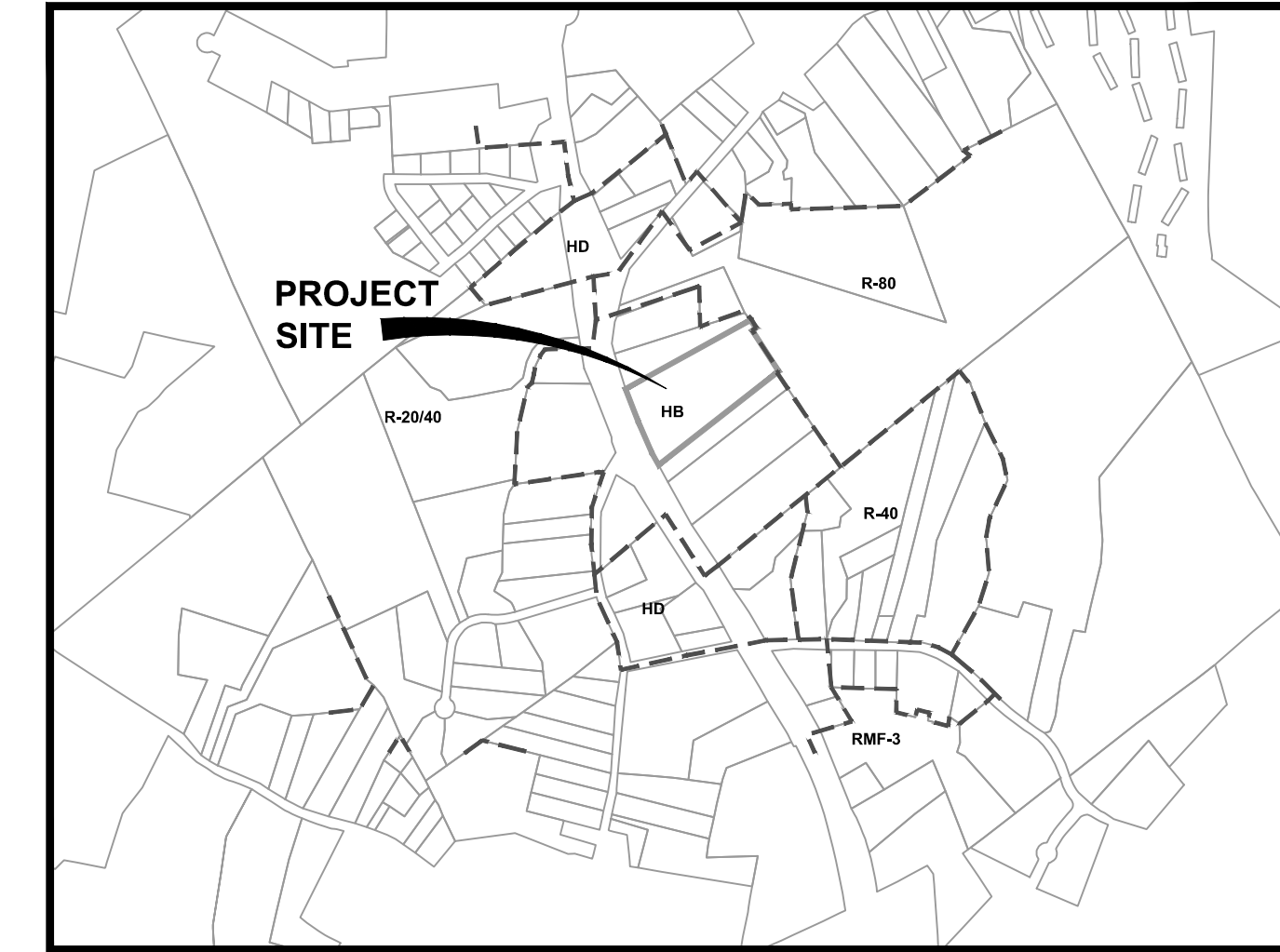


WAPPINGER SUBARU BUILDING EXPANSION

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY



LOCATION MAP
SCALE: 1"=1000'



21 Fox Street
Poughkeepsie, NY 12601
845-454-3980

labelap.com

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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VIP SUBARU
WAPPINGER, LLC
31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

WAPPINGER SUBARU
BUILDING EXPANSION
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

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BULK TABLE:

HIGHWAY BUSINESS ZONING DISTRICT: (HB)

ZONING REQUIREMENTS:	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	3 ACRES	6.31 ACRES	6.31 ACRES
MINIMUM LOT WIDTH	150 FT	302.7 FT	302.7 FT
MINIMUM LOT DEPTH	200 FT	788 FT	788 FT
MINIMUM REQUIRED STREET FRONTAGE	150 FT	429.4 FT	429.4 FT
MINIMUM YARDS			
FRONT	75 FT	134.7 FT	116.7 FT
SIDES	10 FT	56.8 FT	55.3 FT
REAR	30 FT	442 FT	322 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	<35 FT
MAXIMUM BUILDING COVERAGE	25 %	6.79%	13.33%
MAXIMUM FLOOR AREA RATIO	0.4	.136	.149
MAXIMUM IMPERVIOUS AREA	75%	51.6%	57.5%
MINIMUM LANDSCAPED OPEN SPACE	25%	48.4%	42.5%

<p>EXISTING/ 2015 APPROVED AMENDED SITE TOTAL PARKING SPACES ON SITE:</p> <p>10 CUSTOMER (3 ADA ACCESSIBLE) 27 EMPLOYEE + 137 EMPLOYEE CONTROLLED SPACES 268 INVENTORY SPACES 442 SPACES TOTAL</p>	<p>PARKING REQUIREMENTS AND PROPOSED CONFORMANCE:</p> <p>40 EMPLOYEE X 2 SPACES/ 3 EMPLOYEES = 27</p> <p>10 CUSTOMER PARKING SPOTS FOR MOTOR VEHICLE SALES ESTABLISHMENTS</p> <p>TOTAL PARKING SPACES PROVIDED ON SITE:</p> <p>10 CUSTOMER (3 ADA ACCESSIBLE) 27 EMPLOYEE + 113 EMPLOYEE CONTROLLED SPACES 224 INVENTORY 424 SPACES TOTAL</p> <p>NOTE: 70 CARS PER ACRE MAXIMUM</p> <p>6.31 ACRES X 70 CARS/ ACRE = 441 CARS, 424 SPACES PROVIDED</p> <p>PER TABLE 1106.1 OF THE NYS BUILDINGS CODE-- 2 HANDICAP SPACES REQUIRED FOR TOTAL PARKING IN LOT FROM 26 TO 50 SPACES, 3 HANDICAP SPACES PROPOSED. (TOTAL PARKING IN LOT BASED UPON 10 CUSTOMER SPACES + 27 EMPLOYEE SPACES)</p>
<p>CUSTOMER/EMPLOYEE PARKING SPACES (10'X18'):</p> <p>PARKING SPOTS BUILT TO TOWN STANDARDS FOR EMPLOYEES PARKING PERSONAL CARS AS WELL AS CUSTOMER PARKING</p> <p>EMPLOYEE CONTROLLED PARKING SPACES (9'X18'):</p> <p>SPACES UTILIZED BY EMPLOYEES TO PLACE CARS IN QUEUE PRIOR TO AND AFTER SERVICE. ALSO USED FOR VEHICLE RETAIL DISPLAY.</p> <p>INVENTORY PARKING SPACES (7'X14')(7'X16')(8'X16')(9'X16'):</p> <p>SPACES USED SOLELY FOR VEHICLE INVENTORY/STORAGE</p>	

VIP SUBARU WAPPINGER, LLC
31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756
2254625: WAPPINGER SUBARU BUILDING EXPANSION
DECEMBER 17, 2025
LAST REVISED: 03/16/26

TOWN OF WAPPINGER PLANNING BOARD APPROVAL
TOWN OF WAPPINGER, NEW YORK

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK ON THE ____ DAY OF _____. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS SITE PLAN AS APPROVED SHALL VOID THIS APPROVAL SIGNED THIS ____ DAY OF _____ BY

CHAIRMAN, TOWN PLANNING BOARD

OWNER'S CERTIFICATION NOTE
OWNER / APPLICANT SIGNATURE

THE UNDERSIGNED OWNER OR AUTHORIZED REPRESENTATIVE OF THE PROPERTY SHOWN HEREON STATES THAT HE HAS REVIEWED THIS MAP, THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER OR AUTHORIZED REPRESENTATIVE

NO.	DATE:	REVISED PER TOWN & DOH COMMENTS
Revisions		

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

DATE: 12/17/2025

DRAWING NAME:

COVER SHEET



21 Fox Street
Poughkeepsie, NY 12601
(845) 454-3980

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G001

DEMOLITION NOTES:

- REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS & NOTES PRIOR TO COMMENCEMENT OF WORK.
- BUILDING/STRUCTURE TO BE DEMOLISHED ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK. PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS GOVERNING THE DISPOSAL OF SOLID WASTE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
- CONFORM TO APPLICABLE CODES FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
- MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE PROJECT. MAINTAIN EXISTING ROADS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE W/ AUTHORITY HAVING JURISDICTION.
- CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
- ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
- FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- USE WATER MIST, ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICE, FLOODING, AND TRANSPORTING POLLUTANTS.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
- PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW ACCESS OF DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

SITE PLAN NOTES:

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
- ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.
- ALL ARCHITECTURE IS SUBJECT TO PLANNING BOARD REVIEW.
- NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
- THE ENGINEER SHALL BE ADVISED OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
- NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
- ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE. SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.
- IF PREVIOUSLY UNKNOWN CULTURAL, ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. CONSTRUCTION IN THAT AREA SHALL RESUME ONLY AFTER COMPLETION OF FEDERAL, TRIBAL, AND STATE COORDINATION TO DETERMINE WHETHER PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.

LAYOUT NOTES:

- BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

PAVING NOTES:

- NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
- SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITIONS". CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
- PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SOREDD. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
- PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS' WORK.
- TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
 - TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITION", SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
 - REMOVE LOOSE AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
 - APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & AND SURFACES OF CURBS, GUTTERS, MANHOLES AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
 - TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
- AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

GRADING NOTES:

- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
- IF ROCK IS ENCOUNTERED DURING CONSTRUCTION & REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND LOCAL AUTHORITY ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCRR 39 AND INDUSTRIAL CODE REG 733.
- STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
- BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
- REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
- IF PREVIOUSLY UNKNOWN CULTURAL, ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. CONSTRUCTION IN THAT AREA SHALL RESUME ONLY AFTER COMPLETION OF FEDERAL, TRIBAL, AND STATE COORDINATION TO DETERMINE WHETHER PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.
- IF THE INTENT OF THIS PLAN FOR ALL SITE GRADING TO DRAIN & NO PONDING OCCURS. MINIMUM SLOPE OF AT LEAST ONE PERCENT ALONG THE FLOW LINE AND 2% CROSS SLOPE ON ALL PAVED OR CONCRETE SURFACES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR ANY DEVIATIONS OR AREA ON THE PLAN WHERE THE SITE DOES NOT MEET THESE REQUIREMENT.

UTILITY PLAN NOTES:

GENERAL CONSTRUCTION NOTES:

- ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR TO VERIFY THEIR ACTUAL LOCATION IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ANY CONDITION ENCOUNTERED IN THE FIELD DIFFERING FROM THOSE SHOWN HEREON, SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE CONSTRUCTION IS TO PROCEED.
- SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10 (TEN) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE 18 (EIGHTEEN) INCHES BETWEEN TOP OF SEWER AND BOTTOM OF THE WATER MAIN AT UTILITY CROSSINGS. WHEN NOT POSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, SEWER PIPE SHALL BE PRESSURE RATED AND TESTED @ 150psi, 10 (TEN) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED.
- ALL PROPOSED UTILITIES SHALL TERMINATE 5 FEET FROM ANY PROPOSED BUILDING FACE. CONTRACTOR TO COORDINATE WITH BUILDING PLANS FOR ANY CONNECTIONS.
- ALL STORM SEWER SHALL BE SMOOTH INTERIOR HOPE UNLESS OTHERWISE SPECIFIED.
- ALL SANITARY SEWER SHALL BE SDR 35 PVC UNLESS OTHERWISE SPECIFIED.
- ALL WATER PIPE SHALL BE CLASS DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO VERIFY STATUS OF ALL UTILITY SERVICES PRIOR TO INTERRUPTION.
- EXPLORATORY EXCAVATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT ALL UTILITY CONNECTION LOCATIONS AND AS NEEDED TO VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
- BEFORE CONSTRUCTING LINES TO CONNECT TO EXISTING UTILITIES, VERIFY EXISTING UTILITY INVERTS AND NOTIFY THE ENGINEER IF ANY VARIATION FROM THE PLAN IS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES IN SERVICE FOR THE DURATION OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING UTILITY TRENCHES AND EXCAVATIONS AND FOR THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK.
- IF ROCK REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

ROCK BLASTING NOTES:

- BLASTING OF BEDROCK IS NOT ANTICIPATED AT THIS SITE IN ORDER TO COMPLETE THE PROPOSED DEVELOPMENT. HOWEVER, THESE NOTES ARE INCLUDED SHOULD UNFORESEEN CONDITIONS REQUIRE THE NEED FOR BLASTING TO EXCAVATE BEDROCK.
- ALL RECOMMENDED SAFETY REQUIREMENTS AND STANDARDS REFERENCED AND ANY LOCAL RESTRICTIONS SHALL BE APPLIED AS REQUIRED FOR SAFETY, SECURITY, AND SPECIFICALLY RELATED DETAILS FOR BLASTING PROCEDURES. AT ALL TIMES, FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE FOLLOWED CONCERNING THE TRANSPORT AND STORAGE OF EXPLOSIVES.
 - A MINIMUM OF FOUR (4) WEEKS PRIOR TO COMMENCEMENT OF THE INITIAL BLASTING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AS APPROPRIATE: POLICE AGENCIES, GAS AND ELECTRIC SERVICE COMPANIES, TELEPHONE AND CABLE OPERATING COMPANIES, TOWN WATER AND SEWER DEPARTMENTS, NYSDOT, AND LOCAL FIRE, RESCUE, AND AMBULANCE SERVICES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM THE USE OF EXPLOSIVES. EXPLOSIVES SHALL BE STORED IN A SECURE MANNER IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES.
 - THE CONTRACTOR SHALL NOTIFY EACH PROPERTY AND UTILITY OWNER HAVING A BUILDING, STRUCTURE, OR OTHER INSTALLATION ABOVE OR BELOW GROUND IN PROXIMITY TO THE SITE OF THE WORK OF HIS INTENTION TO USE EXPLOSIVES. NOTICE SHALL BE GIVEN SUFFICIENTLY IN ADVANCE TO ENABLE THE OWNERS TO TAKE STEPS TO PROTECT THEIR PROPERTY. NOTICE SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DAMAGE RESULTING FROM HIS BLASTING OPERATIONS.
 - THE CONTRACTOR SHALL SCHEDULE AND CONDUCT PRE-BLAST SURVEYS WITH PROPERTY OWNERS LOCATED IN THE AREA POTENTIALLY AFFECTED BY AIRBLAST OVERPRESSURE AND GROUND VIBRATION OR AS REQUIRED.
 - THE CONTRACTOR SHALL IMPLEMENT ENGINEERING MEASURES IN ORDER TO MINIMIZE THE POTENTIAL IMPACTS OF DUST, NOISE AND GROUND VIBRATION. BLAST VIBRATION CONTROL WILL BE ACHIEVED BY LIMITING THE CHARGE PER DELAY SO THAT THE PEAK PARTICLE VELOCITY REMAINS BELOW THE SPECIFIED LEVELS.
 - A APPROPRIATELY QUALIFIED, LICENSED BLASTING SPECIALIST, WITH EXPERIENCE SHALL BE ONSITE AND SUPERVISE BLASTING OPERATIONS. AT ALL TIMES, THE BLASTING AREA SHALL BE RESTRICTED TO BLASTING OPERATIONS AND AUTHORIZED PERSONNEL ONLY.
 - PROTECTIVE MEASURES INCLUDING INSTALLATION OF SIGNAGE, NOTIFICATION OF NEARBY RESIDENTS, TRAFFIC CONTROL, AS NECESSARY ALONG NEARBY ROADS, AUDIBLE PRE-BLAST WARNINGS, AND USE OF BLAST MATS SHALL BE IMPLEMENTED.
 - DELIVERY AND TRANSPORT OF EXPLOSIVES FROM THE POWDER MAGAZINES TO THE BLAST AREA WILL BE BY VEHICLES SPECIFICALLY DESIGNED FOR THIS USE BY THE CRITERIA OUTLINED IN THE SAFETY REQUIREMENTS. ONLY AUTHORIZED PERSONS WILL TRANSPORT AND HANDLE THE EXPLOSIVES AS DESIGNATED BY THE ISSUING AUTHORITY OF THOSE LICENSES FOR THIS PURPOSE.
 - MONITORING OF PEAK PARTICLE VELOCITY (INCHES/SECOND) AND PEAK AIRBLAST OVERPRESSURE (PSI) SHALL BE PERFORMED DURING ALL BLASTS.

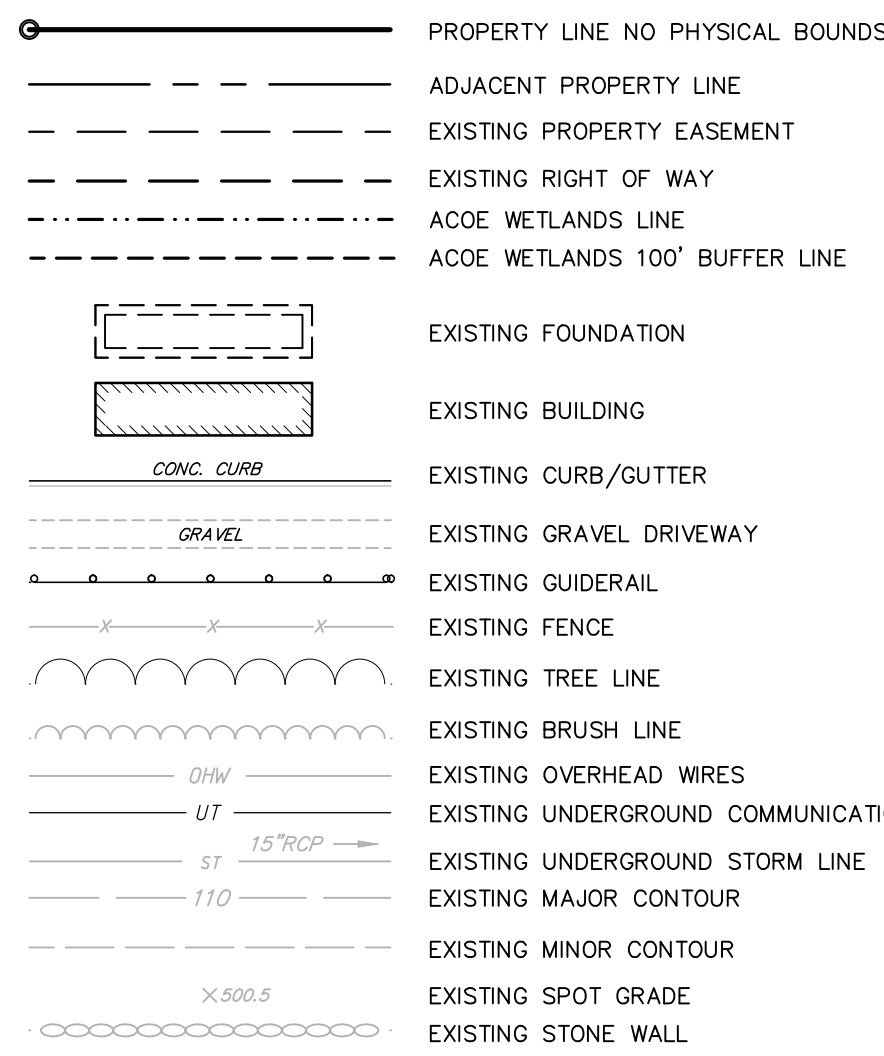
SPDES GENERAL PERMIT NOTES:

THIS PLAN SET AND THE ACCOMPANYING SWPPP ENTITLED "AMENDED STORMWATER POLLUTION PREVENTION PLAN HAVE BEEN SUBMITTED AS A SET. THESE ENGINEERING DRAWINGS ARE CONSIDERED AN INTEGRAL PART OF THE SWPPP, THEREFORE THE PLAN SET IS NOT CONSIDERED COMPLETE WITHOUT THE SWPPP.

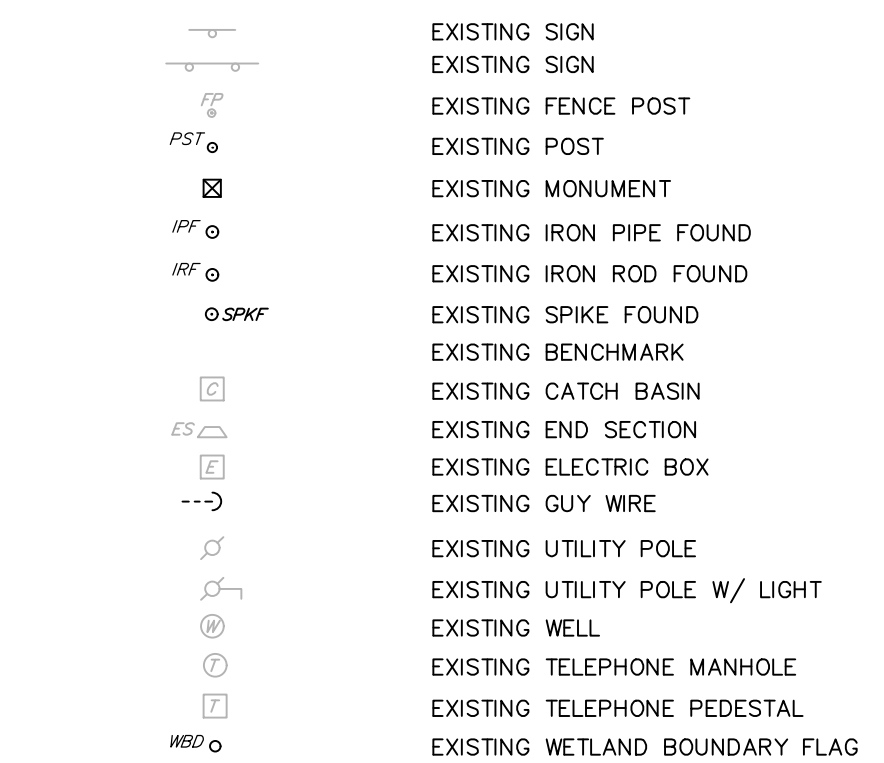
- THIS PROJECT HAS NOT RECEIVED WRITTEN APPROVAL FROM THE TOWN OF WAPPINGER ALLOWING THE DISTURBANCE OF MORE THAN FIVE (5) ACRES OF LAND AT ANY ONE TIME. THEREFORE, IF THE CONTRACTOR'S CONSTRUCTION SEQUENCE REQUIRES THE DISTURBANCE OF MORE THAN FIVE ACRES AT ANY ONE TIME, WRITTEN APPROVAL MUST BE OBTAINED FROM NYSDEC PRIOR TO EXCEEDING THE 5 ACRE LIMIT.

LEGEND:

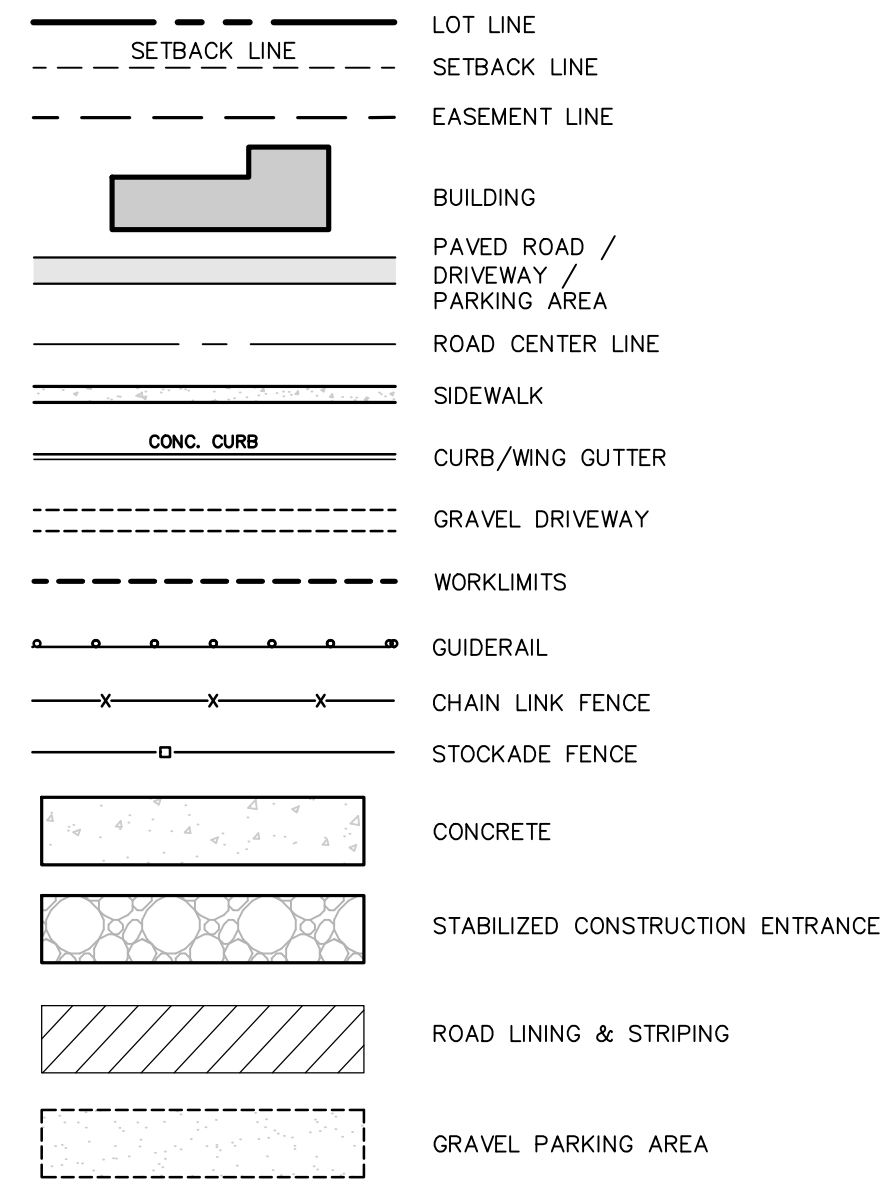
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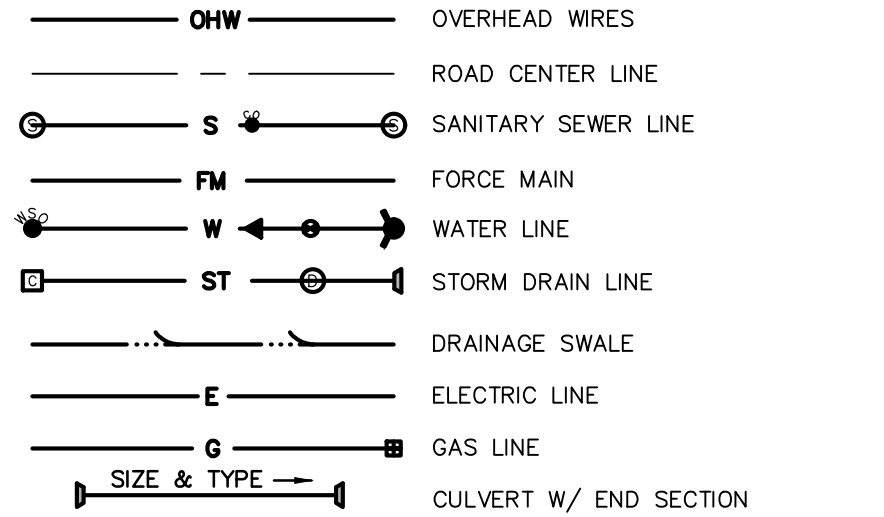
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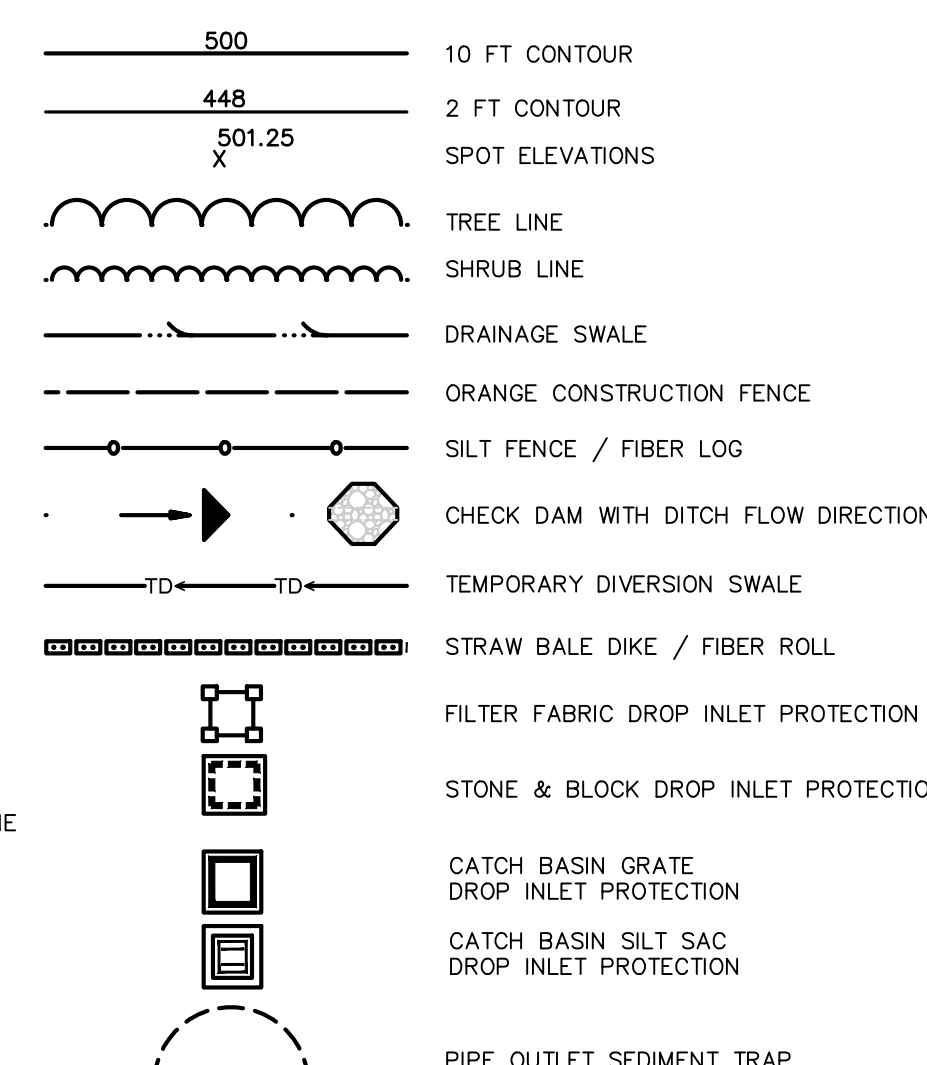
LAYOUT:



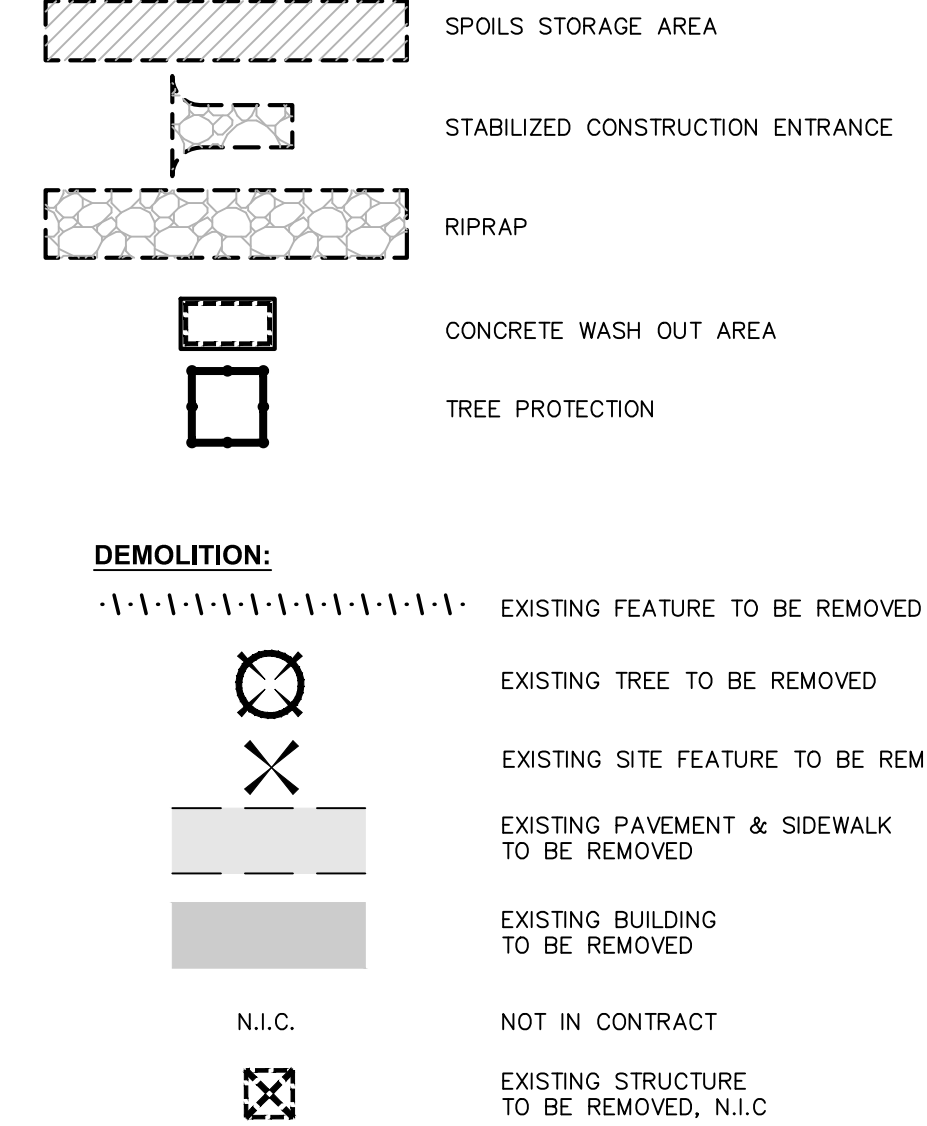
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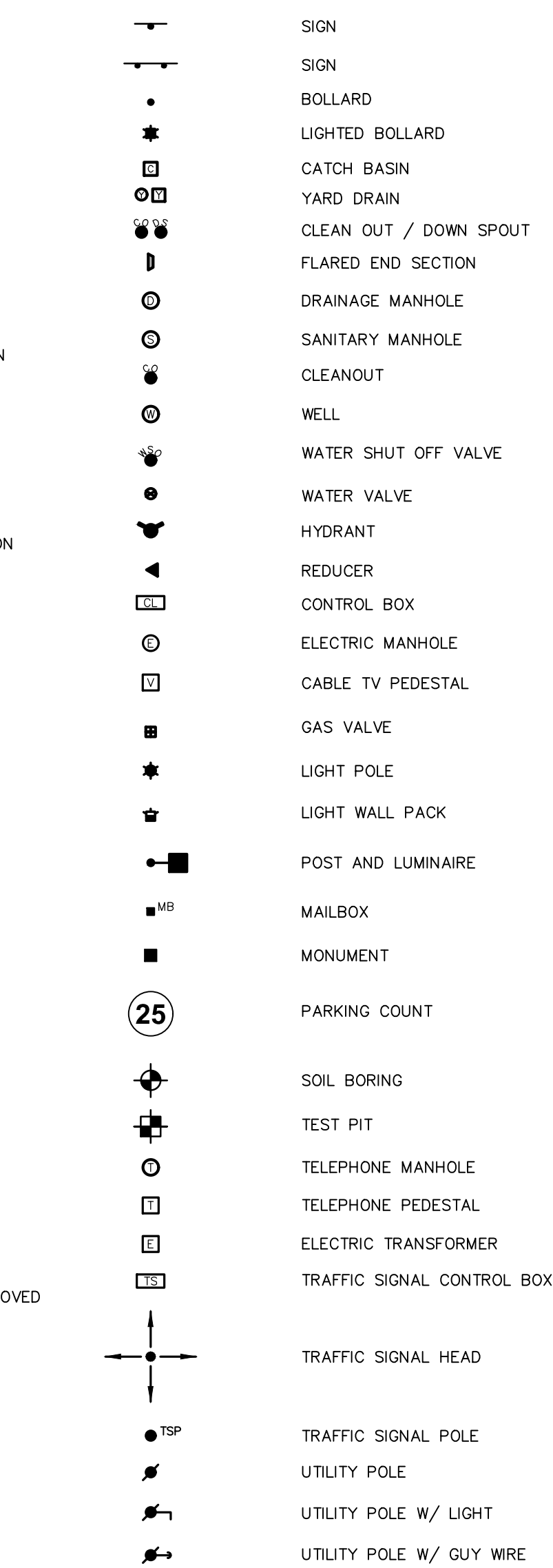
GRADING & EROSION CONTROL:



DEMOLITION:

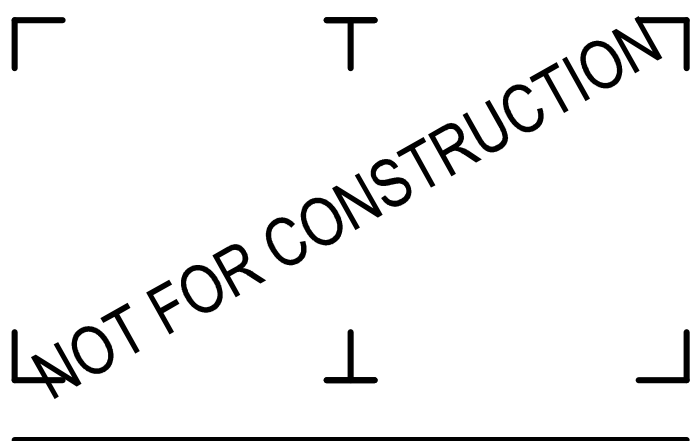


SYMBOLS:



21 Fox Street
Poughkeepsie, NY 12601
845-454-3980

labellapp.com



CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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VIP SUBARU
WAPPINGER, LLC

31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

WAPPINGER SUBARU
BUILDING EXPANSION

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE:	REVISED PER TOWN & DOH COMMENTS
1	03/16/26	REVISED PER TOWN & DOH COMMENTS
Revisions		

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

DATE: 12/17/2025

DRAWING NAME:

NOTES & LEGENDS

DRAWING NUMBER:

G002

NO.	DATE	DESCRIPTION
Revisions		
PROJECT SITE:		

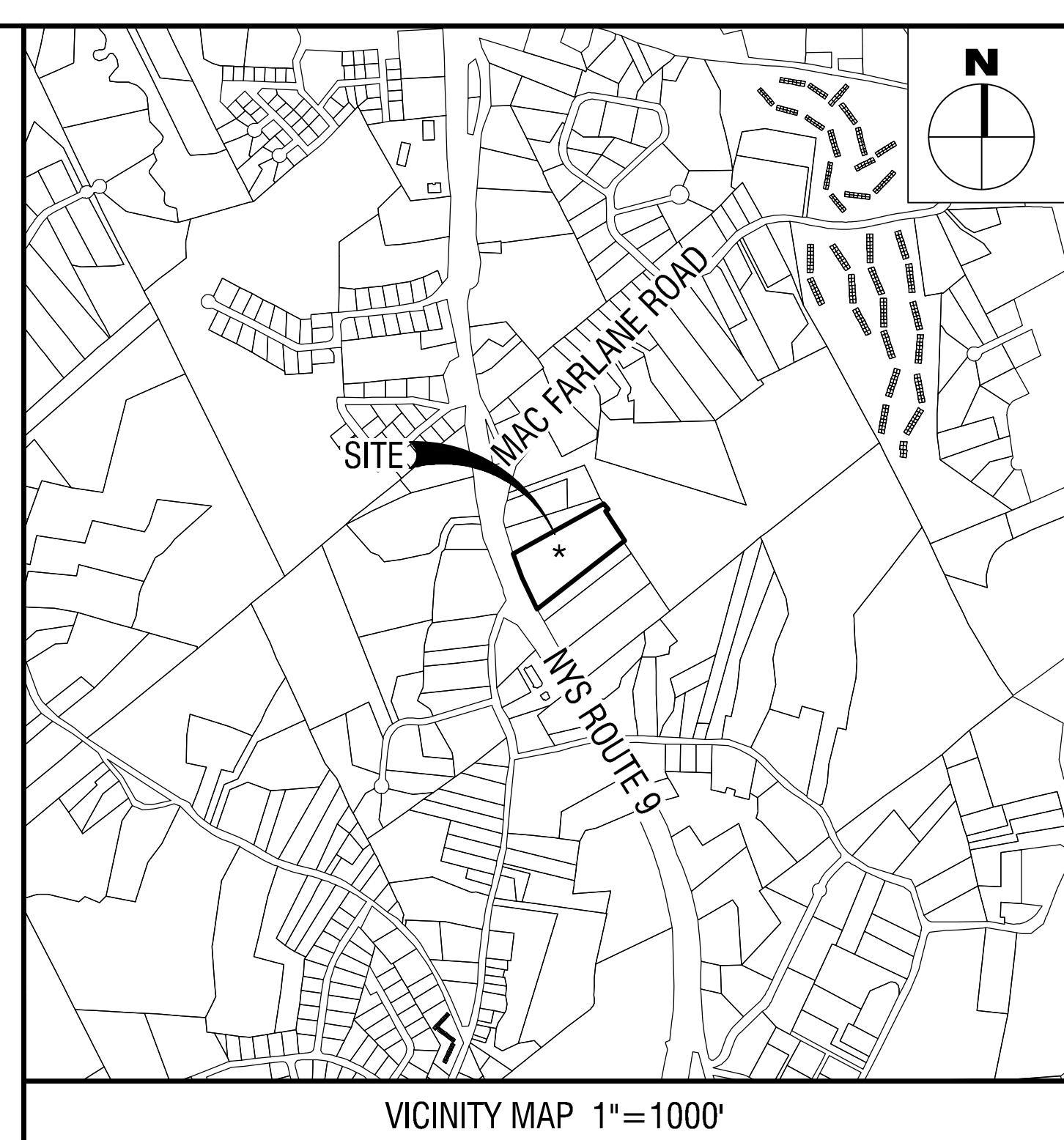
**WAPPINGER SUBARU
BUILDING EXPANSION**
1162 US RT. 9
TOWN OF WAPPINGERS FALLS,
DUTCHESS COUNTY, NY

PROJECT NUMBER:	2254625
DRAWN BY:	ZJ
REVIEWED BY:	CJS
ISSUED FOR:	DESIGN
DATE:	12/10/2025

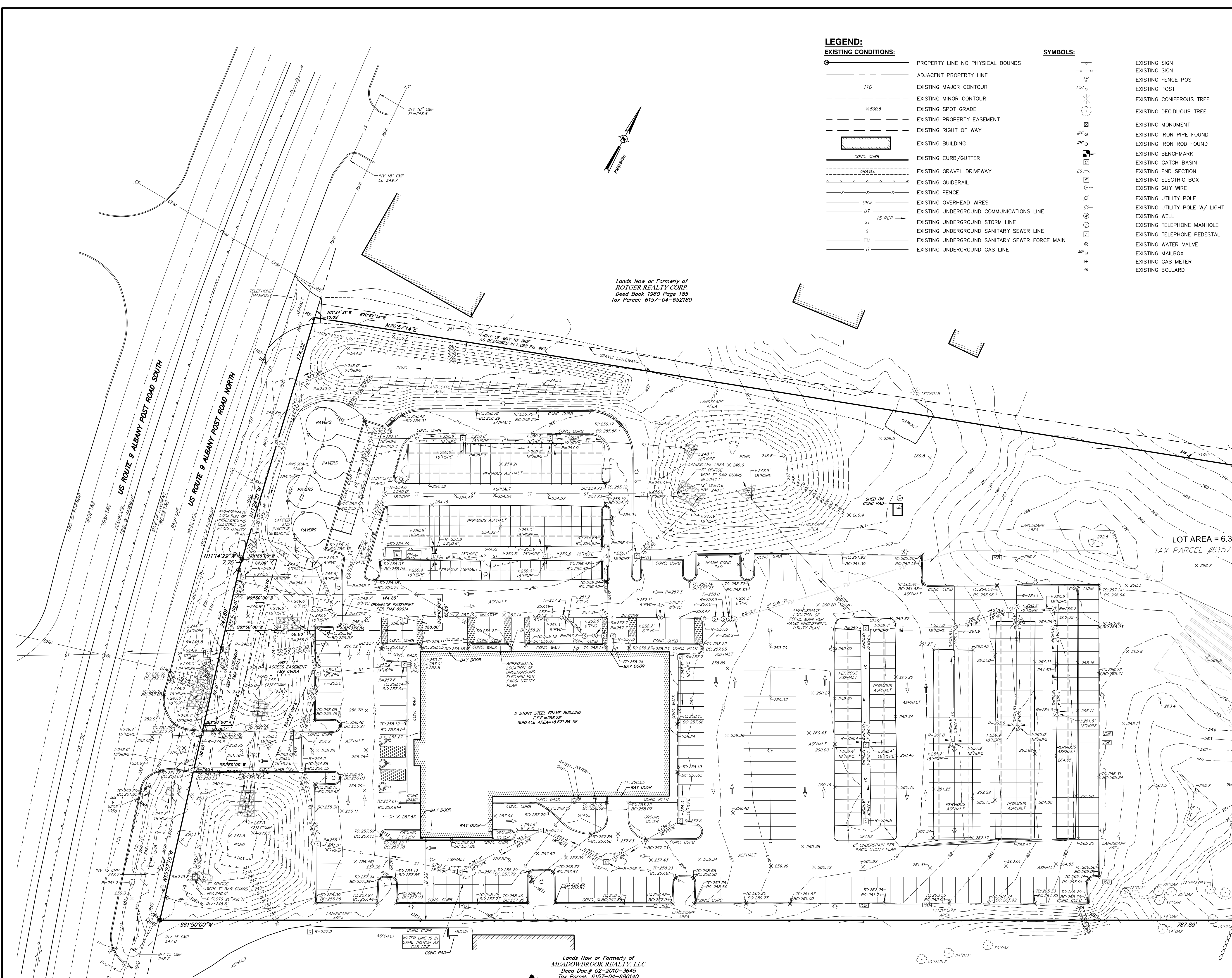
**MAP OF SURVEY
PREPARED FOR VIP
SUBARU WAPPINGER,
LLC.**

DRAWING NUMBER:

SV1
SHEET 1 OF 1



LEGEND:	EXISTING CONDITIONS:	PROPERTY LINE NO PHYSICAL BOUNDS	SYMBOLS:	EXISTING SIGN
---	PROPERTY LINE NO PHYSICAL BOUNDS	---	---	---
---	ADJACENT PROPERTY LINE	---	---	---
---	EXISTING MAJOR CONTOUR	---	---	---
---	EXISTING MINOR CONTOUR	---	---	---
---	EXISTING SPOT GRADE	---	---	---
---	EXISTING PROPERTY EASEMENT	---	---	---
---	EXISTING RIGHT OF WAY	---	---	---
---	EXISTING BUILDING	---	---	---
---	EXISTING CURB/CUTTER	---	---	---
---	EXISTING GRAVEL DRIVEWAY	---	---	---
---	EXISTING GUIDERAIL	---	---	---
---	EXISTING FENCE	---	---	---
---	EXISTING OVERHEAD WIRES	---	---	---
---	EXISTING UNDERGROUND COMMUNICATIONS LINE	---	---	---
---	EXISTING UNDERGROUND STORM LINE	---	---	---
---	EXISTING UNDERGROUND SANITARY SEWER LINE	---	---	---
---	EXISTING UNDERGROUND SANITARY SEWER FORCE MAIN	---	---	---
---	EXISTING UNDERGROUND GAS LINE	---	---	---
---	EXISTING SIGN	---	---	---
---	EXISTING FENCE POST	---	---	---
---	EXISTING POST	---	---	---
---	EXISTING CONIFEROUS TREE	---	---	---
---	EXISTING DECIDUOUS TREE	---	---	---
---	EXISTING MONUMENT	---	---	---
---	EXISTING IRON PIPE FOUND	---	---	---
---	EXISTING IRON ROD FOUND	---	---	---
---	EXISTING BENCHMARK	---	---	---
---	EXISTING CATCH BASIN	---	---	---
---	EXISTING END SECTION	---	---	---
---	EXISTING ELECTRIC BOX	---	---	---
---	EXISTING GUY WIRE	---	---	---
---	EXISTING UTILITY POLE	---	---	---
---	EXISTING UTILITY POLE W/ LIGHT	---	---	---
---	EXISTING WELL	---	---	---
---	EXISTING TELEPHONE MANHOLE	---	---	---
---	EXISTING TELEPHONE PEDESTAL	---	---	---
---	EXISTING WATER VALVE	---	---	---
---	EXISTING MAILBOX	---	---	---
---	EXISTING GAS METER	---	---	---
---	EXISTING BOLLARD	---	---	---



1 SURVEY MAP
SCALE: 1" = 30'

NOTES:
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
SURVEYED FROM RECORD DESCRIPTION AND IN POSSESSION.
SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.
SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON SO NOTED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.
COPYRIGHT LABELLA ASSOCIATES D.P.C., ALL RIGHTS RESERVED.
BUILDING SHOWN HEREON SERVED BY UNDERGROUND UTILITIES.

NOTES CONTINUED:
THE SUBJECT PARCEL HAS DIRECT ACCESS TO N.Y.S. ROUTE 9 ALBANY POST ROAD NORTH (A PUBLIC ROAD).
TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A FIELD SURVEY COMPLETED MAY 20, 2013, BY THE CHAZEN COMPANIES DATUM NAVD-83, 1 FOOT CONTOUR INTERVAL. ADDITIONAL FIELD SURVEY FOR ELGEN PARCEL COMPLETED JANUARY 31, 2014 BY THE CHAZEN COMPANIES SUPPLEMENTAL TOPOGRAPHY AROUND THE NEW VEHICLE DISPLAY AREAS WAS COMPILED FROM A FIELD SURVEY COMPLETED NOVEMBER 22, 2001 BY THE CHAZEN COMPANIES IN THE ABOVE REFERENCED DATUM. FIELD UPDATE COMPLETED BY LABELLA ASSOCIATES ON AUGUST 5, 2025.
VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) AS DERIVED FROM THE ABOVE REFERENCED CHAZEN COMPANIES FIELD SURVEY AND WAS VERIFIED BY LABELLA ASSOCIATES.
HORIZONTAL DATUM AND NORTH ORIENTATION ARE BASED ON FILED MAP NO. 12496.
UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTICED PRIOR TO CONDUCTING TEST BURNING, EXCAVATION AND CONSTRUCTION.

NOTES CONTINUED:
THE CONTRACTOR SHALL COMPLY WITH NEW YORK STATE INDUSTRIAL CODE RULE 753 - 48 HOURS PRIOR TO DIGGING CALL LOG# NY-1-800-962-7962 TO HAVE PUBLIC UTILITY LOCATIONS PAINTED.
THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
SUBSURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED.

MAP REFERENCES:
1. MAP ENTITLED "AMENDED SUBDIVISION OF THE LANDS OF PULLO" PREPARED BY BARGER, CAMPBELL, GRAY & RAIBLE #53383 AND FILED IN THE DUTCHESS COUNTY CLERK'S OFFICE ON MAY 17, 1984 AS FILED MAP NO. 0901.
2. MAP ENTITLED "SUBDIVISION MAP ABANDONMENT OF FILED MAP 6901 ENTITLED (AMENDED SUBDIVISION OF THE LANDS OF PULLO) PREPARED BY GRAY ENGINEERING, P.C. #53227 AND FILED IN THE DUTCHESS COUNTY CLERK'S OFFICE ON APRIL 4, 2003 AS FILED MAP NO. 6901A.
3. MAP ENTITLED "MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR INFANTE ASSOCIATES" PREPARED BY CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C. PROJECT 51312, REVISION DATED JANUARY 8, 2014.
4. MAP ENTITLED "PRESTIGE MINI LOT CONSOLIDATION PLAN" PREPARED BY THE CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C., AND FILED IN THE DUTCHESS COUNTY CLERK'S OFFICE ON FEBRUARY 04, 2015 AS FILED MAP NO. 12496.
5. MAP ENTITLED "PRESTIGE MINI LOT CONSOLIDATION PLAN" PREPARED FOR PRESTIGE FAMILY OF FINE CARS" PREPARED BY CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE & GEOLOGY CON., D.P.C. PROJECT NO. 82136, DATED JANUARY 17, 2022.
6. MAP ENTITLED "PRESTIGE MINI LOT CONSOLIDATION PLAN" PREPARED FOR PRESTIGE FAMILY OF FINE CARS" PREPARED BY CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE & GEOLOGY CON., D.P.C. SHEET NO. 02, PAGE 6 OF 15, PREPARED BY LAWRENCE J. PAGOLA, P.E., P.C. CONSULTING ENGINEERING, DATED JUNE 23, 2014.

DEED REFERENCES:
1. PEPPER WHITE PARTNERS, LLC TO MW, LLC DATED FEBRUARY 2, 2015 AND RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE ON FEBRUARY 11, 2015 IN DEED DOCUMENT NUMBER 02-2015-064.

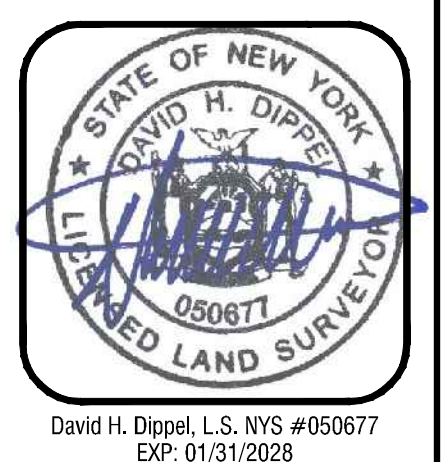
TAX PARCEL DESIGNATION:
TOWN OF WAPPINGER, DUTCHESS COUNTY, STATE OF NEW YORK
6157-04-659168

FLOOD ZONE NOTE:
PARCELS ARE SHOWN TO BE WITHIN OTHER AREAS ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF WAPPINGER, IDENTIFIED AS MAP NUMBER 3002700498E AND MAP NUMBER 3002700498E, BOTH BEARING AN EFFECTIVE DATE OF MAY 2, 2012. THIS INTERPRETATION OF THE BASE FLOOD ELEVATION SHOULD NOT BE RELIED UPON FOR DESIGN PURPOSES WITHOUT OBTAINING CONFORMATION FROM THE LOCAL FLOOD ADMINISTRATOR AND/OR FEMA AS TO THE CORRECTNESS OF THIS INTERPRETATION OF THE SPECIAL FLOOD HAZARD AREA.

AREA:
6.314 AC.

CERTIFICATIONS:
• WAPPINGER WAPPINGER, LLC.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON NOVEMBER 22, 2022 AND FIELD UPDATE ON AUGUST 8, 2025 AND THAT THIS SURVEY MAP WAS MADE BY ME OR UNDER MY DIRECTION, AND CONFORMS WITH THE MINIMUM STANDARD OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.



David H. Dipohl, L.S., NYS #050677
EXP. 01/31/2028

MAP NO. 6400

Drawing Name: B:\GLOBAL\Projects\Inventory\Map\2254625 - Wappinger Subaru Bldg Expansion\06_Drawing\Survey\Map\05-SV_2254625-UPDATE.dwg
User: Adam C. B. (2025) 12/10/2025 11:26:25 AM
Drawn: Adam C. B. (2025) 12/10/2025 11:26:25 AM

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered" followed by their signature and date of such alteration, and a specific description of the alteration.

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**VIP SUBARU
WAPPINGER, LLC**
31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

**WAPPINGER SUBARU
BUILDING EXPANSION**
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE	REVISIONS
1	03/16/26	REVISED PER TOWN & DOH COMMENTS

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

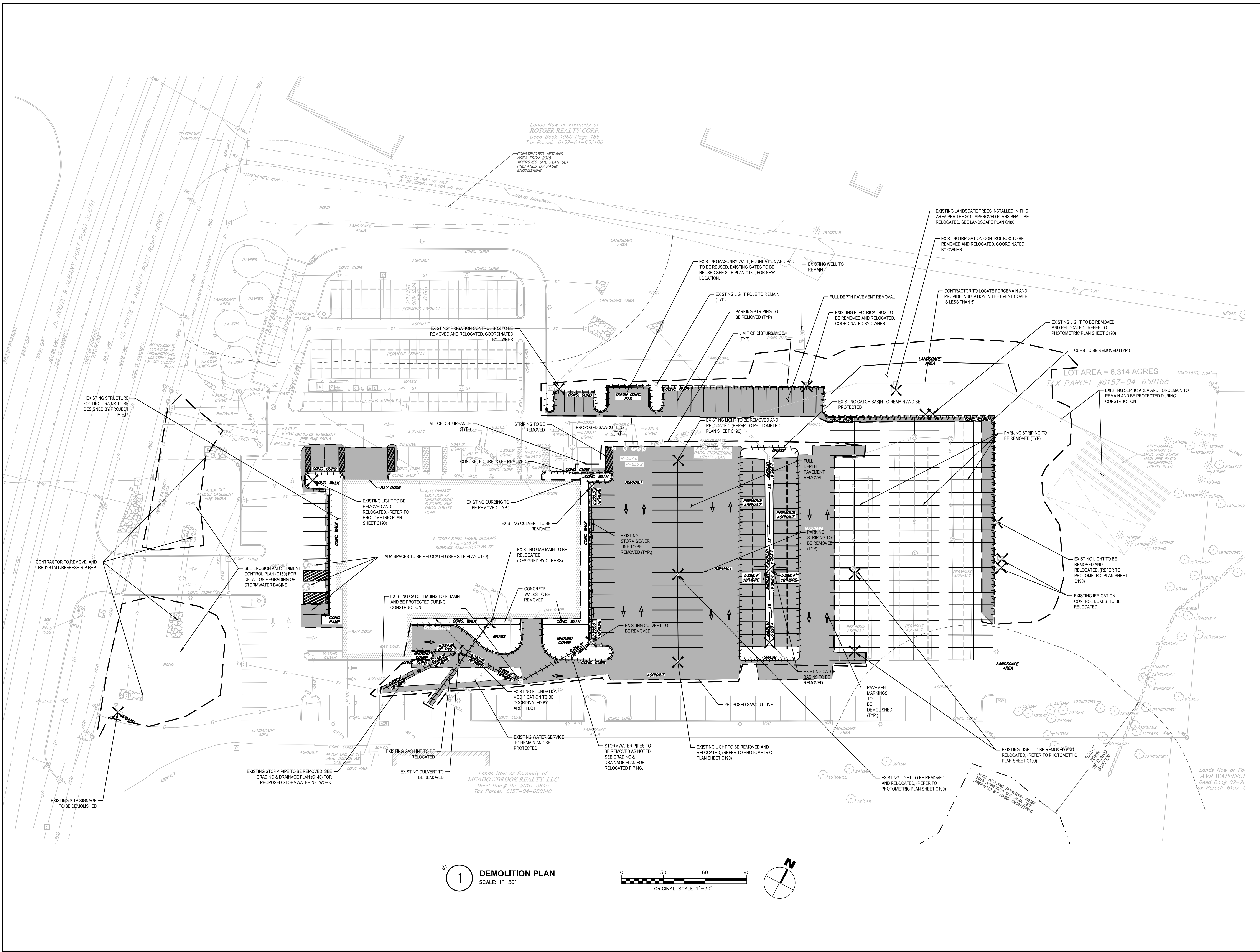
DATE: 12/17/2025

DRAWING NAME:

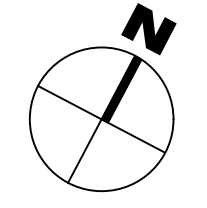
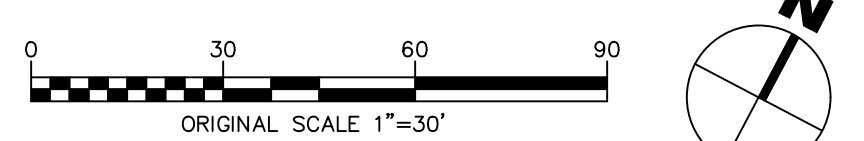
DEMOLITION PLAN

DRAWING NUMBER:

C120



1 DEMOLITION PLAN
SCALE: 1"=30'



Drawing Name: \\ashlab\Projects\Wesbury_Deep\2254625 - Wappinger Subaru Bldg Expansion\02_Drawing\C120_2254625_DEMO.dwg
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 User: Xref: D:\ALY\OUT\2254625_XBASEMAP_2254625_XGRADING.dwg
 Date Plotted: Mar 12, 2026, 12:18pm

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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LEVITTOWN, NY 11756

**WAPPINGER SUBARU
BUILDING EXPANSION**

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE:	DESCRIPTION:
1	03/16/26	REVISED PER TOWN & DOH COMMENTS
Revisions		

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

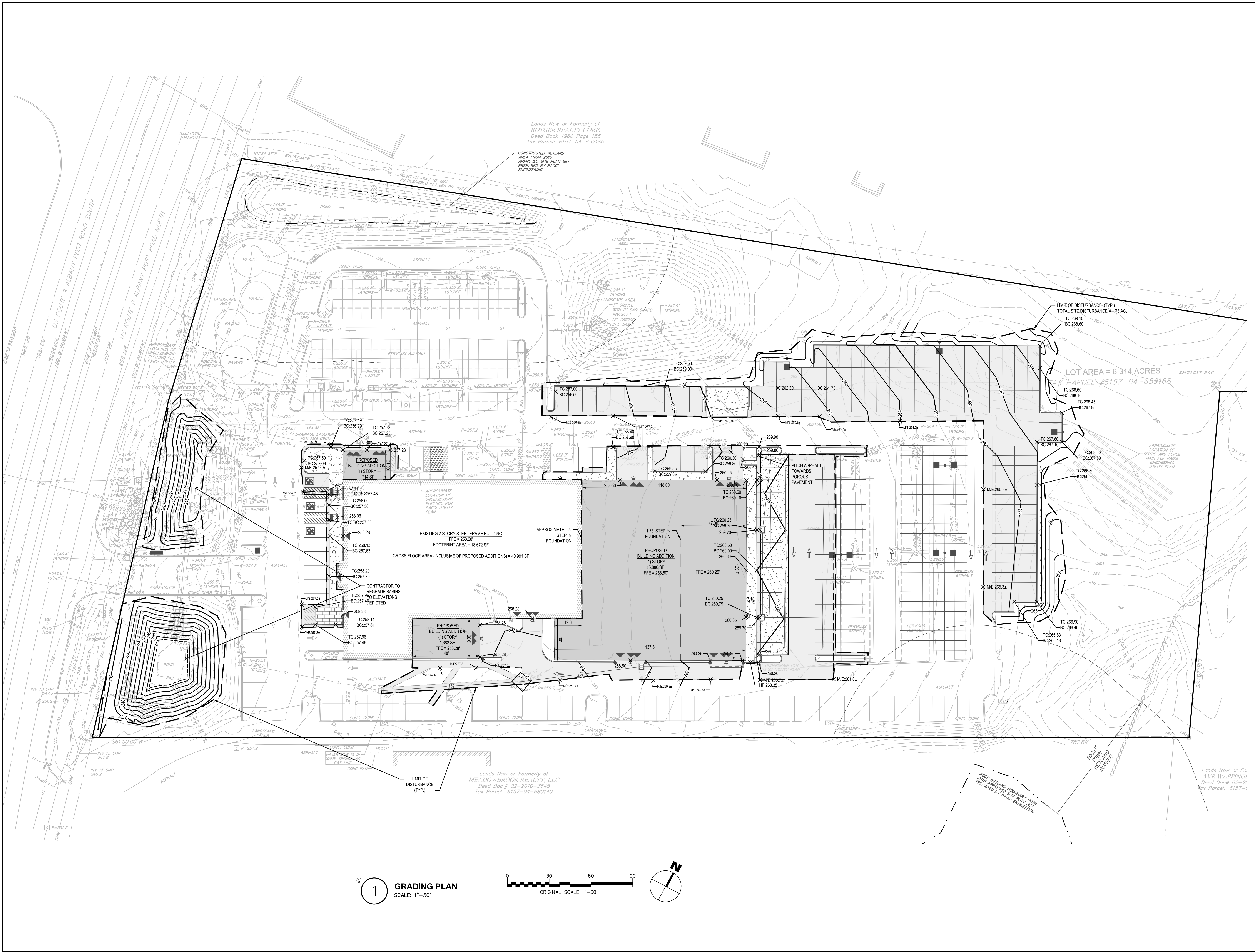
DATE: 12/17/2025

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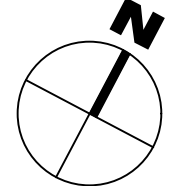
GRADING PLAN

DRAWING NUMBER:

C140



1 GRADING PLAN
SCALE: 1"=30'



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NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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WAPPINGER, LLC**

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LEVITTOWN, NY 11756

**WAPPINGER SUBARU
BUILDING EXPANSION**

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE:	REVISIONS	DESCRIPTION:
1	03/16/26	REVISED PER TOWN & DOH COMMENTS	

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

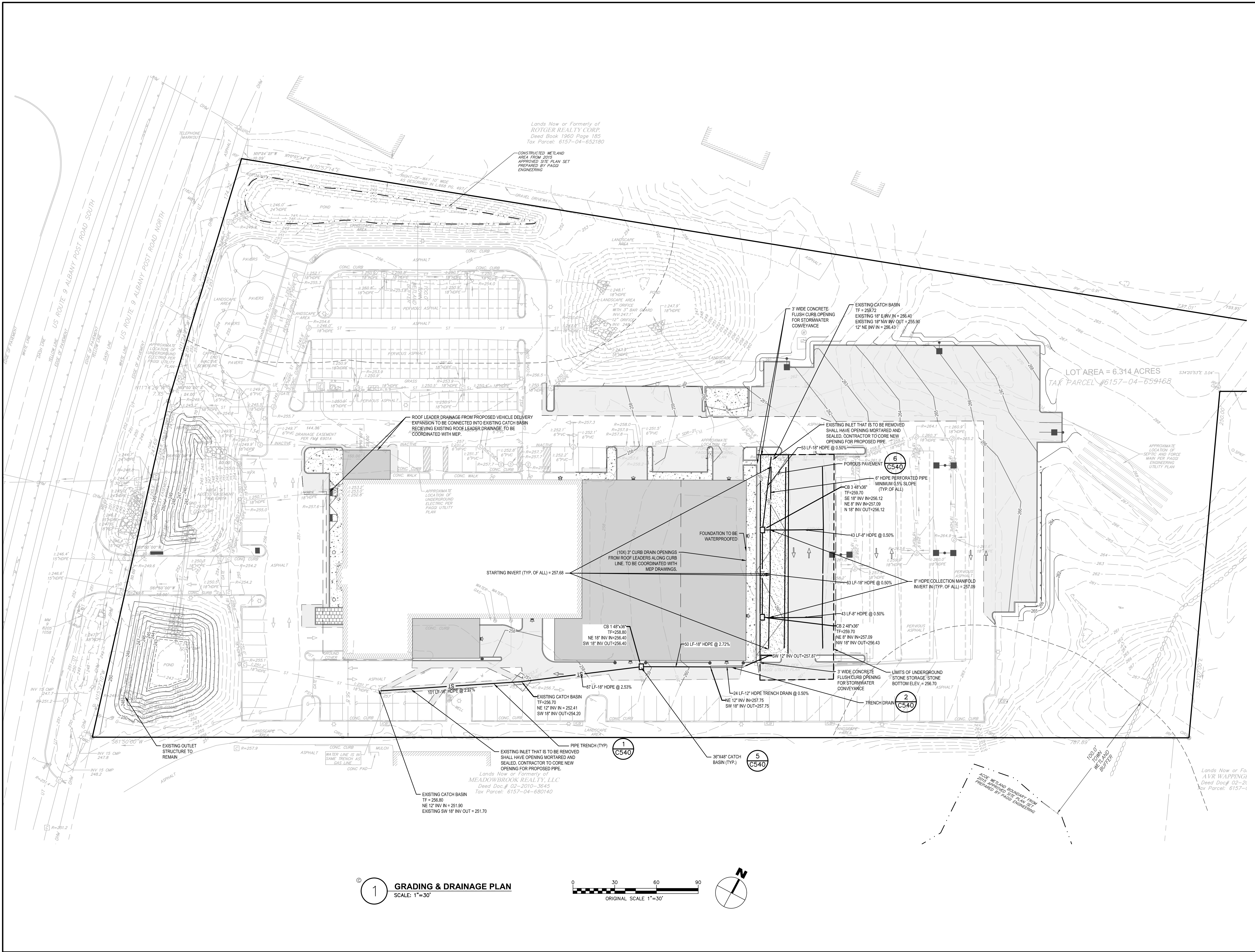
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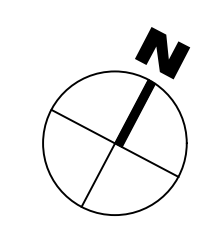
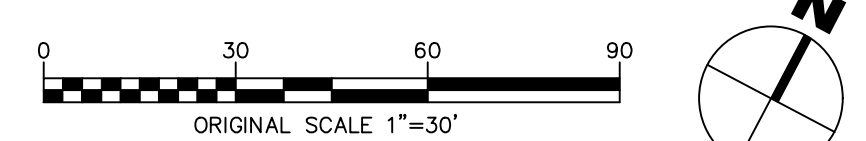
DRAINAGE PLAN

DRAWING NUMBER:

C141



1 GRADING & DRAINAGE PLAN
SCALE: 1"=30'



Drawing Name: \\\\nasabul\Projects\Westbury\2254625 - Wappinger Subaru Bldg Expansion\08_Drainage\DWG\C141_2254625_C141.dwg
Xref: Attached: 134-24246-06-Arch D: \\\\ALYOUT\2254625 - all parking_XB\SEMAP_2254625 - all parking
Data Printer: 12/2025 12:29pm

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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BUILDING EXPANSION**

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE	REVISIONS
1	03/16/26	REVISED PER TOWN & DOH COMMENTS

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

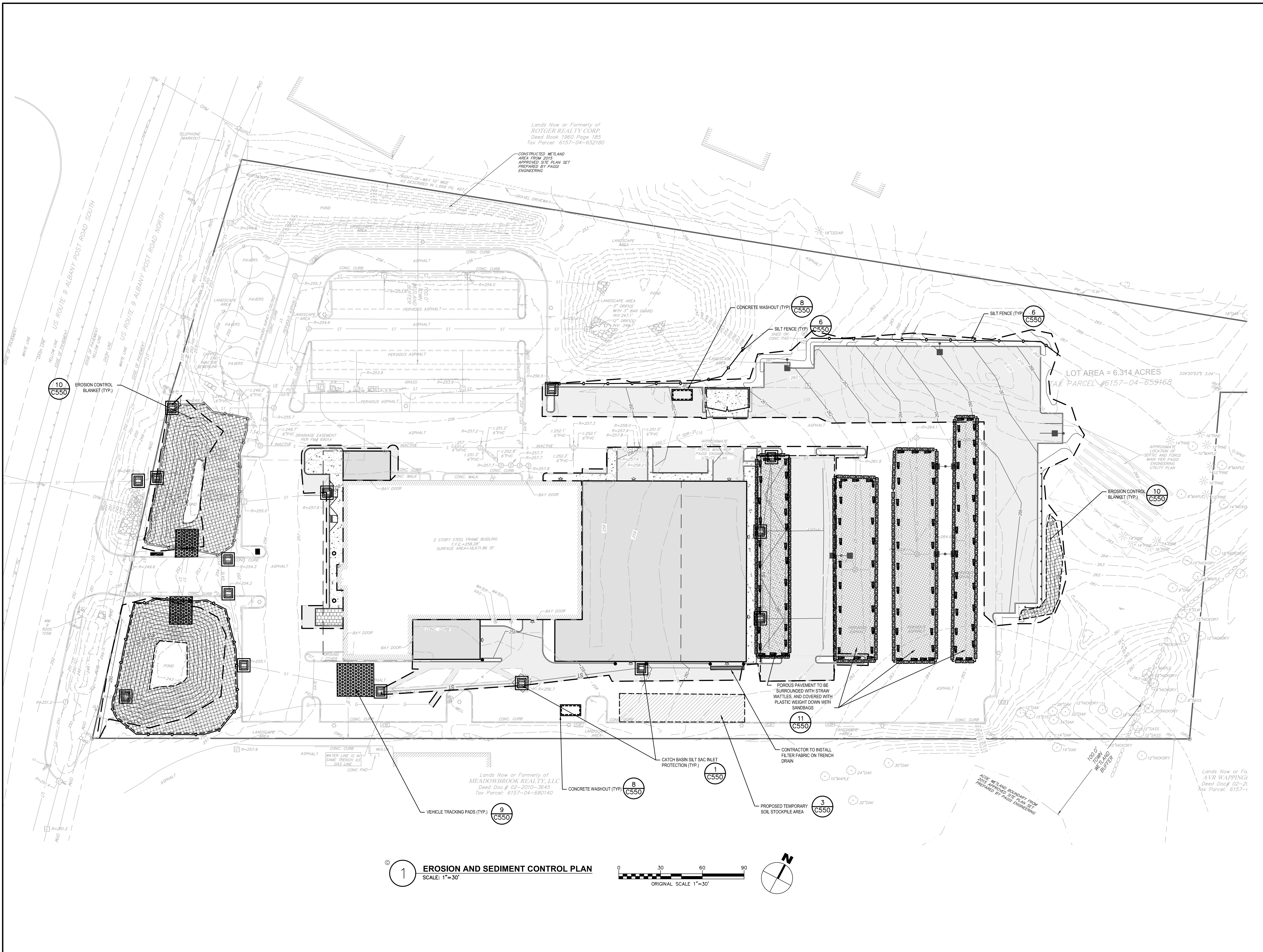
DATE: 12/17/2025

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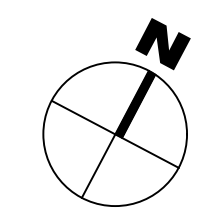
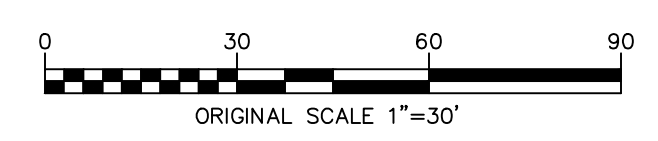
**EROSION & SEDIMENT
CONTROL PLAN**

DRAWING NUMBER:

C150



1 EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=30'



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 Xref Attached: LA-24026-06-10.dwg; D:\LAYOUT\2254625_XBRODING_2254625 - all parking
 Date Printed: Mar 17, 2026, 12:21 PM

Lands Now or Formerly of
ROYGER REALTY CORP.
Deed Book 1960 Page 185
Tax Parcel: 6157-04-652180

Lands Now or Formerly of
MEADOWBROOK REALTY, LLC
Deed Doc. # 02-2010-3645
Tax Parcel: 6157-04-680140

LOT AREA = 6.314 ACRES
TAX PARCEL #6157-04-659468

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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LEVITTOWN, NY 11756

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BUILDING EXPANSION**
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE:	REVISIONS
1	03/16/26	REVISED PER TOWN & DOH COMMENTS

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

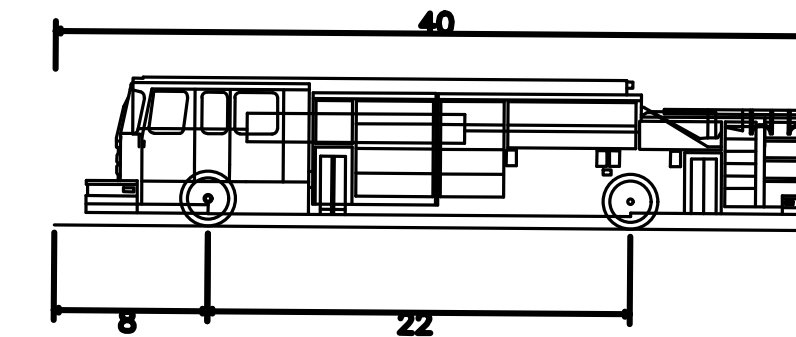
DATE: 12/17/2025

DRAWING NAME:

**VEHICLE MANEUVERING
PLAN**

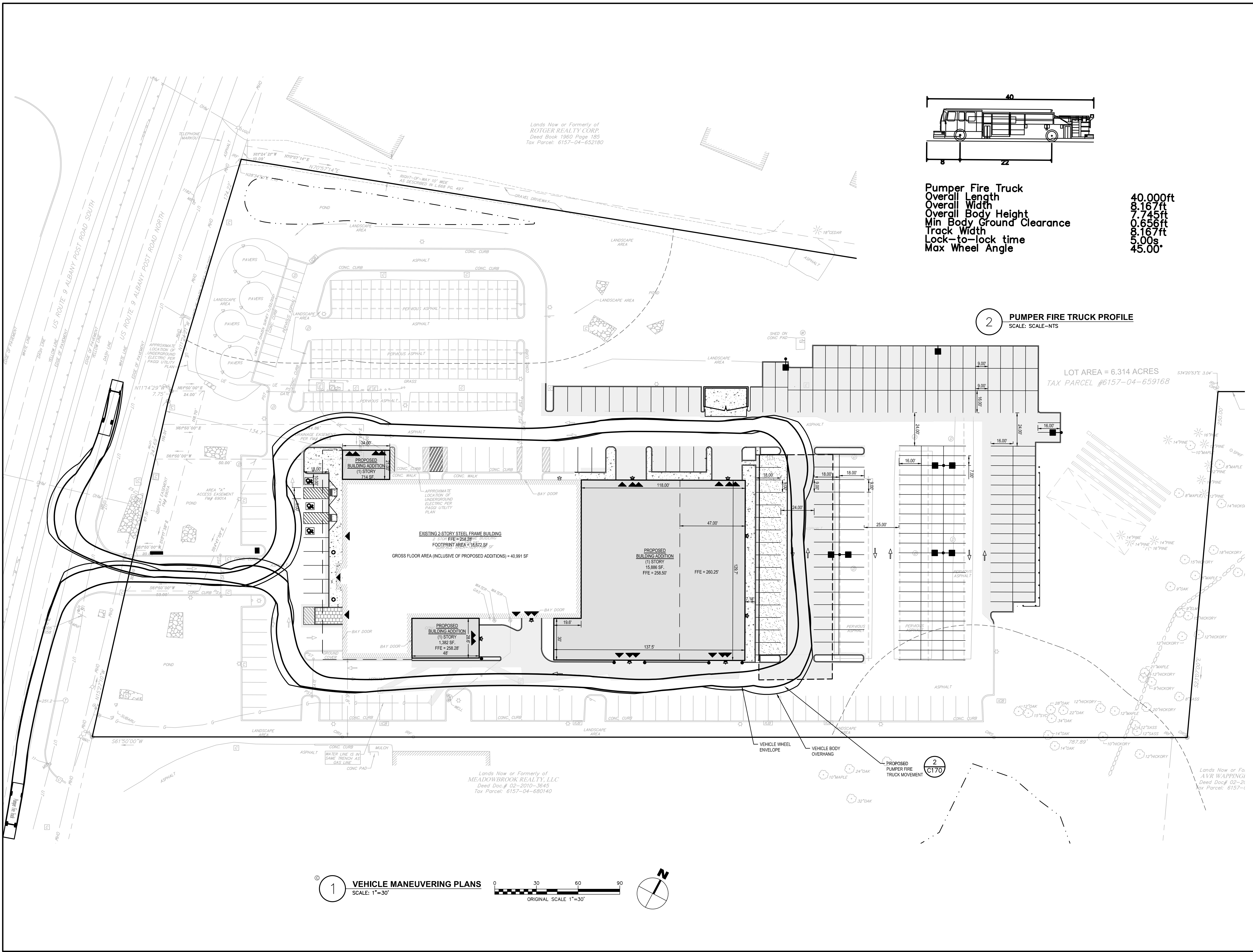
DRAWING NUMBER:

C170

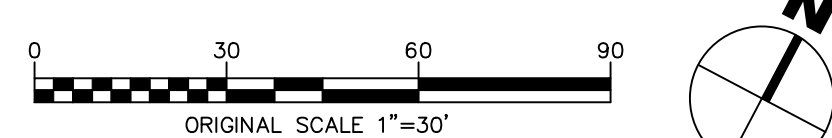


Pumper Fire Truck
Overall Length 40.000ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

2 PUMPER FIRE TRUCK PROFILE
SCALE: SCALE-NTS



1 VEHICLE MANEUVERING PLANS
SCALE: 1"=30'

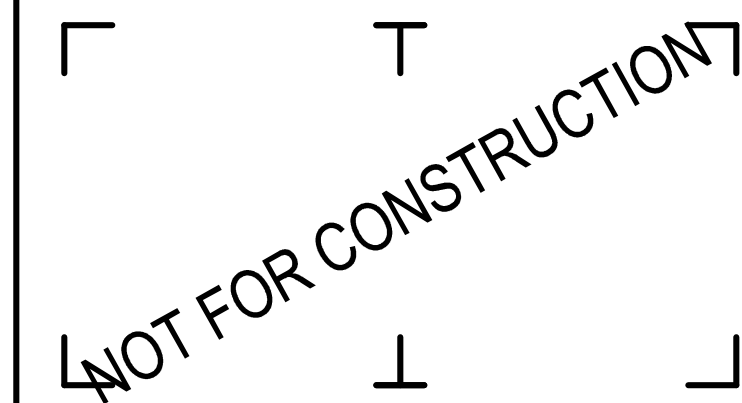


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 Xref Attached: XLA\001_C170_2254625 - at parking; XBASEMAP_2254625; LBN24348-4ch D
 Date Printed: Mar 12, 2026, 12:21 pm

Lands Now or Formerly of
ROTGER REALTY CORP.
Deed Book 1960 Page 185
Tax Parcel: 6157-04-652180

Lands Now or Formerly of
MEADOWBROOK REALTY, LLC
Deed Doc # 02-2010-3645
Tax Parcel: 6157-04-680140

LOT AREA = 6.314 ACRES
TAX PARCEL #6157-04-659168



1	03/16/26	REVISED PER TOWN & DOH COMMENTS
NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

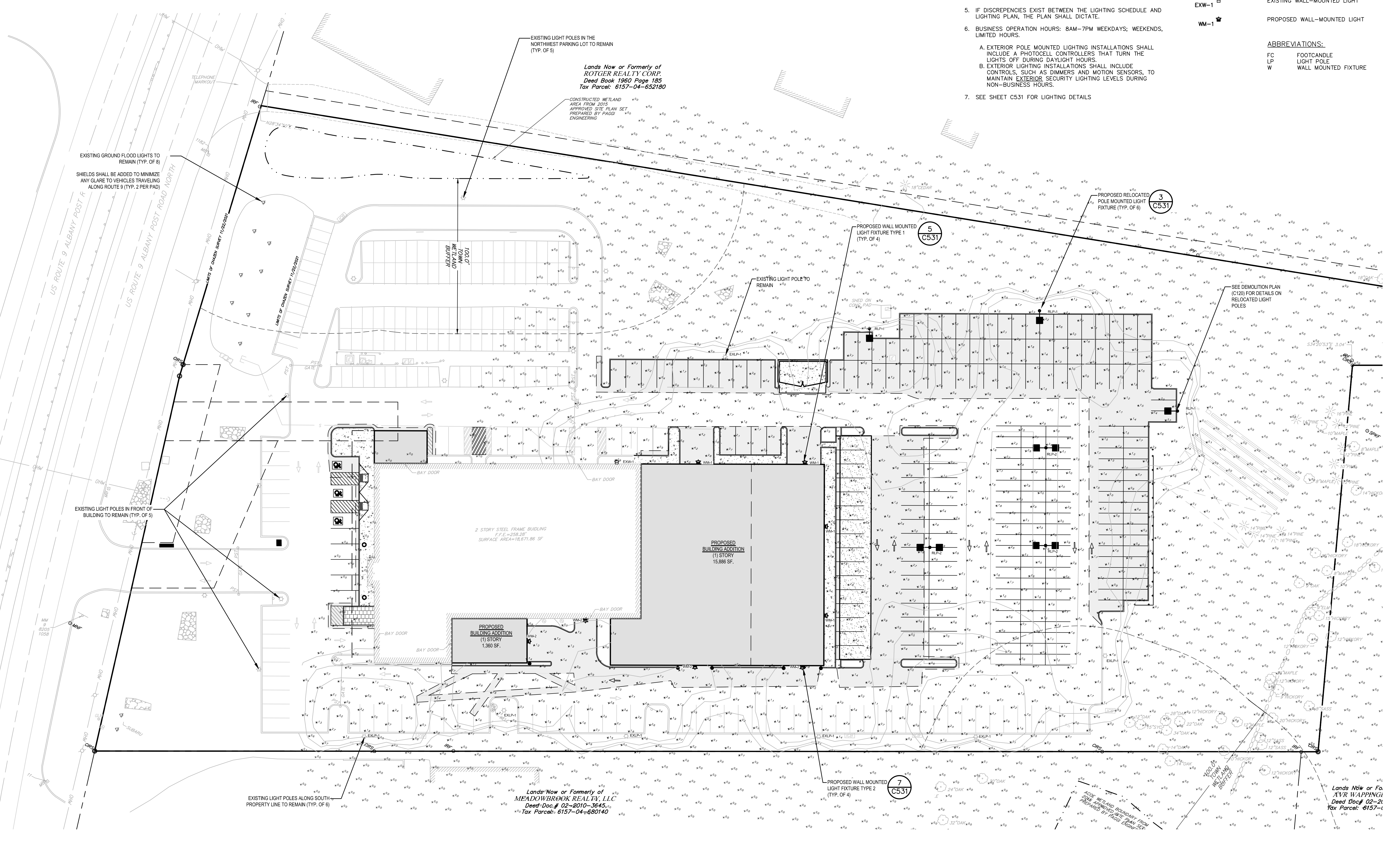
DATE: 12/17/2025

DRAWING NAME:

PHOTOMETRIC PLAN

LIGHTING SCHEDULE										
QUANTITY	DESIGNATION	MANUFACTURER - MODEL	CATALOG NUMBER	MOUNT HEIGHT	LIGHTING TYPE	TOTAL LUMENS	WATTS	LIGHT TEMP.	BUG RATING	REMARKS
6	EXLP-1	CREE LIGHTING-EDGE SERIES AREA LIGHT	ARE-EDG-4MB-DA-06-XX-XX-525-30K	18'	LED	6,575		3000K	B1-U0-G2	EXISTING LIGHT POLES TO REMAIN-SINGLE FIXTURE
3	RLP-1	CREE LIGHTING-EDGE SERIES AREA LIGHT	ARE-EDG-4MB-DA-06-XX-XX-525-30K	18'	LED	6,575		3000K	B1-U0-G2	RELOCATED EX. LIGHT POLE-SINGLE FIXTURE
3	RLP-2	CREE LIGHTING-EDGE SERIES AREA LIGHT	ARE-EDG-5M-DA-06-XX-XX-700-30K	18'	LED	10,831		3000K	B4-U0-G2	RELOCATED EX. LIGHT POLE-DOUBLE FIXTURE
1	EXW-1	CREE LIGHTING-EDGE SERIES WALL MOUNT	SEC-EDG-3MB-WM-06-XX-XX-700-30K	15'	LED	7,220	134	3000K	B1-U0-G2	EXISTING WALL MOUNTED FIXTURE TO REMAIN
4	W-1	CREE LIGHTING-EDGE SERIES WALL MOUNT	SEC-EDG-3MB-WM-06-XX-XX-700-30K	15'	LED	7,220	134	3000K	B1-U0-G2	PROPOSED/NEW WALL MOUNTED FIXTURE-TYPE 1
4	W-2	CURRENT LIGHTING-BEACON GEOPAK SERIES	TRP1-15-4F-3K	11.5'	LED	1,701	14	3000K	B0-U0-G1	PROPOSED/NEW WALL MOUNTED FIXTURE-TYPE 2

NOTES:
1. RELOCATED LIGHT POLE WITH TWO EXISTING FIXTURES MOUNTED IN 180° ALIGNMENT.
2. REQUIRES PLANNING BOARD WAIVER.



LIGHTING STATISTICS				
DESCRIPTION-CALCULATION AREA	AVERAGE	MAXIMUM	MINIMUM	AVE./MIN RATIO
SITE TO PL	0.6 FC	4.8 FC	0.0 FC	NA
EAST PARKING AREA ONLY	1.7 FC	4.4 FC	0.0 FC	NA
SOUTH PARKING AREA	1.3 FC	4.6 FC	0.0 FC	NA

- LIGHTING NOTES:**
- THIS IS A PARTIAL PHOTOMETRIC PLAN. EXISTING LIGHTING FIXTURES ON THE NORTH AND WEST SIDE OF EXISTING BUILDING ARE TO REMAIN AS-IS, AND HAVE NOT BEEN INCLUDED IN THIS PHOTOMETRIC PLAN.
 - GRID NUMBERS SHOWN REPRESENT FOOT CANDLE VALUES AT GROUND PLANE.
 - THE LIGHTING FIXTURES, SURFACE LOCATIONS AND ASSOCIATED PHOTOMETRIC VALUES ARE IDENTIFIED BY LABELLA ASSOCIATES. DETAILED DESIGN OF THE LIGHTING SPECIFICATIONS, FOUNDATION DESIGN, LIGHTING CONDUIT, WIRING, AND CONTROL CIRCUITRY SHALL BE BY OTHERS.
 - THE LIGHT POLES REMOVED DURING THE DEMOLITION PROCESS SHALL BE REUSED AND REINSTALLED IN NEW LOCATIONS.
 - IF DISCREPANCIES EXIST BETWEEN THE LIGHTING SCHEDULE AND LIGHTING PLAN, THE PLAN SHALL DICTATE.
 - BUSINESS OPERATION HOURS: 8AM-7PM WEEKDAYS; WEEKENDS, LIMITED HOURS.
 - SEE SHEET C531 FOR LIGHTING DETAILS

PHOTOMETRIC LEGEND:

- PROPERTY LINE
- BUILDING
- FOOT CANDLE VALUE AT GROUND PLANE
- PHOTOMETRIC CONTOUR (F.C.)
- EXISTING LIGHT POLE - POST AND LUMINAIRE
- RELOCATED LIGHT POLE - POST AND LUMINAIRE (DOUBLE/SINGLE)
- EXISTING WALL-MOUNTED LIGHT
- PROPOSED WALL-MOUNTED LIGHT

ABBREVIATIONS:

- FC FOOTCANDLE
- LP LIGHT POLE
- W WALL MOUNTED FIXTURE

Drawing Name: \\ashlab\Projects\Wesbury_Leop\2254625 - Wappinger Subaru Bldg Expansion\06_Drawings\Civil\01_C190_2254625_LITE.dwg
 Xref Attached: \\ashlab\Projects\Wesbury_Leop\2254625 - Wappinger Subaru Bldg Expansion\06_Drawings\Civil\01_C190_2254625_LITE.dwg
 Date Plotted: 12/17/2025 12:28:12 PM

1 PHOTOMETRIC PLAN
SCALE: 1"=30'

0 30 60 90
ORIGINAL SCALE 1"=30'

Lands Now or Formerly of
MEADOWBROOK REALTY, LLC
Deed Doc # 02-2010-3645
Tax Parcel: 6157-04-680140

Lands Now or Formerly of
ROTGER REALTY CORP.
Deed Book 1960 Page 185
Tax Parcel: 6157-04-652180

Lands Now or Formerly of
AVR WAPPINGER
Deed Doc # 02-21
Tax Parcel: 6157-04-680140

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way, if an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered" followed by their signature and date of such alteration, and a specific description of the alteration.

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**VIP SUBARU
WAPPINGER, LLC**
31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

**WAPPINGER SUBARU
BUILDING EXPANSION**
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE	REVISIONS	DESCRIPTION
1	03/16/26	REVISED PER TOWN & DOH COMMENTS	

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

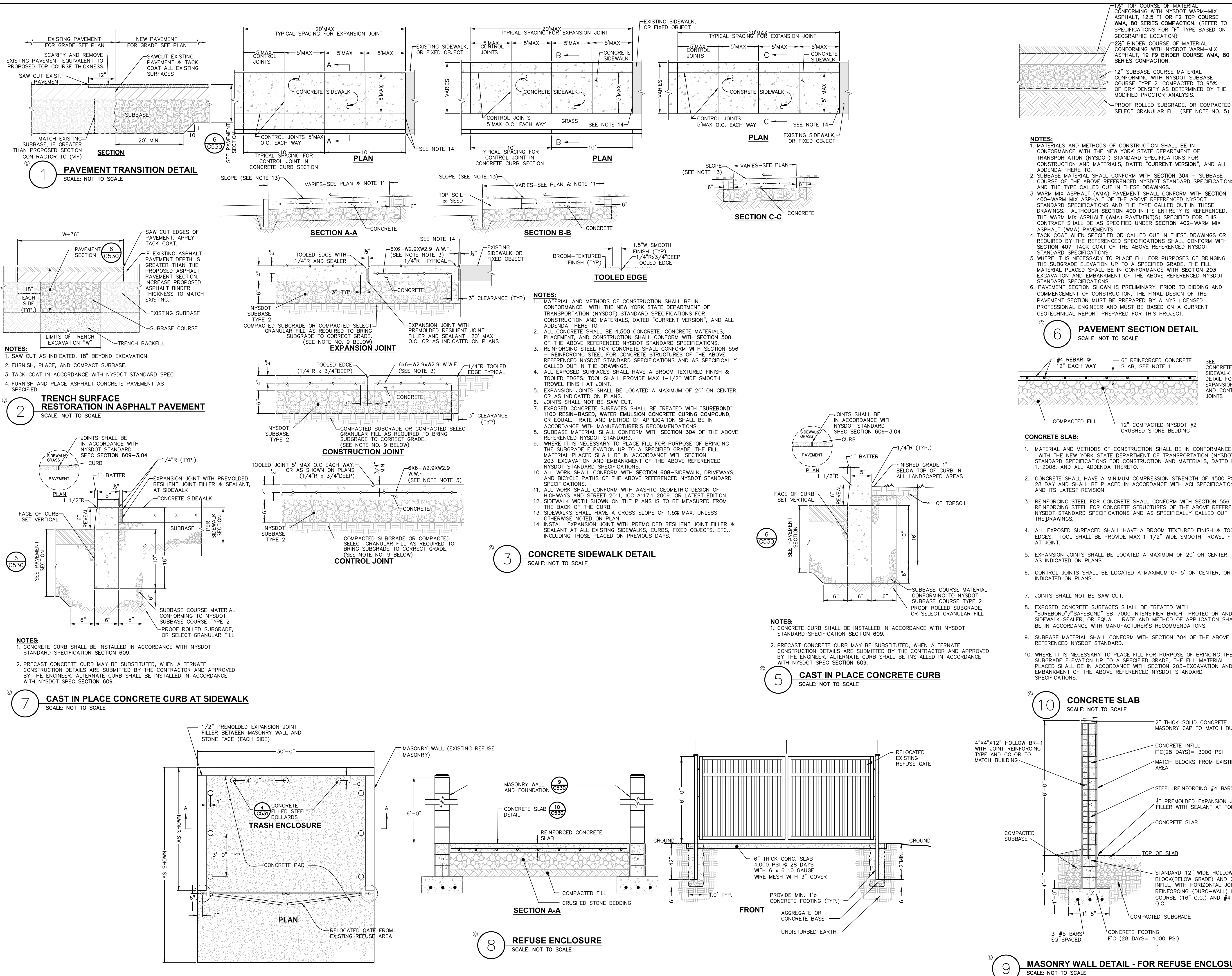
DATE: 12/17/2025

DRAWING NAME:

SITE DETAILS

DRAWING NUMBER:

C530



NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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WAPPINGER, LLC**

31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

**WAPPINGER SUBARU
BUILDING EXPANSION**

1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE:	REVISIONS PER TOWN & DOH COMMENTS
1	03/16/26	REVISED PER TOWN & DOH COMMENTS

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

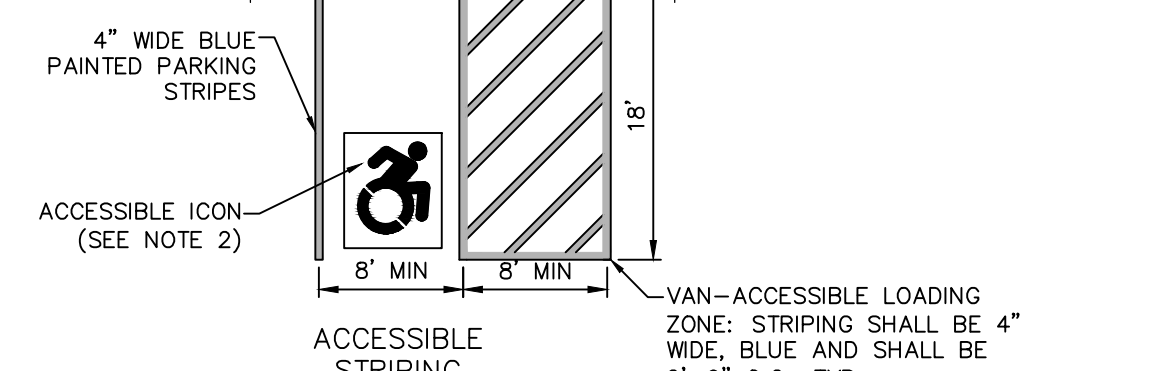
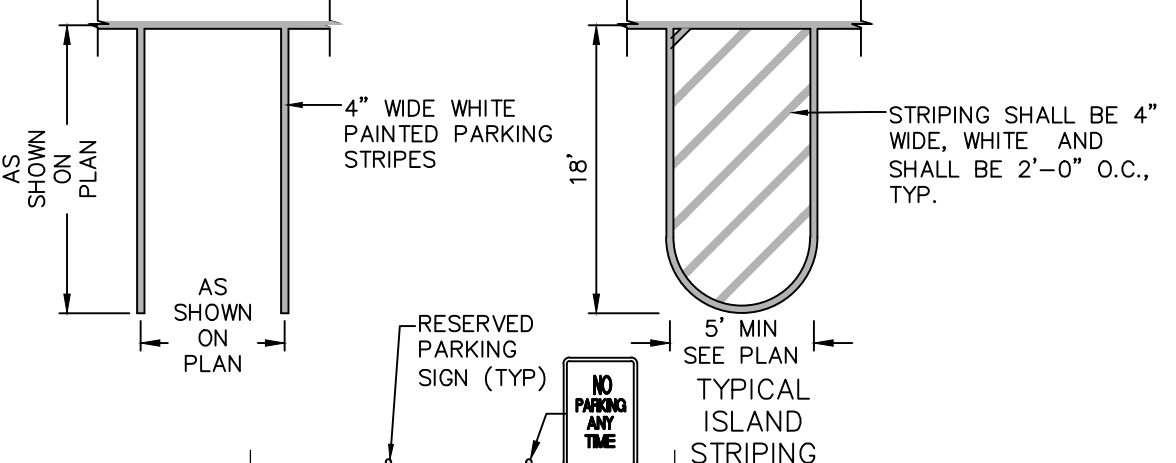
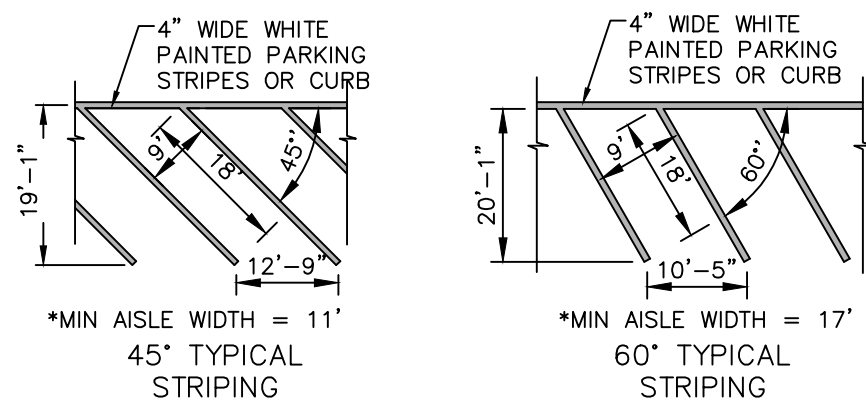
DATE: 12/17/2025

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SITE DETAILS

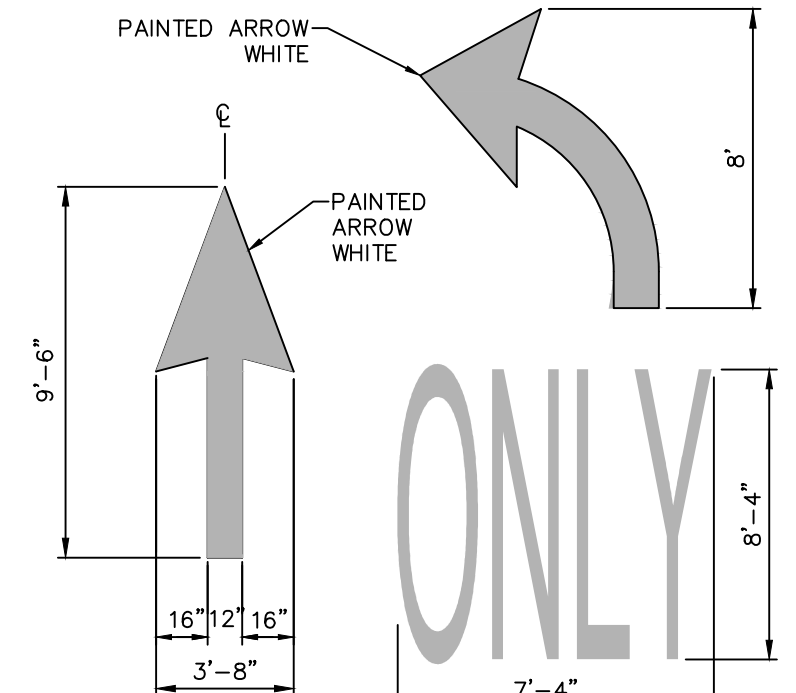
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C531

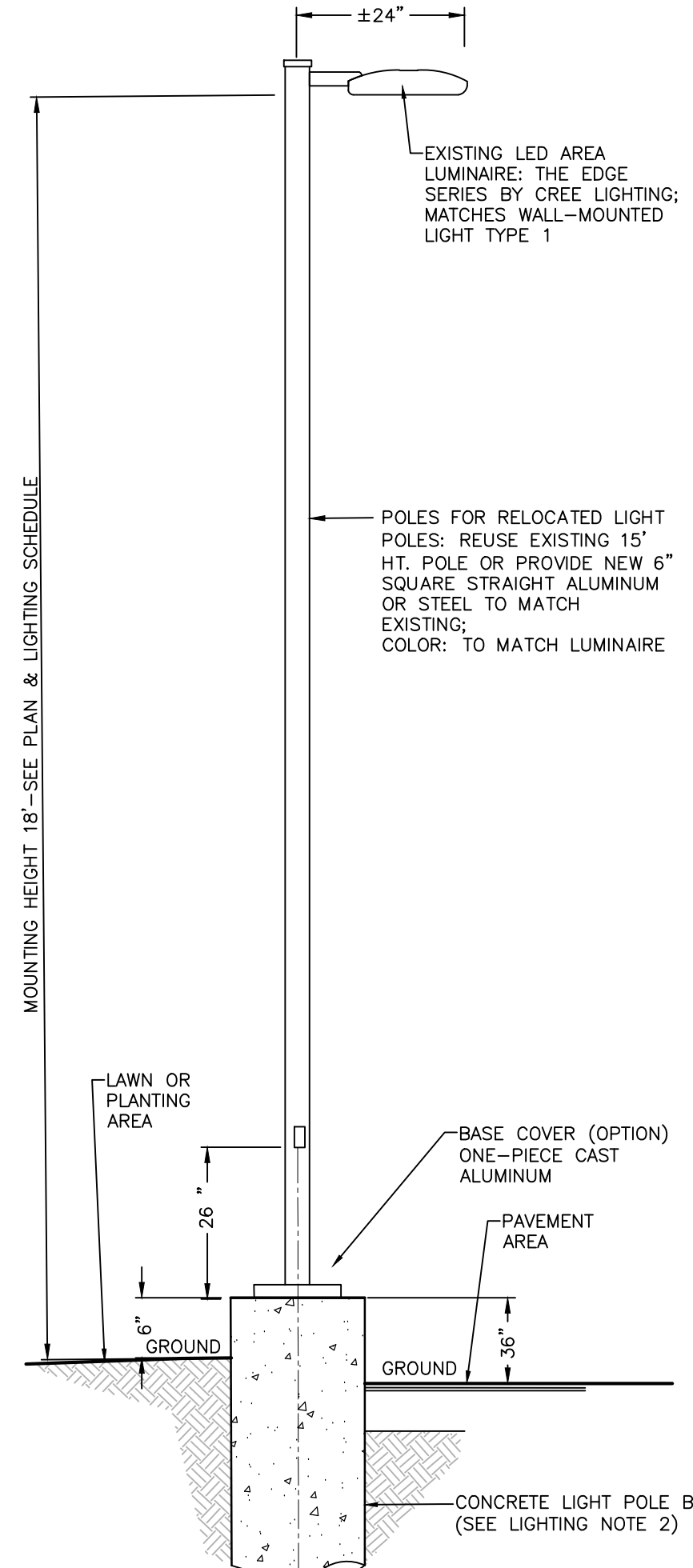


- NOTES:**
1. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARD AND CURRENT ZONING AND SITE REGULATIONS.
 2. PAINTED ACCESSIBLE LOGO TO BE IN ACCORDANCE W/ NEW YORK STATE LAW.
 3. SLOPE OF PAVEMENT SURFACE IN ACCESSIBLE PARKING AREA SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
 4. SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE

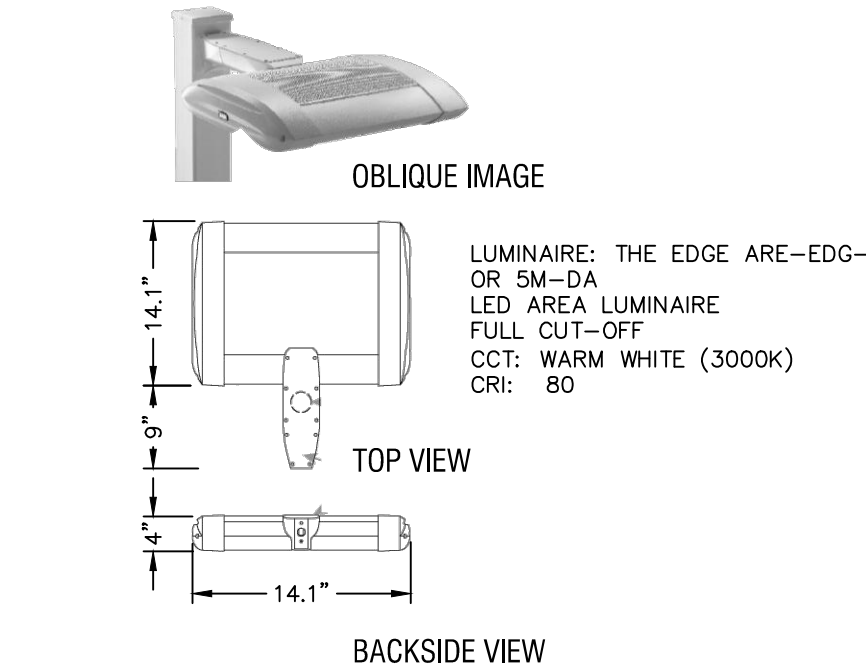
1 PAVEMENT MARKING DETAIL PARKING STRIPING
SCALE: NOT TO SCALE



2 PAVEMENT MARKING DETAIL DIRECTIONAL ARROW
SCALE: NOT TO SCALE

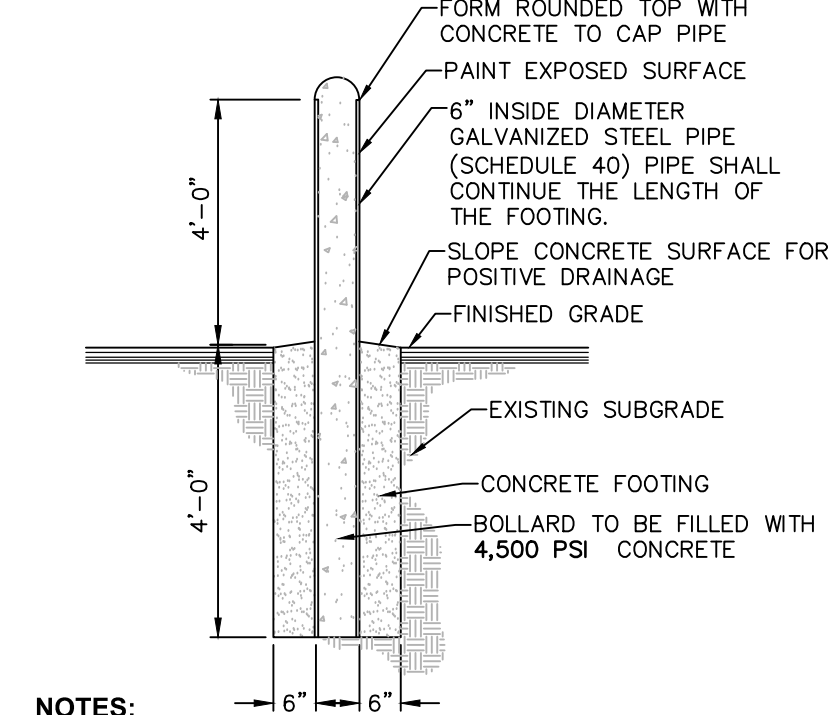


- NOTES:**
1. EXISTING LIGHT FIXTURES MANUFACTURED BY CREE LIGHTING INC., WWW.CREELIGHTING.COM
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 3. ALL EXCAVATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO 95% OF MAXIMUM MATERIAL DENSITY.
 4. ELECTRICAL POWER SUPPLY, WIRE, AND CONDUIT BY OTHERS.



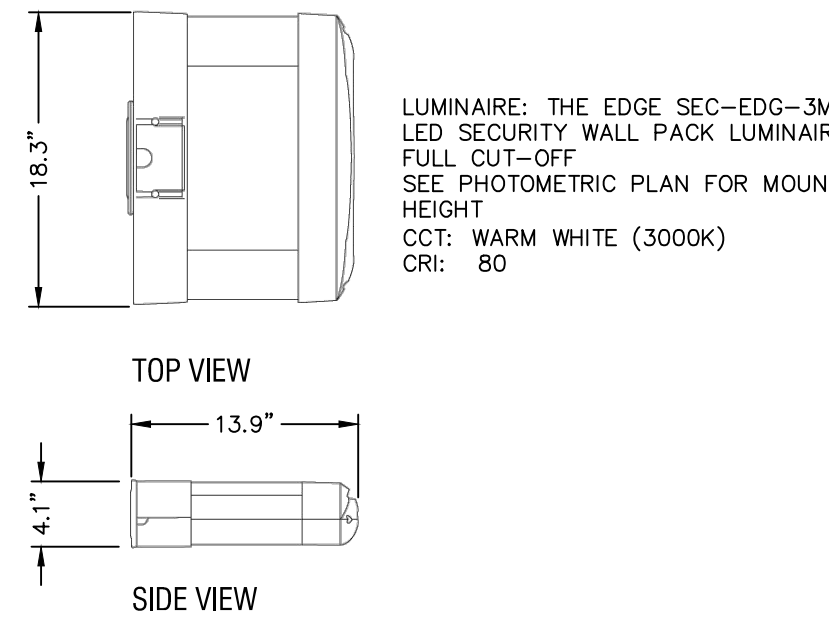
- NOTES:**
1. COORDINATE W/ OWNER FOR COLOR.
 2. DETECTABLE WARNING UNIT SHALL BE ADA COMPLIANT, AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 3. MATERIALS: UNIT SHALL BE 24-INCH DETECTABLE WARNING ADA PAVERS, DOME STRAIGHT ROW SPACING PATTERN ADA-2 OR ADA-3, ADA COMPLIANT WARNING PAVES AS MANUFACTURED BY WAUSAU TILE OR CAST IRON, CAST IN PLACE ADA COMPLIANT WARNING PLATE AS MANUFACTURED BY TUFFLE OR EQUAL.

3 RELOCATED EX. LIGHT POLE & EXISTING LIGHT FIXTURE DETAIL
SCALE: NOT TO SCALE



- NOTES:**
1. BOLLARD FINISH: PREPARE GALVANIZED COATING TO RECEIVE PAINTED FINISH. APPLY (1) COAT OF RUST INHIBITOR PRIMER. APPLY (2) COATS OF GLOSS ENAMEL (COLOR TO BE SELECTED BY THE OWNER).
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI @ 28 DAYS.
 3. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" (WITH A TOLERANCE OF 1").
 4. ALL CONCRETE SHALL HAVE A 5% ENTRAINED AIR (WITH A TOLERANCE OF 1%) CONFORMING WITH ASTM C260.

4 STEEL & CONCRETE BOLLARD DETAIL
SCALE: NOT TO SCALE

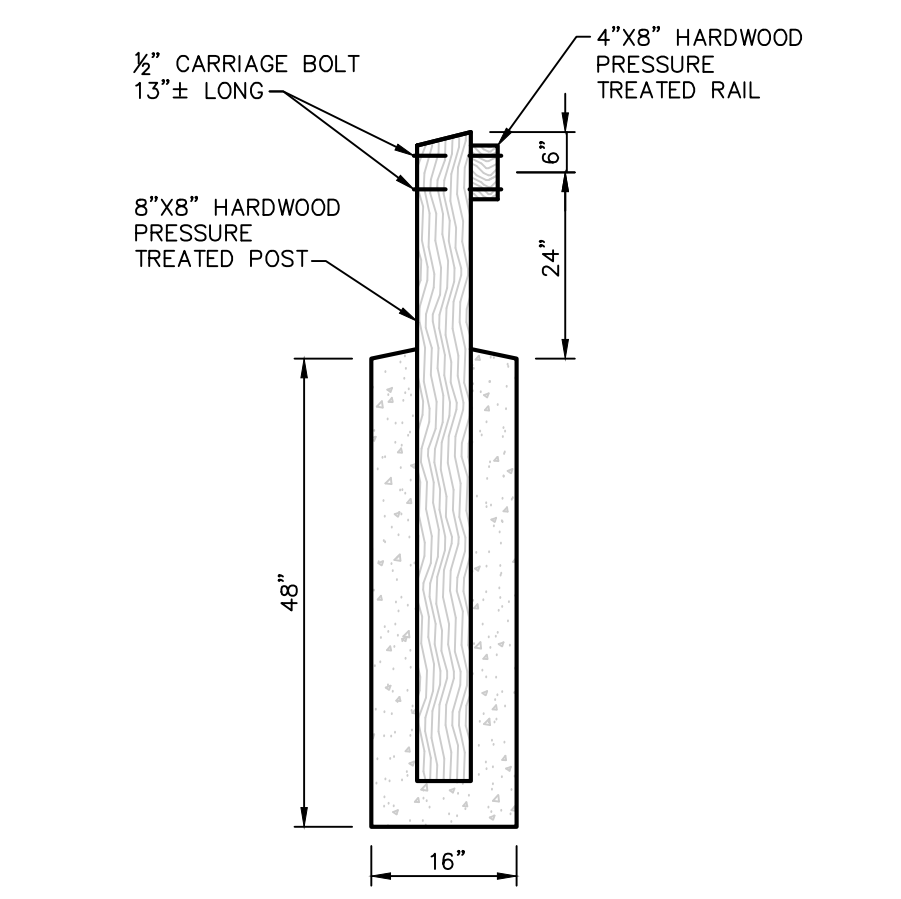


- NOTES:**
1. MANUFACTURED BY CREE LIGHTING, WWW.CREELIGHTING.COM; LUMINAIRE MATCHES EXISTING RELOCATED POLE-MOUNTED FIXTURES
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 3. ELECTRICAL POWER SUPPLY, WIRE, AND CONDUIT BY OTHERS.

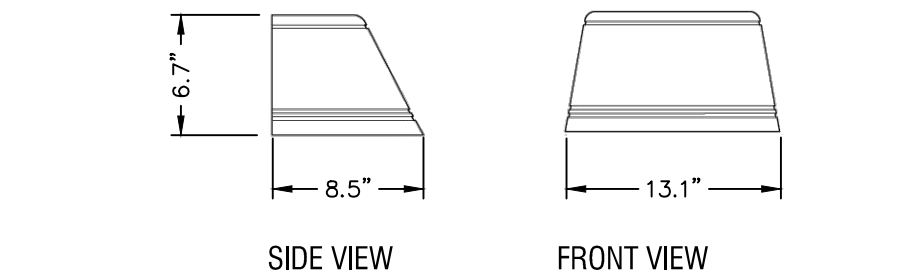
5 WALL-MOUNTED LIGHT FIXTURE - TYPE 1
SCALE: NOT TO SCALE

- STRIPING NOTES:**
1. ALL STRIPING SHALL CONFORM TO THE LATEST EDITION OF THE NYS DOT STANDARD SPECIFICATIONS, SECTION 640 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 2. STRIPE PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
 3. STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.
 4. COLOR: DRIVE LANE DIVIDERS - WHITE OR AOE; NO PARKING ZONE WARNINGS - WHITE OR AOE; PARKING DIVIDERS - WHITE OR AOE; WALKING LINES - WHITE OR AOE; ACCESSIBLE PARKING LINES & SYMBOL - BLUE

- SIGNAGE NOTES:**
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYS DOT STANDARD SPECIFICATIONS, SECTION 645 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 2. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
 3. SIGN POST SHALL BE IN ACCORDANCE W/ NYS DOT STANDARD SPECS SECTION 730.

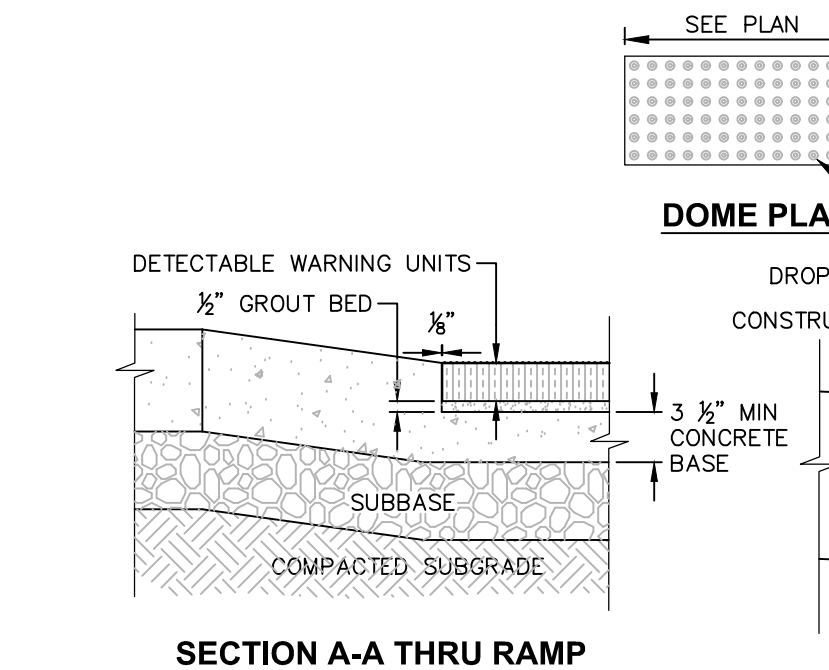


6 TIMBER GUIDERAIL SECTION
SCALE: NOT TO SCALE



- NOTES:**
1. LUMINAIRE: BEACON GEOPAK SERIES - TRAPEZOID WALL MOUNT LUMINAIRE, MODEL TRP1-4F-3K; CCT: 3000K; CRI: 80; FULL CUT-OFF FIXTURE; MANUFACTURED BY CURRENT LIGHTING, WWW.CURRENTLIGHTING.COM; LUMINAIRE MATCHES EXISTING RELOCATED POLE-MOUNTED FIXTURES; SEE PHOTOMETRIC PLAN FOR MOUNTING HEIGHT
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 3. ELECTRICAL POWER SUPPLY, WIRE, AND CONDUIT BY OTHERS.

7 WALL-MOUNTED LIGHT FIXTURE - TYPE 2
SCALE: NOT TO SCALE



- NOTES:**
1. COORDINATE W/ OWNER FOR COLOR.
 2. DETECTABLE WARNING UNIT SHALL BE ADA COMPLIANT, AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 3. MATERIALS: UNIT SHALL BE 24-INCH DETECTABLE WARNING ADA PAVERS, DOME STRAIGHT ROW SPACING PATTERN ADA-2 OR ADA-3, ADA COMPLIANT WARNING PAVES AS MANUFACTURED BY WAUSAU TILE OR CAST IRON, CAST IN PLACE ADA COMPLIANT WARNING PLATE AS MANUFACTURED BY TUFFLE OR EQUAL.

9 DETECTABLE WARNING UNITS FOR RAMPS
SCALE: NOT TO SCALE

NOT FOR CONSTRUCTION

CERTIFICATE OF AUTHORIZATION NUMBER:
PROFESSIONAL ENGINEERING: 0021272
LAND SURVEYING: 0021271
GEOLOGICAL: 0021659

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31954 HEMPSTEAD TPKE
LEVITTOWN, NY 11756

WAPPINGER SUBARU
BUILDING EXPANSION
1162 US RT. 9
WAPPINGERS FALLS, NY 12590
TOWN OF WAPPINGER
DUTCHESS COUNTY

NO.	DATE	REVISIONS
1	03/16/26	REVISED PER TOWN & DOH COMMENTS

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

DATE: 12/17/2025

DRAWING NAME:

STORM SEWER DETAILS

DRAWING NUMBER:

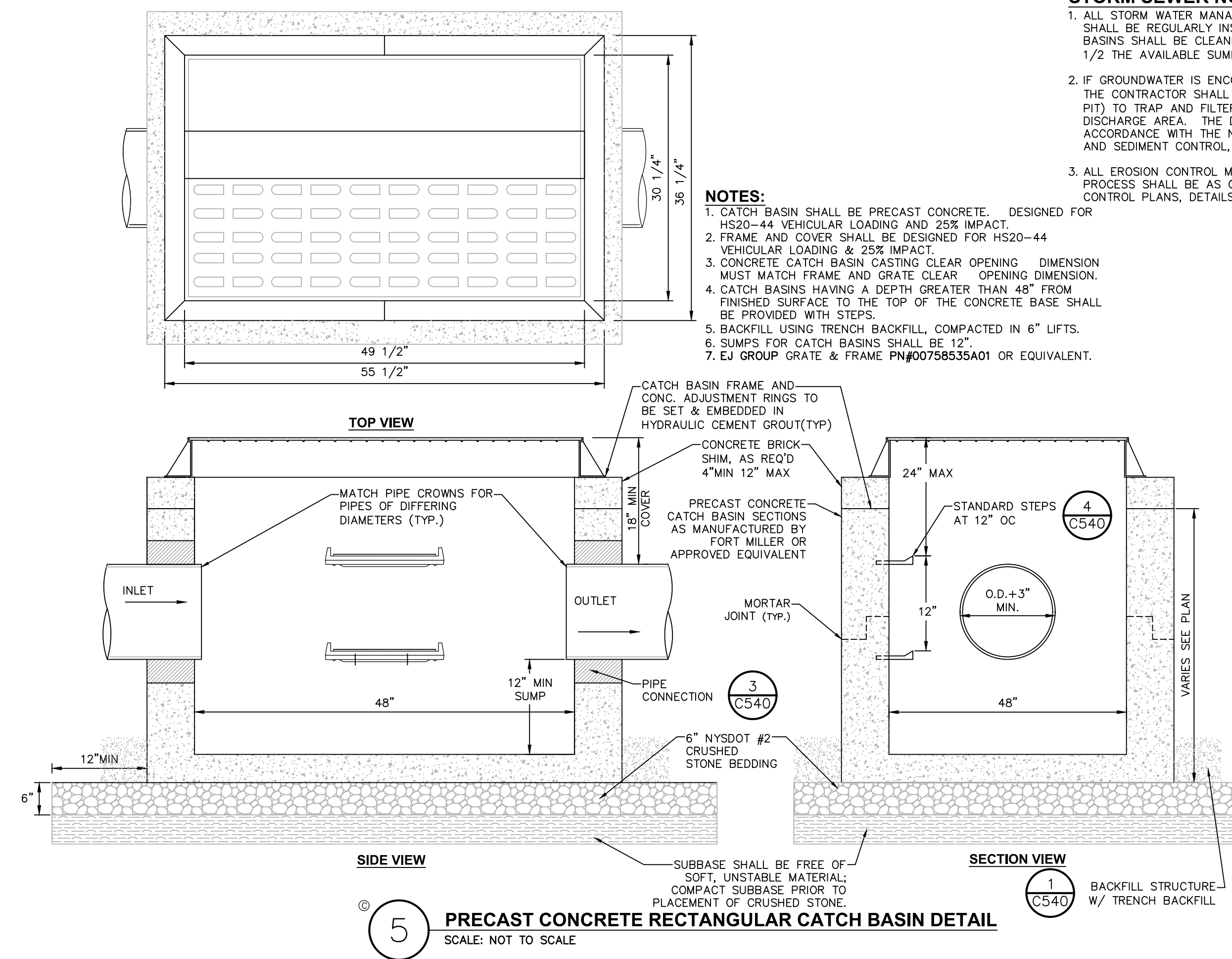
C540

STORM SEWER NOTES:

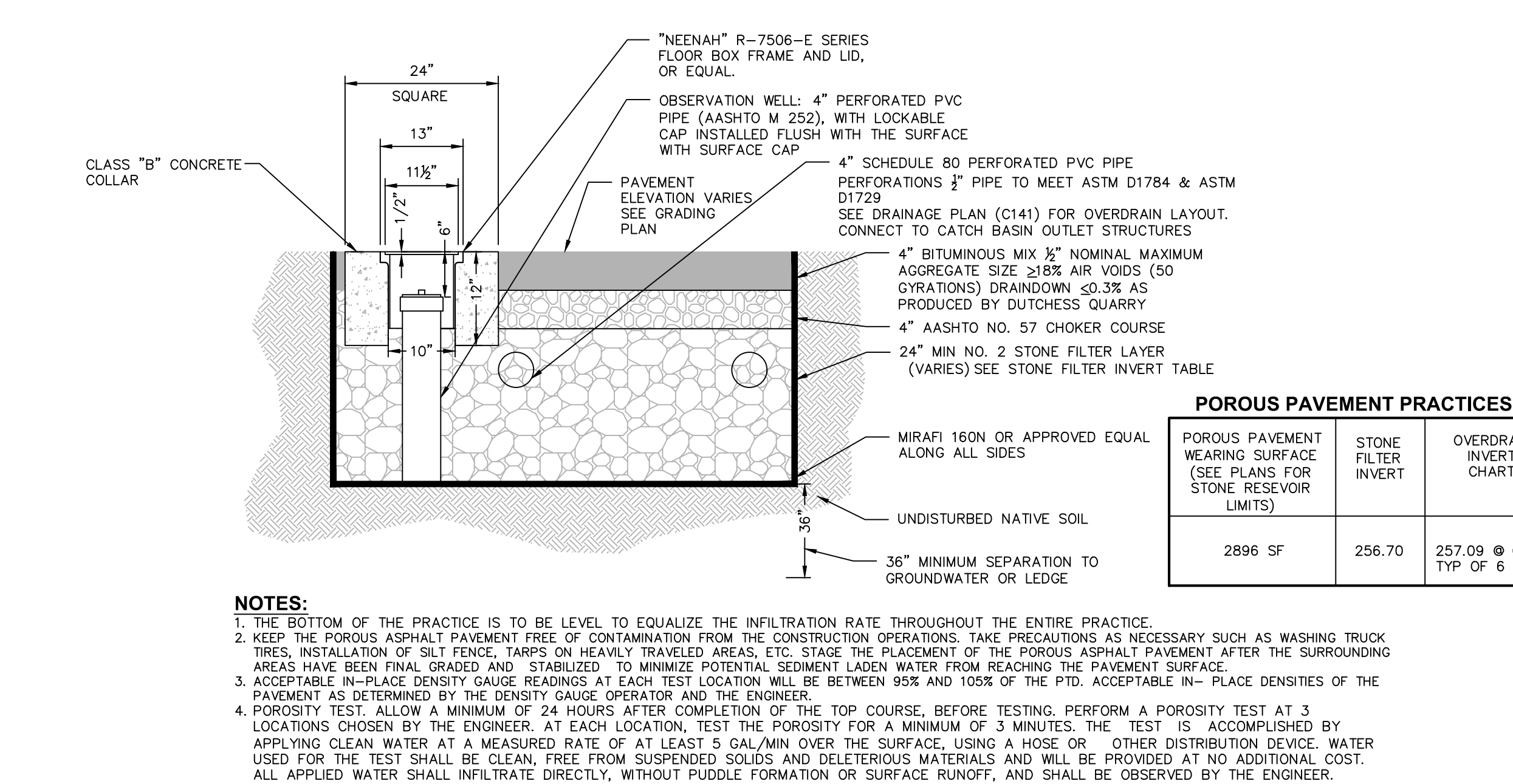
1. ALL STORM WATER MANAGEMENT STRUCTURES (I.E. CATCH BASIN, ETC.) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF 1/2 THE AVAILABLE SUMP DEPTH.
2. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT (A.K.A. SUMP PIT) TO TRAP AND FILTER WATER FOR PUMPING TO A SUITABLE DISCHARGE AREA. THE DEWATERING PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, LATEST EDITION.
3. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE AS OUTLINED ON THE EROSION AND SEDIMENT CONTROL PLANS, DETAILS AND NOTES.

NOTES:

1. CATCH BASIN SHALL BE PRECAST CONCRETE, DESIGNED FOR HS20-44 VEHICULAR LOADING AND 25% IMPACT.
2. FRAME AND COVER SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING & 25% IMPACT.
3. CONCRETE CATCH BASIN CASTING CLEAR OPENING DIMENSION MUST MATCH FRAME AND GRATE CLEAR OPENING DIMENSION.
4. CATCH BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE TOP OF THE CONCRETE BASE SHALL BE PROVIDED WITH STEPS.
5. BACKFILL USING TRENCH BACKFILL, COMPACTED IN 6" LIFTS.
6. SUMPS FOR CATCH BASINS SHALL BE 12".
7. EJ GROUP GRATE & FRAME PN#00758535A01 OR EQUIVALENT.

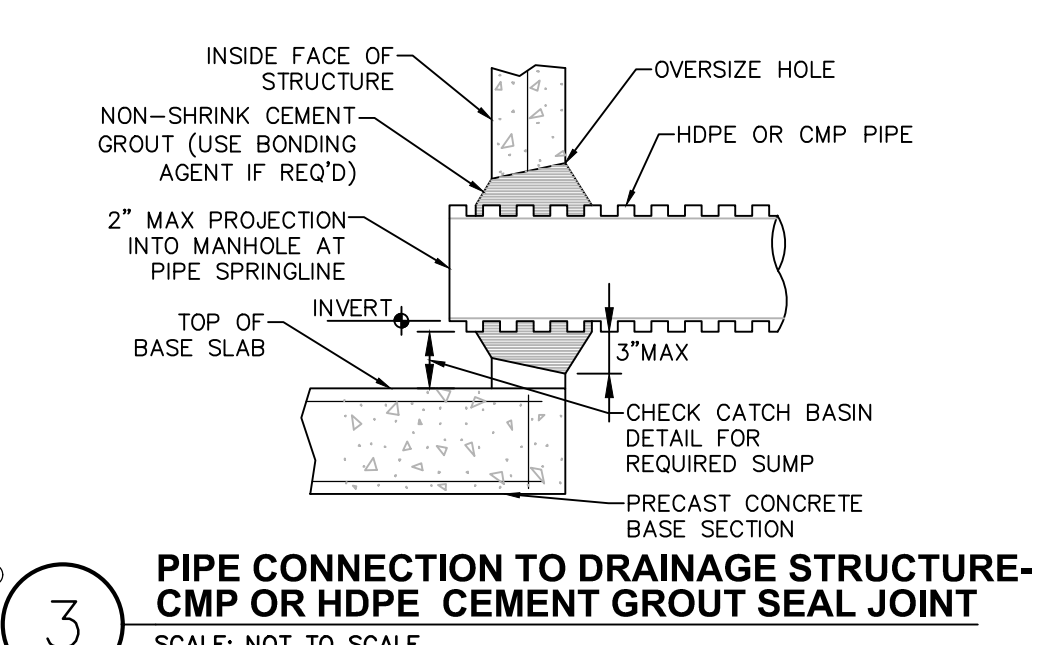


5 PRECAST CONCRETE RECTANGULAR CATCH BASIN DETAIL
SCALE: NOT TO SCALE

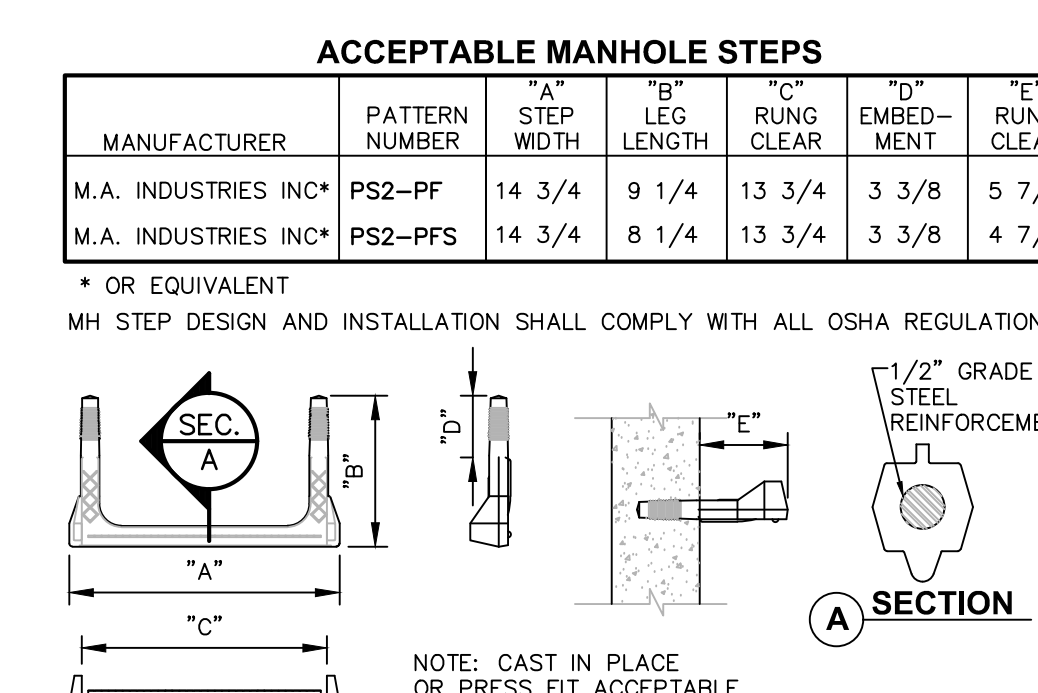


6 POROUS PAVEMENT CROSS SECTION
SCALE: NOT TO SCALE

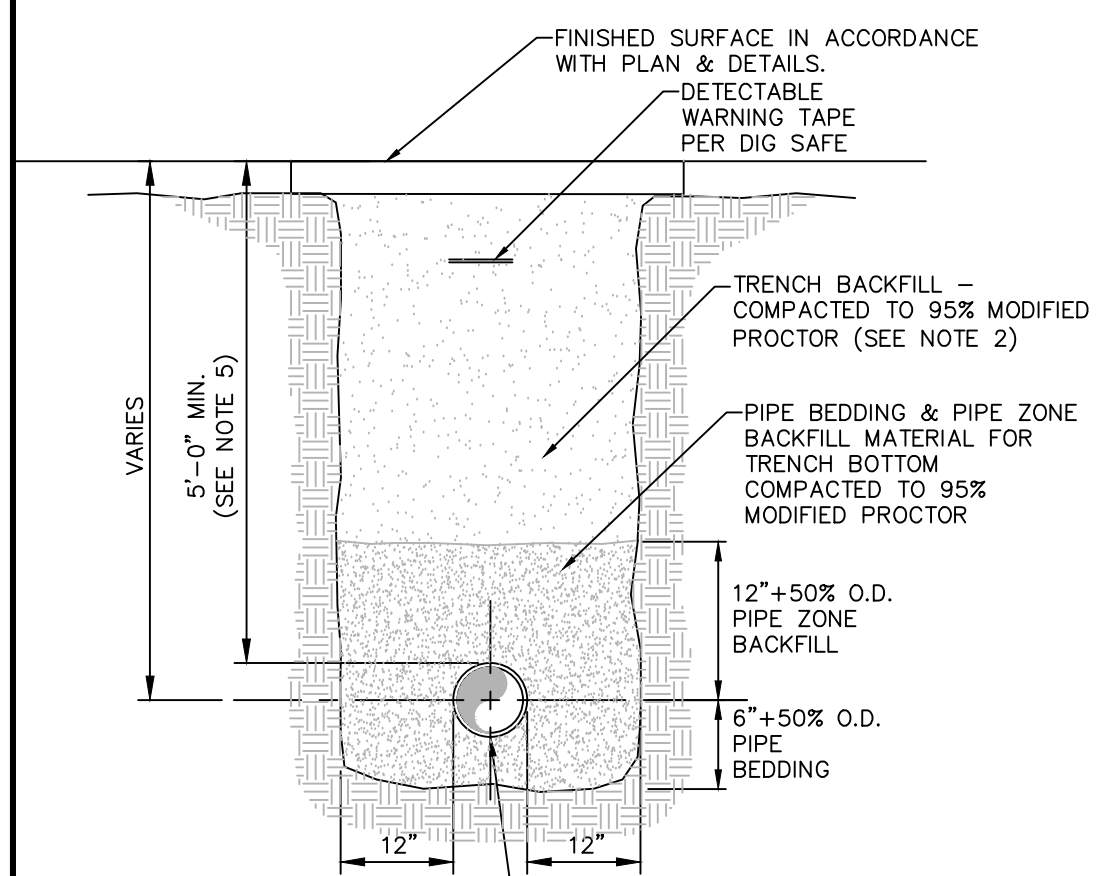
- NOTES:**
1. THE BOTTOM OF THE PRACTICE IS TO BE LEVEL TO EQUALIZE THE INFILTRATION RATE THROUGHOUT THE ENTIRE PRACTICE.
 2. KEEP THE POROUS ASPHALT PAVEMENT FREE OF CONTAMINATION FROM THE CONSTRUCTION OPERATIONS. TAKE PRECAUTIONS AS NECESSARY SUCH AS WASHING TRUCK TIRES, INSTALLATION OF SILT FENCE, TARPS ON HEAVILY TRAVELED AREAS, ETC. STAGE THE PLACEMENT OF THE POROUS ASPHALT PAVEMENT AFTER THE SURROUNDING AREAS HAVE BEEN FINAL GRADED AND STABILIZED TO MINIMIZE POTENTIAL SEDIMENT LADEN WATER FROM REACHING THE PAVEMENT SURFACE.
 3. ACCEPTABLE IN-PLACE DENSITY GAUGE READINGS AT EACH TEST LOCATION WILL BE BETWEEN 95% AND 105% OF THE PTD. ACCEPTABLE IN-PLACE DENSITIES OF THE PAVEMENT AS DETERMINED BY THE DENSITY GAUGE OPERATOR AND THE ENGINEER.
 4. POROSITY TEST: ALLOW A MINIMUM OF 24 HOURS AFTER COMPLETION OF THE TOP COURSE, BEFORE TESTING. PERFORM A POROSITY TEST AT 3 LOCATIONS CHOSEN BY THE ENGINEER. AT EACH LOCATION, TEST THE POROSITY FOR A MINIMUM OF 3 MINUTES. THE TEST IS ACCOMPLISHED BY APPLYING CLEAN WATER AT A MEASURED RATE OF AT LEAST 5 GAL/MIN OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE. WATER USED FOR THE TEST SHALL BE CLEAN, FREE FROM SUSPENDED SOLIDS AND DELETERIOUS MATERIALS AND WILL BE PROVIDED AT NO ADDITIONAL COST. ALL APPLIED WATER SHALL INFILTRATE DIRECTLY, WITHOUT PUDDLE FORMATION OR SURFACE RUNOFF, AND SHALL BE OBSERVED BY THE ENGINEER.



3 PIPE CONNECTION TO DRAINAGE STRUCTURE- CMP OR HDPE CEMENT GROUT SEAL JOINT
SCALE: NOT TO SCALE



4 COPOLYMER POLYPROPYLENE MH STEP
SCALE: NOT TO SCALE



1 PIPE TRENCH DETAIL (TYPICAL)
SCALE: NOT TO SCALE

- NOTES:**
1. PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

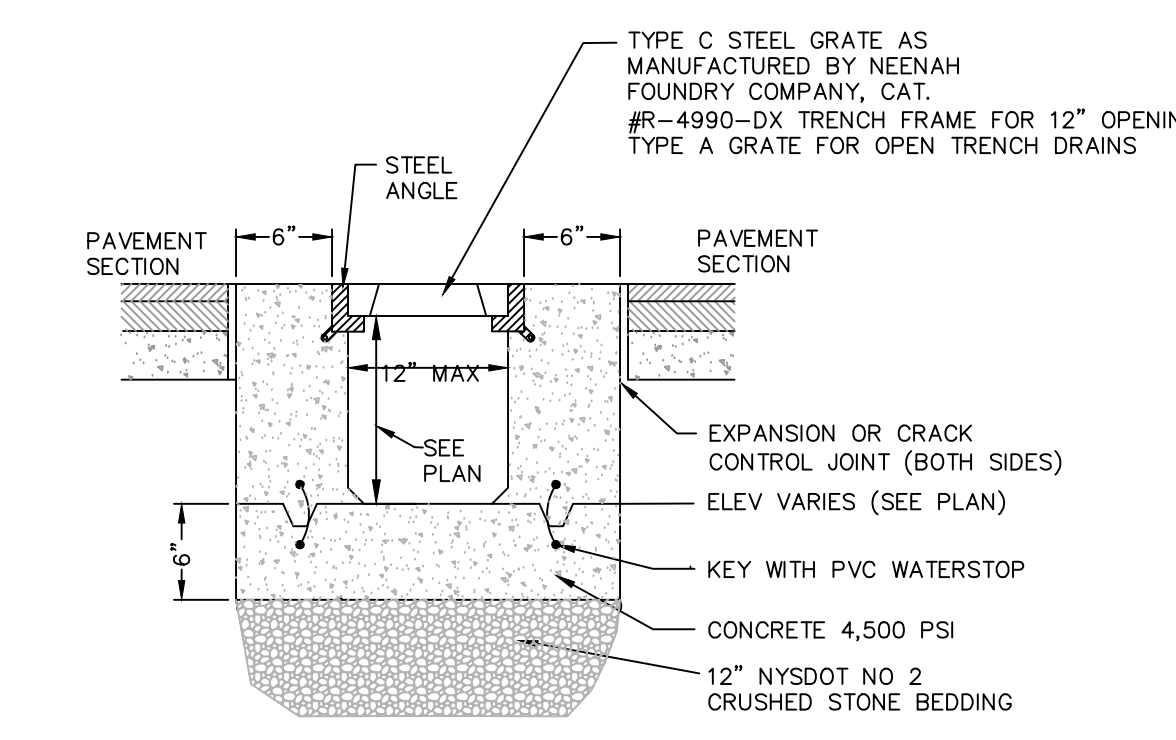
SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

2. TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

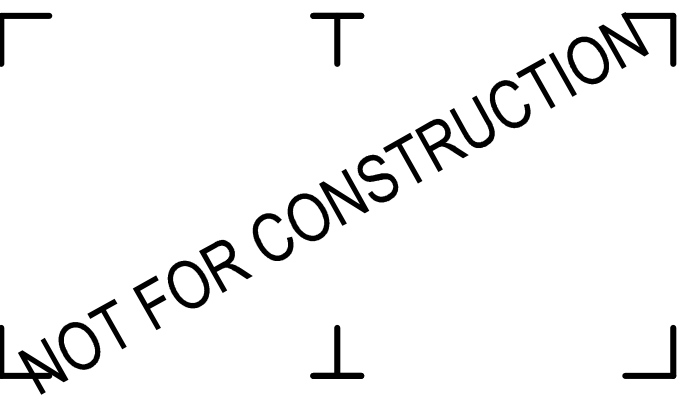
IN NON-TRAFFIC UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER AND COMPACTED TO 90% MODIFIED PROCTOR.

3. INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
4. TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.
5. 5'-0" MIN COVER SHALL BE APPLIED TO WATER MAIN OR SANITARY SEWER FORCE MAINS ONLY.



- NOTES:**
1. DEPTH OF TRENCH DRAINS VARY. SEE GRADING AND DRAINAGE PLAN FOR DIMENSIONS OF EACH INDIVIDUAL TRENCH DRAIN.
 2. ALL GRATES SHALL BE "BICYCLE SAFETY" APPROVED.
 3. PROVIDE HORIZONTAL OUTLET END PLATES AT DOWNSTREAM END OF EACH TRENCH DRAIN.

2 TRENCH DRAIN DETAIL
SCALE: NOT TO SCALE



1	03/16/26	REVISED PER TOWN & DOH COMMENTS
NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER: 2254625

DRAWN BY:

REVIEWED BY:

ISSUED FOR: PLANNING BOARD REVIEW

DATE: 12/17/2025

DRAWING NUMBER:

**EROSION & SEDIMENT
CONTROL DETAILS**

DRAWING NUMBER:

C551

CONSTRUCTION SEQUENCING NOTES:

- PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC. AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ENTRANCES, STORM DRAIN, SEDIMENT FILTERS, DRAINAGE DITCH, SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR TRIBUTARY AREAS.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE AREA OF THE STORMWATER MANAGEMENT FACILITIES. THIS AREA SHALL NOT EXCEED FIVE (5) ACRES IN EXTENT WITHOUT TEMPORARY STABILIZATION.
- THE STORMWATER DETENTION BASIN SHALL BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL THE OUTLET CONTROL STRUCTURES AND THE EARTHEN BERM. THE BASIN SHALL BE GRADED TO THE TOP OF THE AQUATIC BENCH AS INDICATED IN THE TYPICAL STORMWATER MANAGEMENT BASIN SECTION PRESENTED IN THE PROJECT DRAWINGS.
- PRIOR TO COMMENCING CLEARING, GRUBBING AND/OR EARTHWORK ACTIVITIES IN ANY OTHER AREA OF THE SITE, THE CONTRACTOR SHALL INSTALL INLET AND OUTLET PROTECTION MEASURES (RIPRAP OVERFLOW WEIR(S), CULVERT INLET/OUTLET PROTECTION, ETC.) AND SHALL STABILIZE THE AREAS DISTURBED DURING THE CONSTRUCTION OF THE SEDIMENT BASIN.
- THE CONTRACTOR SHALL INSTALL TEMPORARY DIVERSION MEASURES WITH ASSOCIATED STABILIZATION MEASURES (I.E., VEGETATIVE COVER, DRAINAGE DITCH SEDIMENT FILTERS, STORM DRAIN SEDIMENT FILTERS, ETC.) TO ASSURE THAT STORMWATER RUNOFF IS CONVEYED TO THE TEMPORARY SEDIMENT BASIN. TEMPORARY DIVERSION MEASURES SHALL BE LOCATED IN A MANNER THAT WILL ASSURE THAT THE AREA TRIBUTARY TO EACH DIVERSION DOES NOT EXCEED FIVE (5) ACRES. THESE TEMPORARY DIVERSION MEASURES SHALL BE INSPECTED DAILY AND REPAIRED/STABILIZED AS NECESSARY TO MINIMIZE EROSION.
- THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & GRADING OF THE PROPOSED AREA OF DISTURBANCE AS REQUIRED.
- INSTALL PROTECTIVE MEASURES AT THE LOCATIONS OF ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.
- CONSTRUCT ALL UTILITIES, CURB AND GUTTER, GUTTER INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIP-RAP AT LOCATIONS SHOWN ON THE PLANS.
- FINALIZE PAVEMENT SUB-GRADE PREPARATION.
- REMOVE PROTECTIVE MEASURES AROUND INLETS AND MANHOLES NO MORE THAN 24 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
- INSTALL SUB-BASE MATERIAL AS REQUIRED FOR PAVEMENT.
- PRIOR TO FINALIZING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, ALL CATCH BASINS AND DRAINAGE LINES SHALL BE CLEANED OF ALL SILT AND SEDIMENT.
- UPON COMPLETION OF SITE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL FINALIZE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY. CONTRACTOR SHALL FINISH GRADE THE FORBAY(S), AQUATIC BENCHES, AND WET POOL(S) AND STABILIZE AS INDICATED IN THE PROJECT DRAWINGS.
- THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

EROSION AND SEDIMENT CONTROL MEASURES:

- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.

**MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:
PERMANENT AND TEMPORARY VEGETATION:**

INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:

INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.

SILT FENCE:

INSPECT FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE:

INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:

SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

EROSION CONTROL BLANKET:

INSPECT THE BLANKET EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. REPLACE WIRE STAPLES AS REQUIRED. REPAIR AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.

STORM DRAIN INLET PROTECTION:

INSPECT ALL STORM DRAIN INLET PROTECTION DEVICES EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT FROM THE POOL AREA AS NECESSARY.

SNOW AND ICE CONTROL:

PARKING LOTS, ROADWAYS, AND DRIVEWAYS ADJACENT TO WATER QUALITY FILTERS SHALL NOT BE SANDED DURING SNOW EVENTS DUE TO HIGH POTENTIAL FOR CLOGGING FROM SAND IN SURFACE WATER RUNOFF. USE SALT ONLY FOR SNOW AND ICE CONTROL.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
- EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILES.
- APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
- SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

TOPSOIL SPECIFICATIONS:

- EXISTING EXCESS TOPSOIL SHALL BE REMOVED AND STORED IN TOPSOIL STOCKPILES SUFFICIENTLY REMOVED FROM OTHER EXCAVATION OR DISTURBANCE TO AVOID MIXING. SILT FENCE SHALL BE INSTALLED AROUND TOPSOIL STOCKPILE AREAS.

SITE PREPARATION:

- COMPLETE ROUGH GRADING AND FINAL GRADE, ALLOWING FOR DEPTH OF TOPSOIL TO BE ADDED.
- SCARIFY ALL COMPACT, SLOWLY PERMEABLE, MEDIUM AND FINE TEXTURED SUBSOIL AREAS. SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%.
- REMOVE REFUSE, WOODY PLANT PARTS, STONES OVER 3 INCHES IN DIAMETER, AND OTHER LITTER.

TOPSOIL MATERIALS:

- NEW TOPSOIL SHALL BE BETTER THAN OR EQUAL TO THE QUALITY OF THE EXISTING ADJACENT TOPSOIL. IT SHALL MEET THE FOLLOWING CRITERIA:
 - ORIGINAL LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
 - CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
 - CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
 - CONTAINING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1	100
1/4"	97-100
NO 200	20-60

APPLICATION AND GRADING:

- TOPSOIL SHALL BE DISTRIBUTED TO A UNIFORM DEPTH OF 4" OVER THE AREA. IT SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, OR ON FROZEN SLOPES OR OVER ICE, SNOW, OR STANDING WATER.
- TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEEDED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.

VEGETATIVE COVER SPECIFICATIONS:

TEMPORARY VEGETATIVE COVER (DURING CONSTRUCTION):

- SITE PREPARATION (SAME AS PERMANENT VEGETATIVE COVER)
- SEED MIX: (APPLY AT RATE OF 3 TO 4 LBS PER 1000 SF)

AMOUNT BY:	MINIMUM %		
HEIGHT	PURITY		
100%	ANNUAL RYEGRASS	98%	90%
90%	SEEDING	98%	90%
- SEEDING (SAME AS PERMANENT VEGETATIVE COVER)

PERMANENT VEGETATIVE COVER (AFTER CONSTRUCTION):

- SITE PREPARATION
 - BRING AREA TO BE SEEDED TO REQUIRED GRADE. A MINIMUM OF 4" OF TOPSOIL IS REQUIRED.
 - PREPARE SEEDBED BY LOOSENING SOIL TO A DEPTH OF 4 INCHES.
 - REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS AND FOREIGN MATTER FROM THE SURFACE.
 - LIME TO PH OF 6.5.
 - FERTILIZER: USE 5-10-5 (NPK) OR EQUIVALENT. APPLY AT RATE OF 4 LBS/1000 SF.
 - INCORPORATE LIME AND FERTILIZER IN THE TOP 4 INCHES OF TOPSOIL.
 - SMOOTH AND FIRM THE SEEDBED.
- SEED MIXTURE FOR USE ON LAWN AREAS: PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS.

LAWN SEED MIX: (APPLY AT RATE OF 5 TO 6 LBS PER 1000 SF)

SUN AND PARTIAL SHADE:

AMOUNT BY:	MINIMUM %		
WEIGHT SPECIES OR VARIETY	PURITY GERMINATION		
50%	KENTUCKY BLUE GRASS*	95%	80%
20%	PERENNIAL RYE	98%	90%
30%	CREeping RED FESCUE	97%	85%
100%			

AMOUNT BY:	MINIMUM %		
WEIGHT SPECIES OR VARIETY	PURITY GERMINATION		
25%	KENTUCKY BLUE GRASS**	95%	80%
20%	PERENNIAL RYE	98%	90%
35%	CREeping RED FESCUE	97%	85%
20%	CHEWINGS RED FESCUE	97%	85%

**SHADE TOLERANT VARIETY

- SEEDING
 - APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT RATE INDICATED.
 - ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
 - A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS /ACRE MIN., TO BE APPLIED ONCE SEEDING IS COMPLETE.
 - WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY HYDROSEEDER AT RATE OF 2,000 LBS/ACRE.
 - ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
 - IRRIGATE TO FULLY SATURATE SOIL LAYER, BUT NOT TO DISLODGE PLANTING SOIL.
 - UNLESS OTHERWISE DIRECTED IN WRITING, SEED FROM MARCH 15TH TO JUNE 15TH, AND FROM AUGUST 15TH TO OCTOBER 15TH.

COMPACTION REQUIREMENTS

LOCATION	COMPACTION	TESTING FREQUENCY
PIPE TRENCH BACKFILL (IN PAVED AREAS)	95% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 FT OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTION TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE TRENCH BACKFILL (IN UNPAVED AREAS)	90% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 LF OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTION TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE BEDDING AND PIPE ZONE BACKFILL	95% ASTM D1557	1 TEST FOR EACH 150 FT OR LESS OF TRENCH LENGTH.
PAVEMENT SUBBASE AND LAST LIFT OF SELECT GRANULAR FILL (FILL BETWEEN SHEET PILES)	95% ASTM D1557	1 TEST FOR EVERY 2,000 SQ FT. OF LIFT AREA BUT NO FEWER THAN TWO TESTS PER LIFT