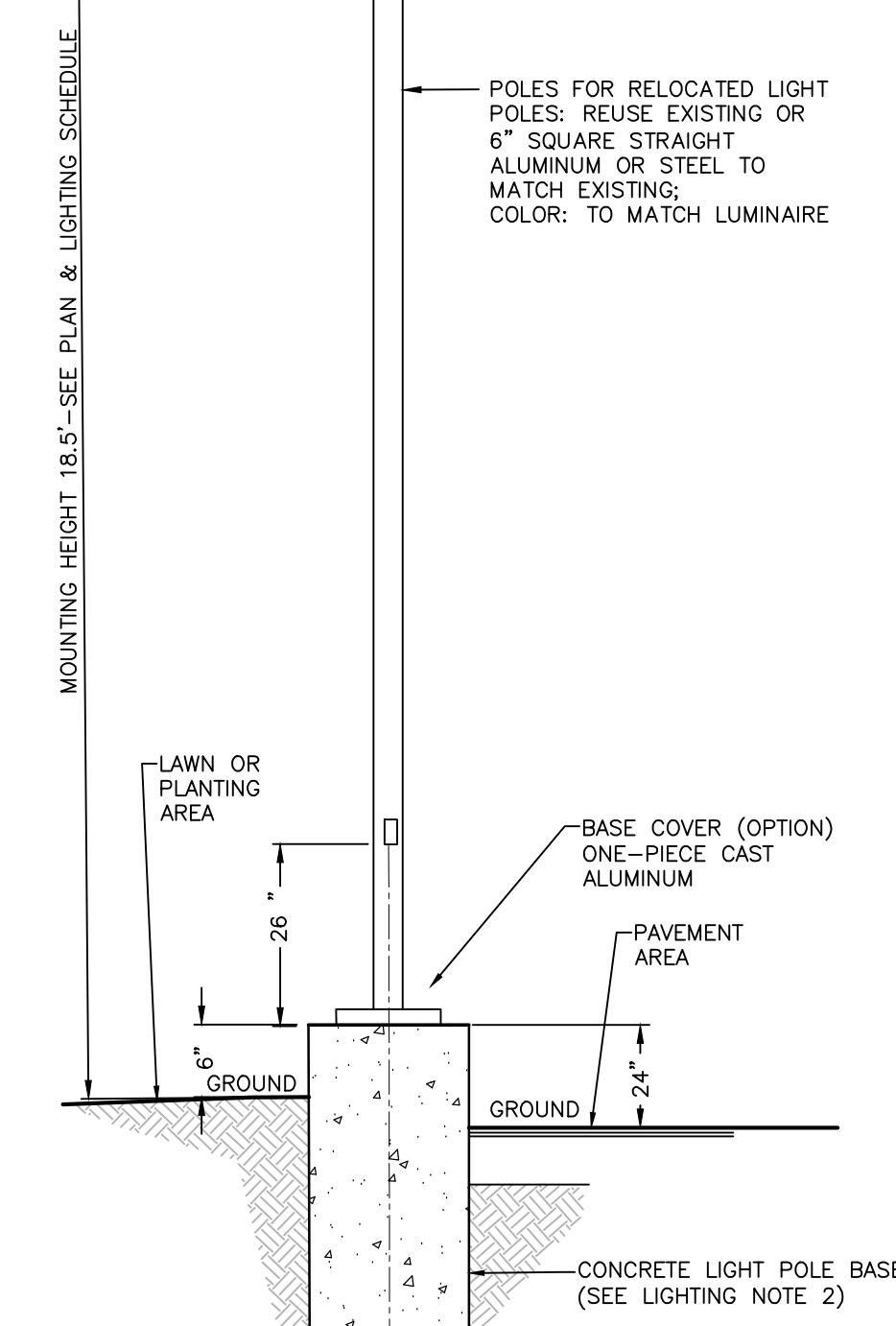
2. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."

3. SIGN POST SHALL BE IN ACCORDANCE W/ NYSDOT STANDARD Specs SECTION 730.



TIMBER GUIDERAIL SECTION

SCALE: NOT TO SCALE

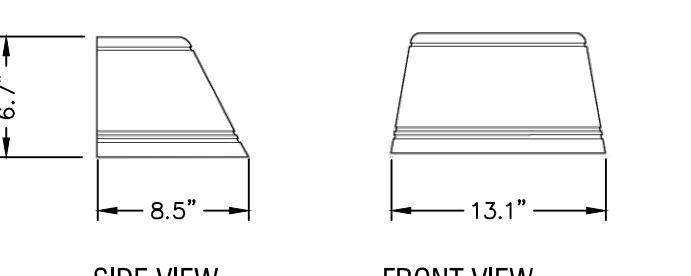


NOTES:

1. EXISTING LIGHT FIXTURES MANUFACTURED BY CREE LIGHTING INC., WWW.CREELIGHTING.COM
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL EXCAVATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPAKTED TO 95% OF MAXIMUM MATERIAL DENSITY.
4. ELECTRICAL POWER SUPPLY, WIRE, AND CONDUIT BY OTHERS.

RELOCATED EX. LIGHT POLE & EXISTING LIGHT FIXTURE DETAIL

SCALE: NOT TO SCALE



NOTES:

1. LUMINAIRE: BEACON GEOPAK SERIES - TRAPEZOID WALL MOUNT LUMINAIRE, MODEL TRP1-4F-3K; CCT: 3000K; CRI: 80; FULL CUT-OFF FIXTURE; MANUFACTURED BY CURRENT LIGHTING, INC. LUMINAIRE COLOR AND DESIGN MATCHES EXISTING RELOCATED POLE-MOUNTED FIXTURES; SEE PHOTOMETRIC PLAN FOR MOUNTING HEIGHT.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
3. ELECTRICAL POWER SUPPLY, WIRE, AND CONDUIT BY OTHERS.

WALL-MOUNTED LIGHT FIXTURE - TYPE 2

SCALE: NOT TO SCALE

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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WAPPINGER SUBARU BUILDING EXPANSION

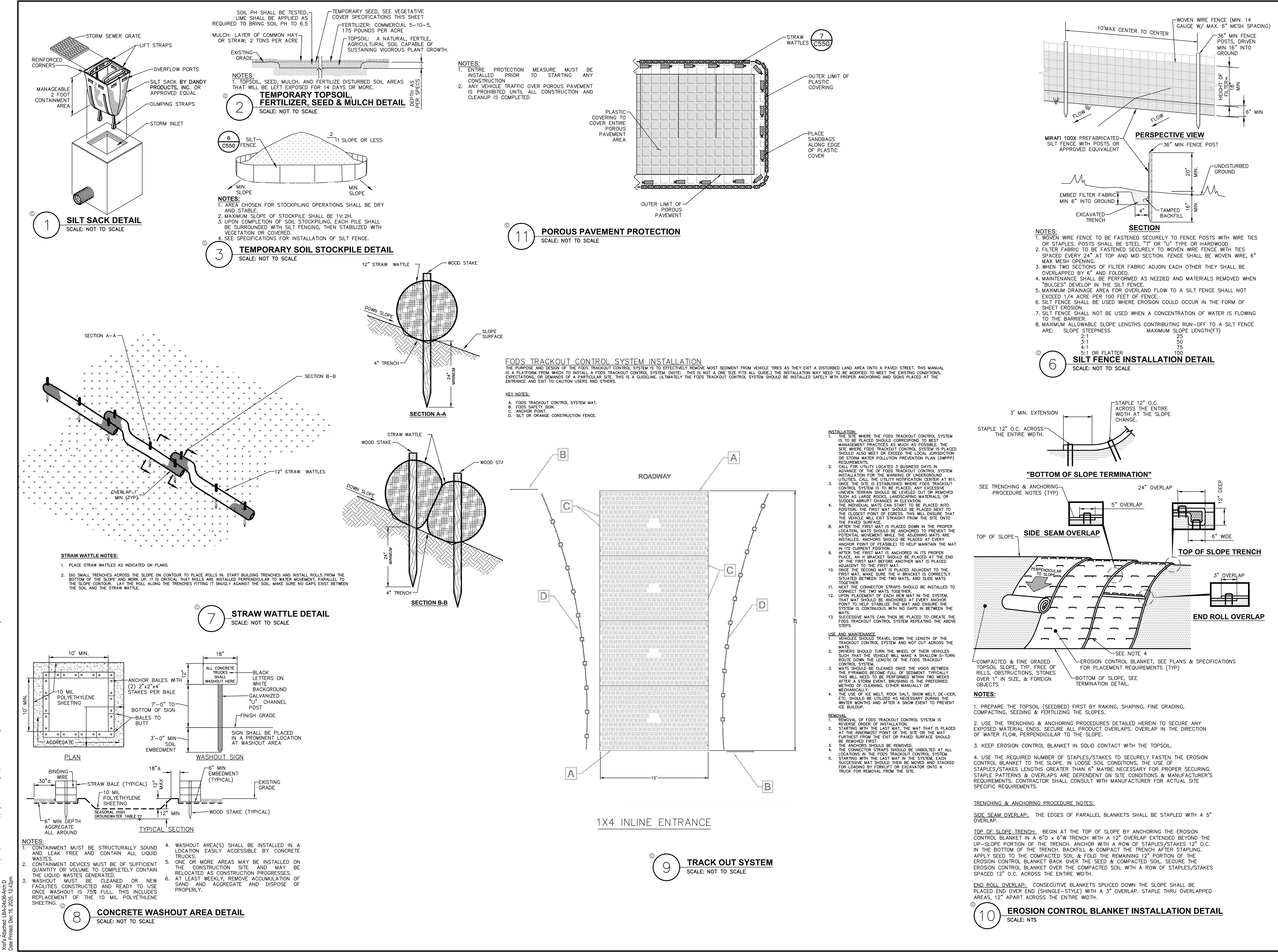
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PROJECT NUMBER: 2254625		
DRAWN BY:		
REVIEWED BY:		
ISSUED FOR: PLANNING BOARD REVIEW		
DATE: 12/17/2025		
DRAWING NAME:		

EROSION & SEDIMENT CONTROL DETAILS

DRAWING NUMBER:

C550



NOT FOR CONSTRUCTION

CONSTRUCTION SEQUENCING NOTES:

1. PRIOR TO COMMENCING ANY EARTHWORK, EARTHWORK ACTIVITIES, ET AL AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ENTRANCES, STORM DRAIN SEDIMENT FILTERS, DRAINAGE DITCH SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND FUNCTION BEFORE CONSTRUCTION BEGINS WITHIN THEIR TRIBUTARY AREAS.
2. THE CONTRACTOR SHALL CLEAR AND GRADE THE AREA OF THE STORMWATER MANAGEMENT FACILITIES. THIS AREA SHALL NOT EXCEED FIVE (5) ACRES IN EXTENT WITHOUT TEMPORARY STABILIZATION.
3. THE STORMWATER DETENTION BASIN SHALL BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL THE OUTLET CONTROL STRUCTURES AND THE EARTHEN BERMS. THE BASIN SHALL BE GRADED AND TO THE TOP OF THE AQUATIC BENCH AS INDICATED IN THE STORMWATER MANAGEMENT BASIN SECTION PRESENTED IN THE PROJECT DRAWINGS.
4. PRIOR TO COMMENCING CLEARING, GRUBBING AND/OR EARTHWORK ACTIVITIES IN ANY OTHER AREA OF THE SITE, THE CONTRACTOR SHALL INSTALL INLET AND OUTLET PROTECTION MEASURES (ROUTE, OVERFALL, WEIR(S), CULVERT INLET/OUTLET PROTECTION, ETC.) AND SHALL STABILIZE THE AREAS DISTURBED DURING THE CONSTRUCTION OF THE SEDIMENT BASIN.
5. THE CONTRACTOR SHALL INSTALL TEMPORARY DIVERSION MEASURES WITH ASSOCIATED STABILIZATION MEASURES (I.E., VEGETATIVE COVER, DRAINAGE DITCH SEDIMENT FILTERS, STORM DRAIN SEDIMENT FILTERS, ETC.) TO ENSURE THAT STORMWATER RUNOFF IS CONVEYED TO THE TEMPORARY SEDIMENT BASIN. TEMPORARY DIVERSION MEASURES SHALL BE LOCATED IN AN AREA THAT WILL ASSURE THAT THE AREA TRIBUTARY TO EACH DIVERSION DOES NOT EXCEED FIVE (5) ACRES. THESE TEMPORARY DIVERSION MEASURES SHALL BE INSPECTED DAILY AND REPAIRED/STABILIZED AS NECESSARY TO MINIMIZE EROSION.
6. THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & GRADEING OF THE PROPOSED AREA OF DISTURBANCE AS REQUIRED.
7. INSTALL PROTECTIVE MEASURES AT THE LOCATIONS OF ALL GRATE INLETS, DRAINAGE DITCHES, AND DRAINAGE LINES AS SHOWN ON THE PLANS.
8. CONSTRUCT ALL UTILITIES, CURB AND GUTTER, GUTTER INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIP-RAP AT LOCATIONS SHOWN ON THE PLANS.
9. MAINTAIN GRADE AND GRADE PREVIOUSLY REMOVED SOIL.
10. REMOVE PROTECTIVE MEASURES AROUND INLETS AND MANHOLES NO MORE THAN 24 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
11. INSTALL SUB-BASE MATERIAL AS REQUIRED FOR PAVEMENT.
12. PRIOR TO FINALIZING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, ALL DITCH BASINS AND DRAINAGE LINES SHALL BE CLEANED OF ALL SILT AND SEDIMENT.
13. UPON COMPLETION OF SITE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL FINALIZE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY. CONTRACTOR SHALL FINISH GRADE THE FORBAY(S), AQUATIC BENCHES, AND WET POOLS) AND STABILIZE AS INDICATED IN THE PROJECT DRAWINGS.
14. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

EROSION AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. AS MUCH AS IS PRACTICAL EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

PERMANENT AND TEMPORARY VEGETATION:
 INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. ALL AREAS DISENGAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:

INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. CHECK FOR SLUDGE, GROUT, AND SEDIMENT ACCUMULATION. MAKE DAILY INSPECTIONS DURING RAIN EVENTS. REMOVE SLUDGE AND SEDIMENT ACCUMULATED FROM THE ENTRANCE PAD AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF BY VEHICLES. REMOVE SLUDGE AND SEDIMENT ACCUMULATED FROM THE ENTRANCE PAD BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.

SILT FENCE:

INSPECT FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE:

INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:

SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION.

EROSION CONTROL BLANKET:

INSPECT THE BLANKET EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. REPLACE WIRE STAPLES AS REQUIRED, REPAIR AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.

STORM DRAIN INLET PROTECTION:

INSPECT ALL STORM DRAIN INLET PROTECTION DEVICES EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE REPAIRS AS NEEDED, REMOVE SEDIMENT FROM THE POOL AREA AS NECESSARY.

SNOW AND ICE CONTROL:

PARKING LOTS, ROADWAYS, AND DRIVEWAYS ADJACENT TO WATER QUALITY FILTERS SHALL NOT BE SANDED DURING SNOW EVENTS DUE TO HIGH POTENTIAL FOR CLOGGING FROM SAND IN SURFACE WATER RUNOFF. USE SALT ONLY FOR SNOW AND ICE CONTROL.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
2. EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILE.
3. APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATION COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS BEEN COMPLETED. PROVIDE STABILIZATION WITH TEMPORARY VEGETATION COVER IN AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED. SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATION COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATION COVER). SEEDING FOR PERMANENT VEGETATION COVER SHALL BE WITHIN THE SEEDING SPECIFICATIONS PROVIDED. STABILIZATION WITH TEMPORARY VEGETATION COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
4. SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATION COVER SPECIFICATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
7. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

TOPSOIL SPECIFICATIONS:

1. EXISTING EXCESS TOPSOIL SHALL BE REMOVED AND STORED IN TOPSOIL STOCKPILES. SOIL SHOULD BE REMOVED FROM OTHER EXCAVATION OR DISTURBANCE TO AVOID MIXING. SILT FENCE SHALL BE INSTALLED AROUND TOPSOIL STOCKPILE AREAS.

SITE PREPARATION:

1. COMPLETE ROUGH GRADING AND FINAL GRADE, ALLOWING FOR DEPTH OF TOPSOIL TO BE ADDED.
2. SCRUFF AND COMPACT, SLOWLY PERMEABLE, MEDIUM AND FINE TEXTURED SUBSOIL AREAS SHOULD BE APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%.
3. REMOVE REFUSE, WOODY PLANT PARTS, STONES OVER 3 INCHES IN DIAMETER, AND OTHER LITTER.

TOPSOIL MATERIALS:

1. NEW TOPSOIL SHALL BE BETTER THAN OR EQUAL TO THE QUALITY OF THE EXISTING ADJACENT TOPSOIL. IT SHALL MEET THE FOLLOWING CRITERIA:
 - A. ORIGINAL LOAM TOPSOIL, WELL-DRAINED, HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOIL OR OTHER OBJECTIONABLE MATERIAL.
 - B. COMBUSTION NOT LESS THAN 85% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
 - C. CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
2. D. SIEVING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1/4"	97-100
NO. 200	20-60

APPLICATION AND GRADING:

1. TOPSOIL SHALL BE DISTRIBUTED TO A UNIFORM DEPTH OF 4" OVER THE AREA. IT SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, OR ON FROZEN SLOPES OR OVER ICE, SNOW, OR STANDING WATER.
2. TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEEDED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.

VEGETATIVE COVER SPECIFICATIONS:
TEMPORARY VEGETATIVE COVER (DURING CONSTRUCTION):

1. SITE PREPARATION (SAME AS PERMANENT VEGETATIVE COVER)
2. SEED MIX (APPLY AT RATE OF 3 TO 4 LBS PER 1000 SF)

AMOUNT BY	SPECIES OR VARIETY	MINIMUM %	GERMINATION
WEIGHT	ANNUAL RYEGRASS	95%	90%
3. SEEDING (SAME AS PERMANENT VEGETATIVE COVER)

PERMANENT VEGETATIVE COVER (AFTER CONSTRUCTION):

1. SITE PREPARATION
 - A. BRING AREA TO BE SEEDED TO REQUIRED GRADE. A MINIMUM OF 4" OF TOPSOIL IS REQUIRED.
 - B. PREPARE SEEDBED BY LOOSENING SOIL TO A DEPTH OF 4 INCHES.
 - C. REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS AND FOREIGN MATTER FROM THE SURFACE.
 - D. LEVEL PH OF 6.5.
 - E. FERTILIZER: USE 5-10-5 (NPK) OR EQUIVALENT, APPLY AT RATE OF 4 LBS/1000 SF.
 - F. INCORPORATE LIME AND FERTILIZER IN THE TOP 4 INCHES OF TOPSOIL.
 - G. SMOOTH AND FIRM THE SEEDBED.
2. SEED MIXTURE FOR USE ON LAWN AREAS: PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS.

LAWN SEED MIX: (APPLY AT RATE OF 5 TO 6 LBS PER 1000 SF)

AMOUNT BY	SPECIES OR VARIETY	MINIMUM %	GERMINATION
WEIGHT	KENTUCKY BLUE GRASS*	95%	80%
20%	PERENNIAL RYE	96%	90%
30%	CREEPING RED FESCUE	97%	85%

*MINIMUM 2 (EQUAL PROPORTIONS) VARIETIES AS LISTED IN CORNELL RECOMMENDATIONS FOR TURFGRASS.

SHADE	AMOUNT BY	SPECIES OR VARIETY	MINIMUM %	GERMINATION
	WEIGHT	KENTUCKY BLUE GRASS**	95%	80%
25%	PERENNIAL RYE	96%	90%	
35%	CREEPING RED FESCUE	97%	85%	

**SHADE TOLERANT VARIETY

3. SEEDING
 - A. APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT RATE INDICATED.
 - B. ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
 - i. A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS /ACRE MIN. TO BE APPLIED ONCE SEEDING IS COMPLETE.
 - ii. WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY HYDROSEEDER AT RATE OF 2,000 LBS/ACRE.
 - C. ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED ECOLOGICAL MESH.
 - D. IRRIGATE TO FULLY SATURATE SOIL LAYER, BUT NOT TO DISLODGE PLANTING SOIL. UNLESS OTHERWISE DIRECTED IN WRITING, SEED FROM MARCH 15TH TO JUNE 15TH, AND FROM AUGUST 15TH TO OCTOBER 15TH.

COMPACTION REQUIREMENTS

LOCATION	COMPACTOR	TESTING FREQUENCY
PIPE TRENCH BACKFILL (IN PAVED AREAS)	95% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 FT OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTOR TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE TRENCH BACKFILL (IN UNPAVED AREAS)	90% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 FT OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTOR TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE BEDDING AND PIPE ZONE BACKFILL	95% ASTM D1557	1 TEST FOR EACH 150 FT OR LESS OF TRENCH LENGTH.
PAVEMENT SUBBASE AND LAST LIFT OF SELECT GRANULAR FILL (FILL BETWEEN SHEET PILES)	95% ASTM D1557	1 TEST FOR EVERY 2,000 SQ FT, OF LIFT AREA BUT NO FEWER THAN TWO TESTS PER LIFT

EROSION & SEDIMENT CONTROL DETAILS

DRAWING NUMBER:

C551