

- 1) ALL WINDOW SIZES CALLED OUT ON FLOOR PLANS ARE "ANDERSEN UNIT NUMBERS", IF "ANDERSEN" WINDOWS ARE NOT USED, A WINDOW OF EQUAL TYPE AND UNIT DIMENSION IS TO BE USED
- 2) ALL GLAZING TO BE DOUBLE INSULATED
- 3) ALL GLAZING TO BE "HIGH-PERFORMANCE, DUAL-PANE" GLASS WITH A U-FACTOR OF U=0.27, OR LESS
- 4) ALL GLAZING WITHIN 18" OF FINISHED FLOOR TO BE TEMPERED

ALL OPERABLE WINDOWS THAT HAVE A SILL HEIGHT OF LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE MUST BE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090

LIGHT AND VENT REQUIREMENTS					
ROOM	SQ. FT.	LIGHT REQ'D	LIGHT ACTUAL	VENT REQ'D	VENT ACTUAL
MASTER BED.	211	16.88	20.62	8.44	11.46

SQUARE FOOTAGE:	
1st FLOOR:	1184
2nd FLOOR:	1587
TOTAL:	2771
GARAGE:	632

WINDOW	SQ.FT. CLEAR	WIDTH CLEAR	HEIGHT CLEAR
TW31046	5.7	33 7/8"	24 1/4"



SCALE: $1/4" = 1'-0"$

TABLE R301.2(1) CLIMATE AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLYMT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
40	115 MPH	NO	YES	NO	B	SEVERE	42"	MOD.-HEAVY	-1	YES	MAY 2, 2012	1500	47.4

TAG/UNIT#	NO.	TYPE	MANUF.	U-FACTOR	ROUGH OPENING	MEETS EGRESS REQUIREMENTS	TEMPERED GLASS
DOUBLE 3/0 X 6/8 DOOR	1	SIDE HINGED SWINGING 15 LIGHT	THERMATRU	0.23	T.B.D.	YES	YES
3/0 X 6/8 W/ (2) SIDELIGHTS	1	SIDE HINGED SWINGING DOOR	THERMATRU	0.23	T.B.D.	YES	YES
TW24410	3	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	2'-6 1/8" X 5'-0 7/8"	NO	NO
TW2632	1	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	2'-8 1/8" X 3'-4 7/8"	NO	NO
FWG6068	1	FRENCHWOOD GLIDING PATIO DOOR	ANDERSON 400 SERIES	0.27	6'-0" X 6'-8"	YES	YES
TW210410-DHP42410-TW210410	1	DH-PICT-DH	ANDERSON 400 SERIES	0.27	T.B.D. X 5'-0 7/8"	YES	NO
TW24310	3	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	2'-6 1/8" X 4'-0 7/8"	NO	NO
2/8 X 6/8	1	S.C.F.D. 20 MIN. RATED	T.B.D.	0.14	32" X 80" *UNIT SIZE	NO	NO
TW30410	2	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	3'-2 1/8" X 5'-0 7/8"	YES	NO
SE3145	1	SPECIALTY WINDOW	ANDERSON 400 SERIES	0.27	3'-2" X 4'-11 9/16"	NO	NO
TW1832	2	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	1'-10 1/8" X 3'-4 7/8"	NO	NO
AR41	1	AWNING	ANDERSON 400 SERIES	0.27	4'-0 1/2" X 1'-5 1/2"	NO	NO
TW3046	2	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	3'-2 1/8" X 4'-8 7/8"	YES	NO
(2) TW3046	3	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	T.B.D. X 4'-8 7/8"	YES	NO
TW24310	1	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	2'-6 1/8" X 4'-0 7/8"	NO	YES
TW20310	2	DOUBLE HUNG	ANDERSON 400 SERIES	0.27	2'-2 1/8" X 4'-0 7/8"	NO	NO

		Brian J. Stokosa, PE
	05-27-26	
	05-21-26	
	05-11-26	
Revisions	04-30-26	
Project No:	2026-123	License No. 083970

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

New Residence For:
Mid Hudson Dev.

SCALE	DRAWN BY	DRAWING No.
$\frac{1}{4}" = 1'-0"$	S.M.M.	
DATE	CHECKED BY	E1
04-27-26	B.J.S.	

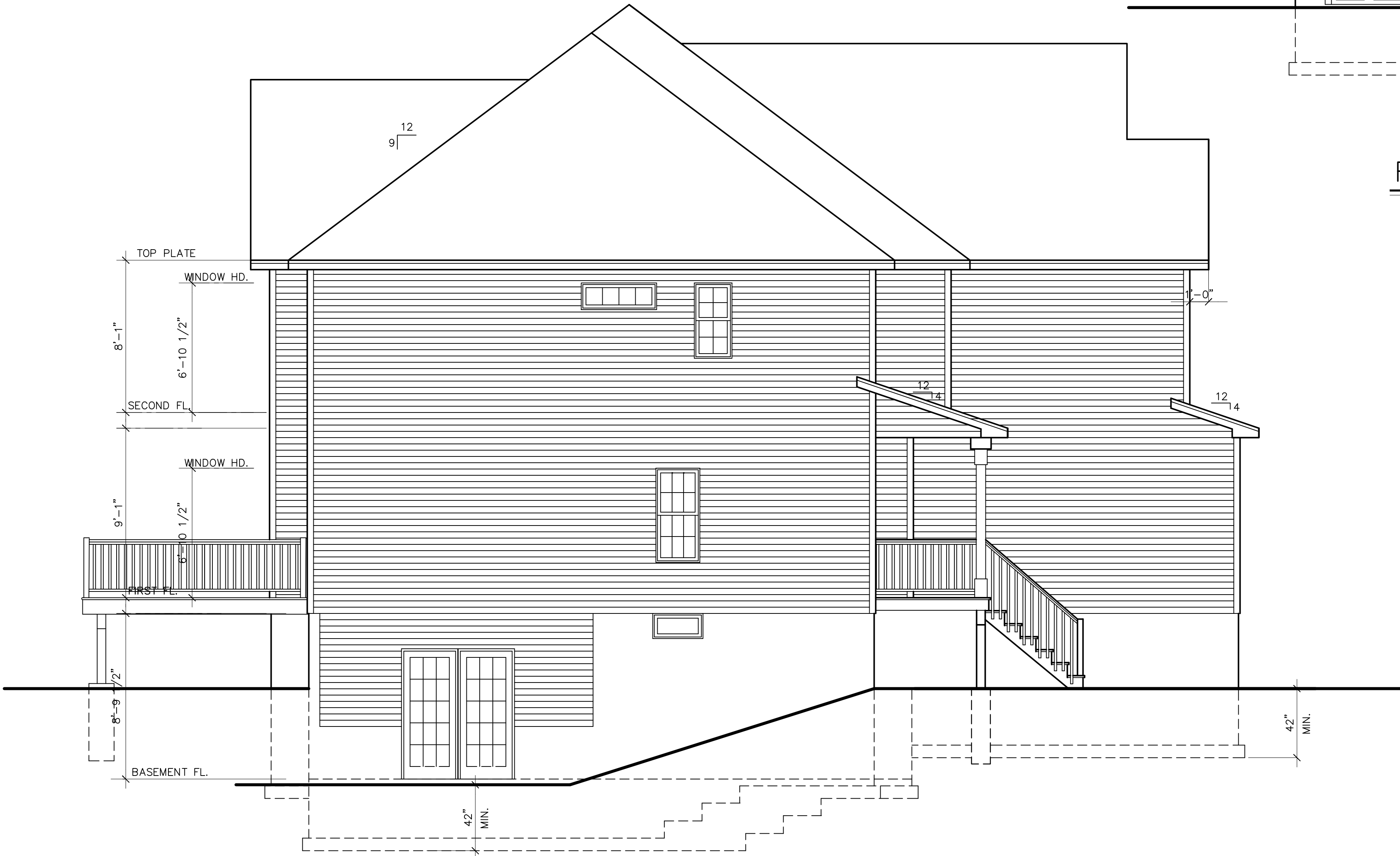
RAILING & STAIR NOTES:

RAILINGS ON FRONT PORCH, IF REQUIRED, ARE NOT SHOWN ON FRONT ELEVATION.

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF AT LEAST 4" AND NOT MORE THAN 6 1/4".

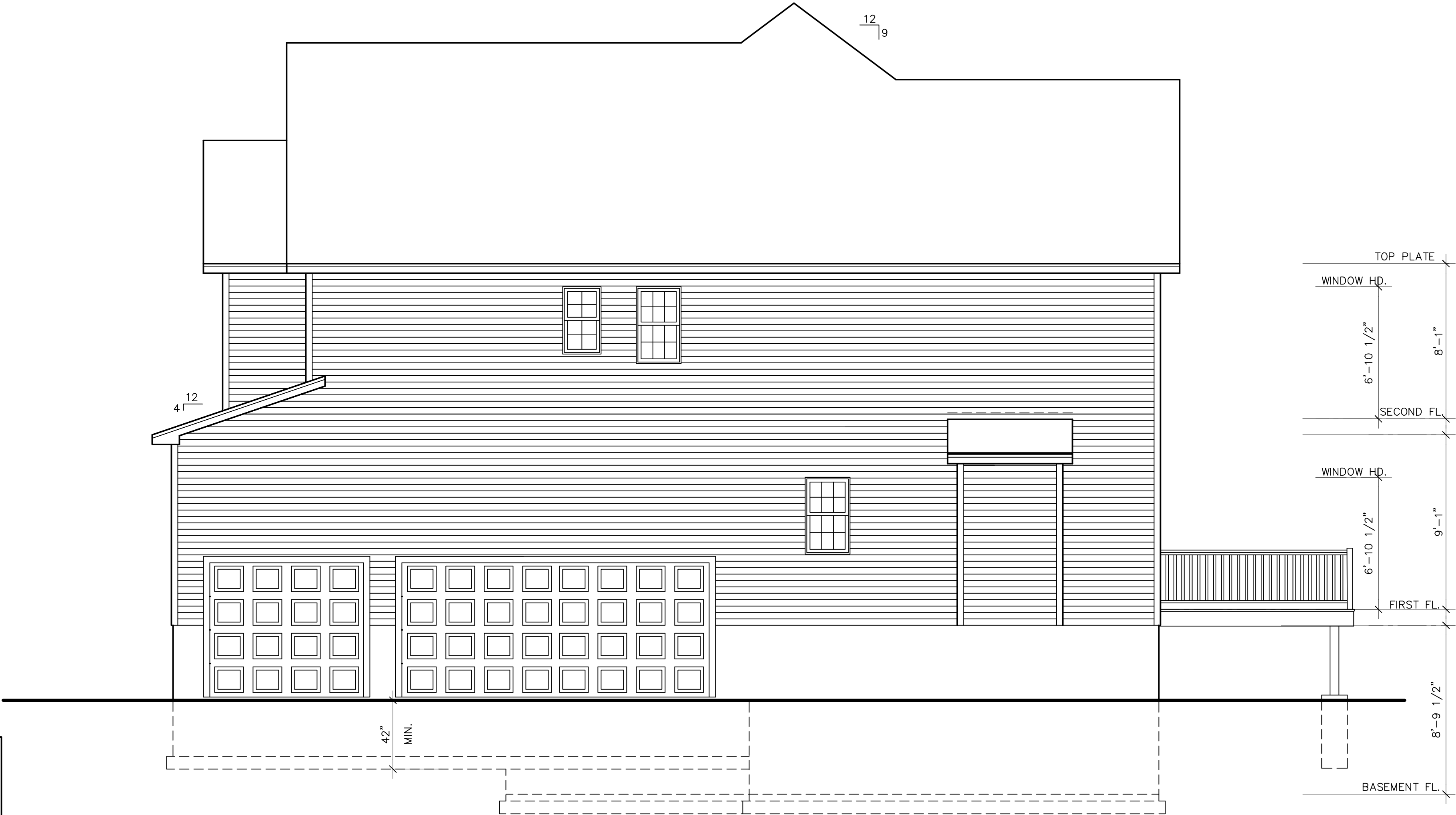
PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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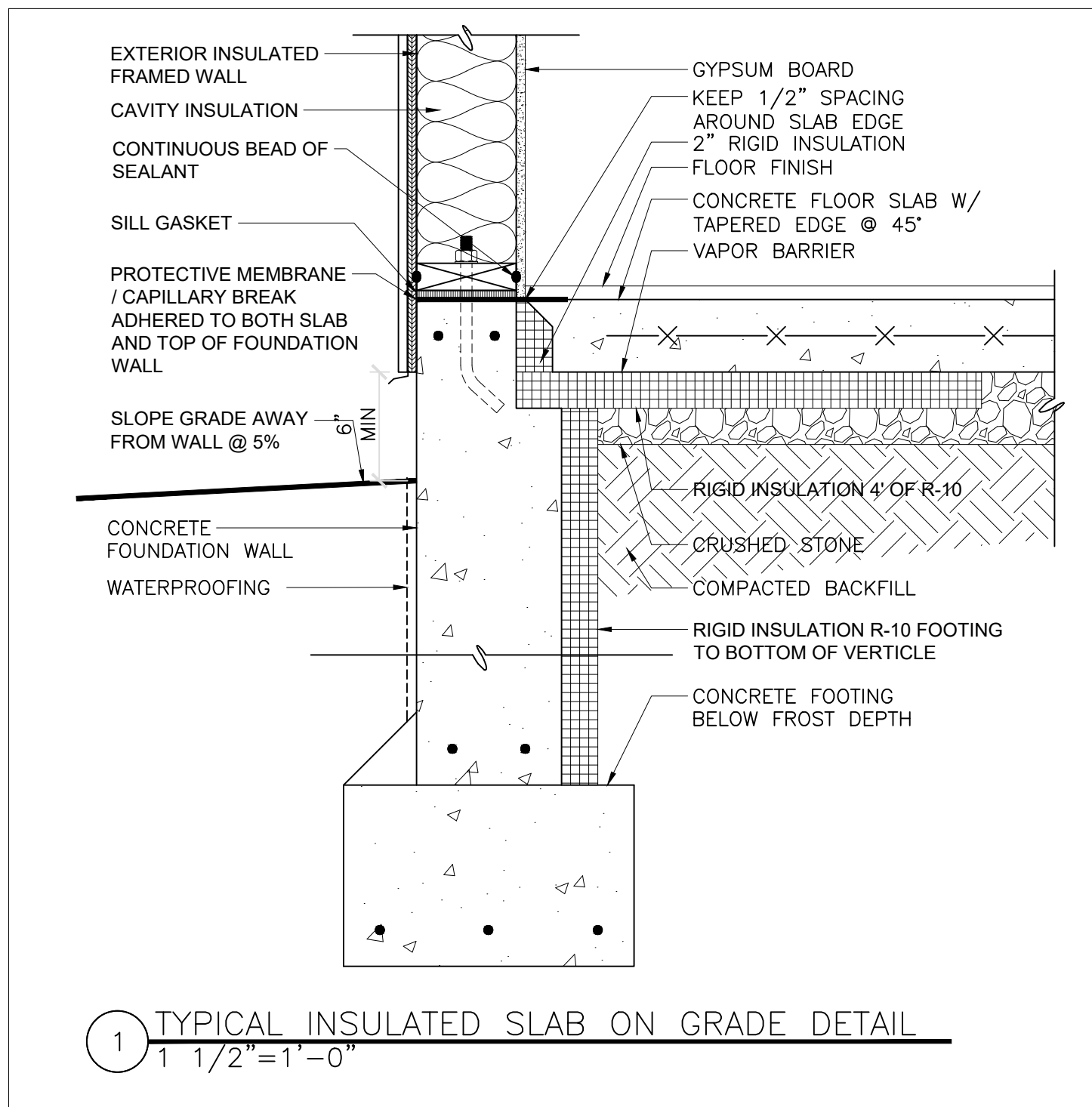
DAY | STOKOSA
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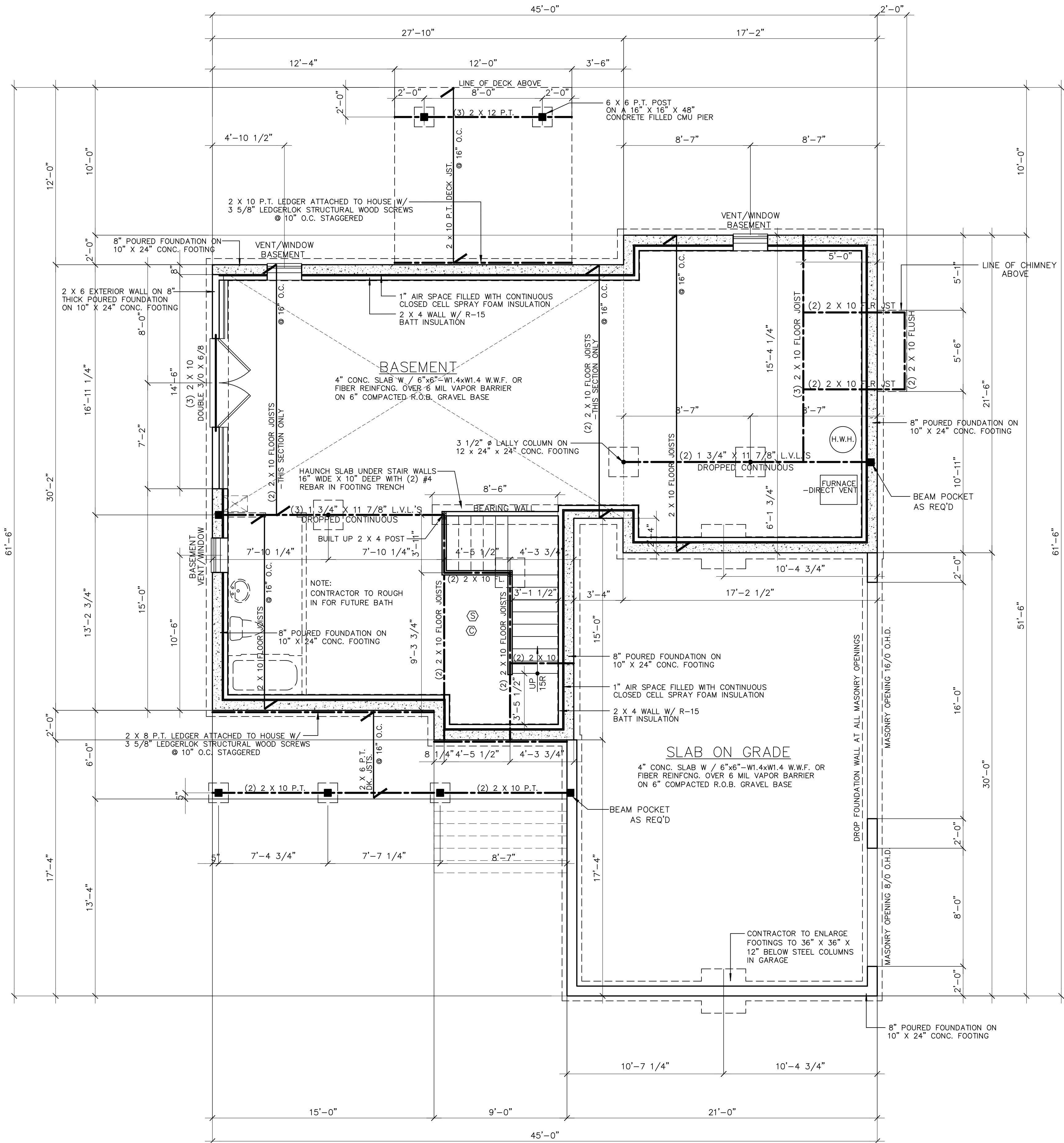
PROJECT
Old Hopewell Road
Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev.

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	E3
DATE 04-27-26	CHECKED BY B.J.S.	



CONTRACTOR TO INSTALL 4FT. OF R-10 RIGID FOAM INSULATION WHICH IS TO BE INSTALLED FOR THE EXTERIOR PERIMETER OF THE POSSIBLE FUTURE FINISHED SPACE IN THE BASEMENT WHERE THE FLOOR SURFACE IS LESS THAN 12" BELOW GRADE



BASEMENT PLAN

- ⑤ INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
⑥ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19

SCALE: 1/4" = 1'-0"

NOTES:

ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS
ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS

DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS OTHERWISE NOTED ON PLAN.

ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND A MODULUS OF ELASTICITY OF 1600000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN.

ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS AND HEADERS, LABELED ON PLAN, TO HAVE A Fb RATING OF 2950 AND A MODULUS OF ELASTICITY OF 2,000,000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

CUTS, NOTCHES & HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS.

FOR LOAD-BEARING PARTITIONS INSTALL DOUBLE JAMB STUDS UNDER HEADER FOR OPENINGS 6' AND LESS IN WIDTH. TRIPLE JAMB STUDS FOR WIDER OPENINGS. FOR NON-BEARING PARTITIONS INSTALL ONE JAMB STUD FOR OPENINGS LESS THAN 4' IN WIDTH AND DOUBLE JAMS STUDS FOR WIDER OPENINGS.

CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WHERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

ALL JOISTS TO OVER LAP GIRDER OR BEARING WALL A MINIMUM OF 3'

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

INSTALL 2 X 6 COLLAR TIES AT 32" O.C. COLLAR TIES TO BE LOCATED DOWN FROM THE MAIN RIDGE A MINIMUM OF 1/3RD OF THE TOTAL HEIGHT BETWEEN THE CEILING JOISTS AND THE TOP OF THE MAIN RIDGE.

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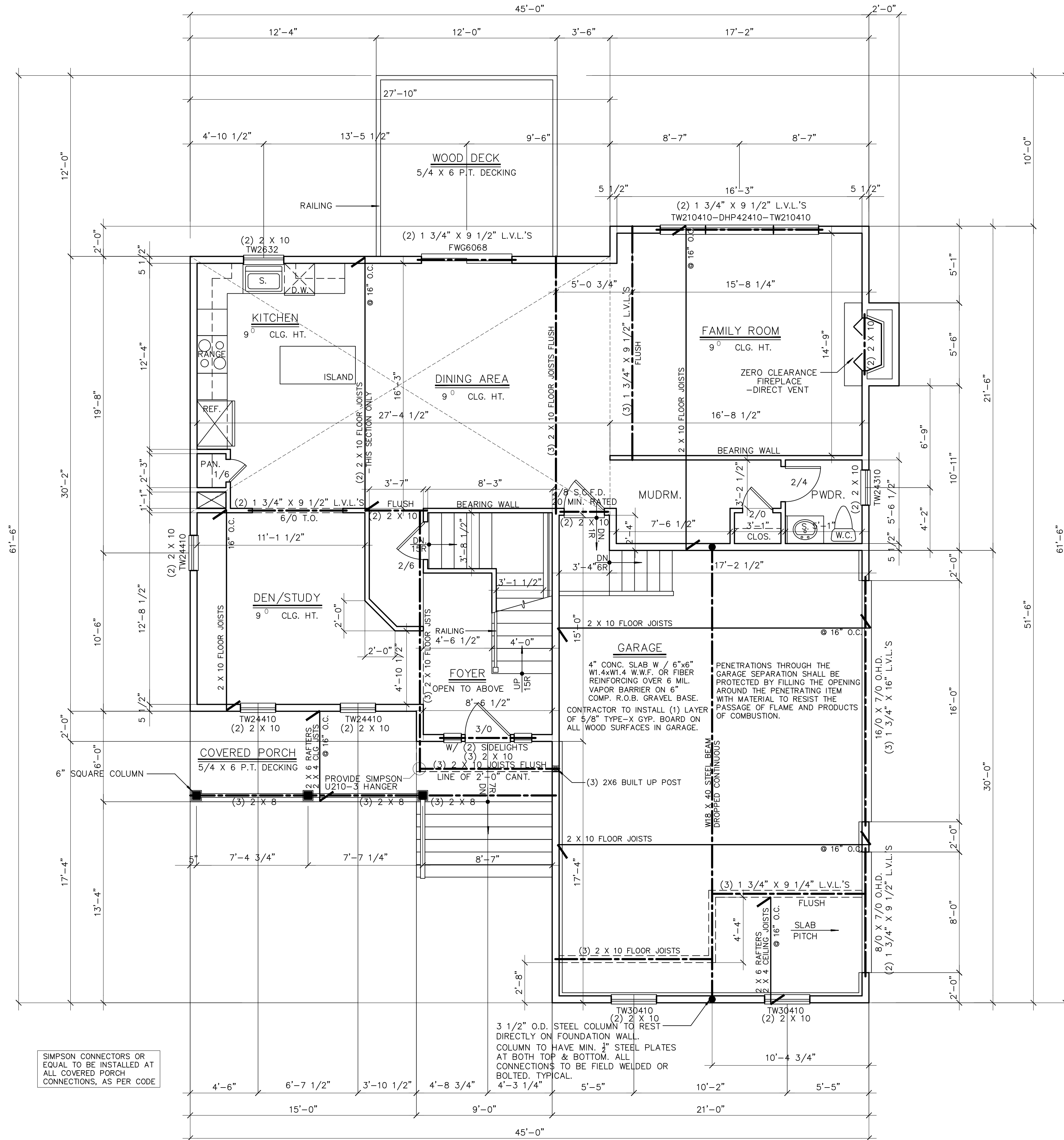
DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
Old Hopewell Road
Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev.

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	P1
DATE 04-27-26	CHECKED BY B.J.S.	

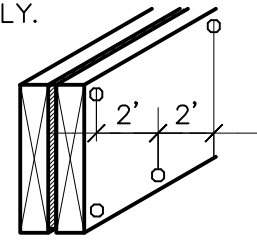


FIRST FLOOR PLAN

- ⑤ INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
⑥ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19
⑦ INTERCONNECTED HEAT DETECTOR W/ BATTERY BACKUP - RATED FOR AMBIENT OUTDOOR TEMPERATURES

SCALE: 1/4" = 1'-0"

NOTES:
L.V.L.'S AND STEEL PLATE ARE TO BE BOLTED TOGETHER @ EVERY 2'-0". BOLTS ARE TO BE STAGGERED FROM BOTTOM TO TOP, AT A MIN. OF 1" OFF BOTH TOP & BOTTOM EDGE OF ASSEMBLY. A BOLT IS TO BE @ BOTH TOP AND BOTTOM OF EACH END OF ASSEMBLY. BOLTS ARE TO BE A307 5/8".



TYPICAL FLITCH PLATE DETAIL

SCALE: N.T.S.

NOTES:

- ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS.
ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS.
DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS OTHERWISE NOTED ON PLAN.
ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.
ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND A MODULUS OF ELASTICITY OF 1600000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS AND HEADERS, LABELED ON PLAN, TO HAVE A Fb RATING OF 2950 AND A MODULUS OF ELASTICITY OF 2,000,000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
CUTS, NOTCHES & HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS.
FOR LOAD-BEARING PARTITIONS INSTALL DOUBLE JAMB STUDS UNDER HEADER FOR OPENINGS 6" AND LESS IN WIDTH, TRIPLE JAMB STUDS FOR WIDER OPENINGS. FOR NON-BEARING PARTITIONS INSTALL ONE JAMB STUD FOR OPENINGS LESS THAN 4" IN WIDTH AND DOUBLE JAMB STUDS FOR WIDER OPENINGS.
CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
ALL JOISTS TO OVER LAP GIRDER OR BEARING WALL A MINIMUM OF 3".
ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
INSTALL 2 X 6 COLLAR TIES AT 32" O.C. COLLAR TIES TO BE LOCATED DOWN FROM THE MAIN RIDGE A MINIMUM OF 1/3RD OF THE TOTAL HEIGHT BETWEEN THE CEILING JOISTS AND THE TOP OF THE MAIN RIDGE.

EXHAUST AIR FROM BATHROOM FANS SHALL BE EXHAUSTED DIRECTLY TO THE EXTERIOR AND SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREA INSIDE THE BUILDING.

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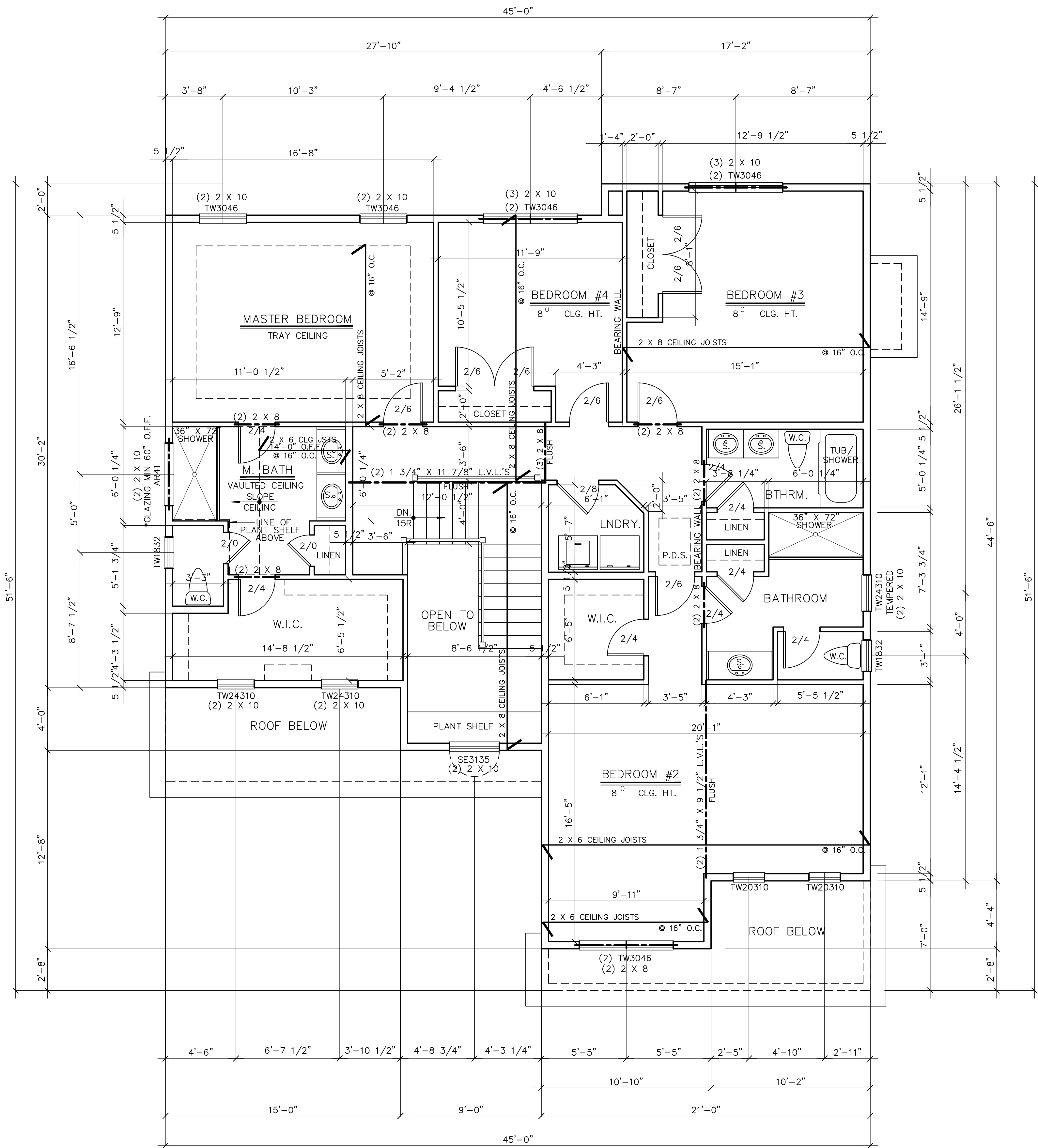
DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
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(845)-223-3202

PROJECT
Old Hopewell Road
Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev.

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	P2
DATE 04-27-26	CHECKED BY B.J.S.	



SECOND FLOOR PLAN

- ⑤ INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
⑥ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19

SCALE: 1/4" = 1'-0"

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CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
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CONTRACTOR TO VENT DRYER TO EXTERIOR SUCH THAT IT SHALL NOT TERMINATE LESS THAN 3 FEET FROM ANY OPENING INTO THE BUILDING. DRYER DUCT IS NOT TO EXCEED 25 FEET IN LENGTH AND IS TO BE CONSTRUCTED OF A MIN. OF 0.016 INCH THICK RIGID METAL DUCTS, HAVING A SMOOTH SURFACE & JOINTS RUNNING IN THE DIRECTION OF AIR FLOW. PROVIDE REDUCTION FOR EACH 90 DEGREE BEND.

CONTRACTOR TO PROVIDE ATTIC SCUTTLE WITH MINIMUM DIMENSIONS OF 30" X 22". CONTRACTOR TO PROVIDE A LARGER SCUTTLE OPENING IF AIR HANDLER UNIT IS LOCATED IN ATTIC SPACE. SCUTTLE OPENING TO BE OF ADEQUATE DIMENSION TO ALLOW FOR PASSAGE OF UNIT THROUGH SCUTTLE OPENING.

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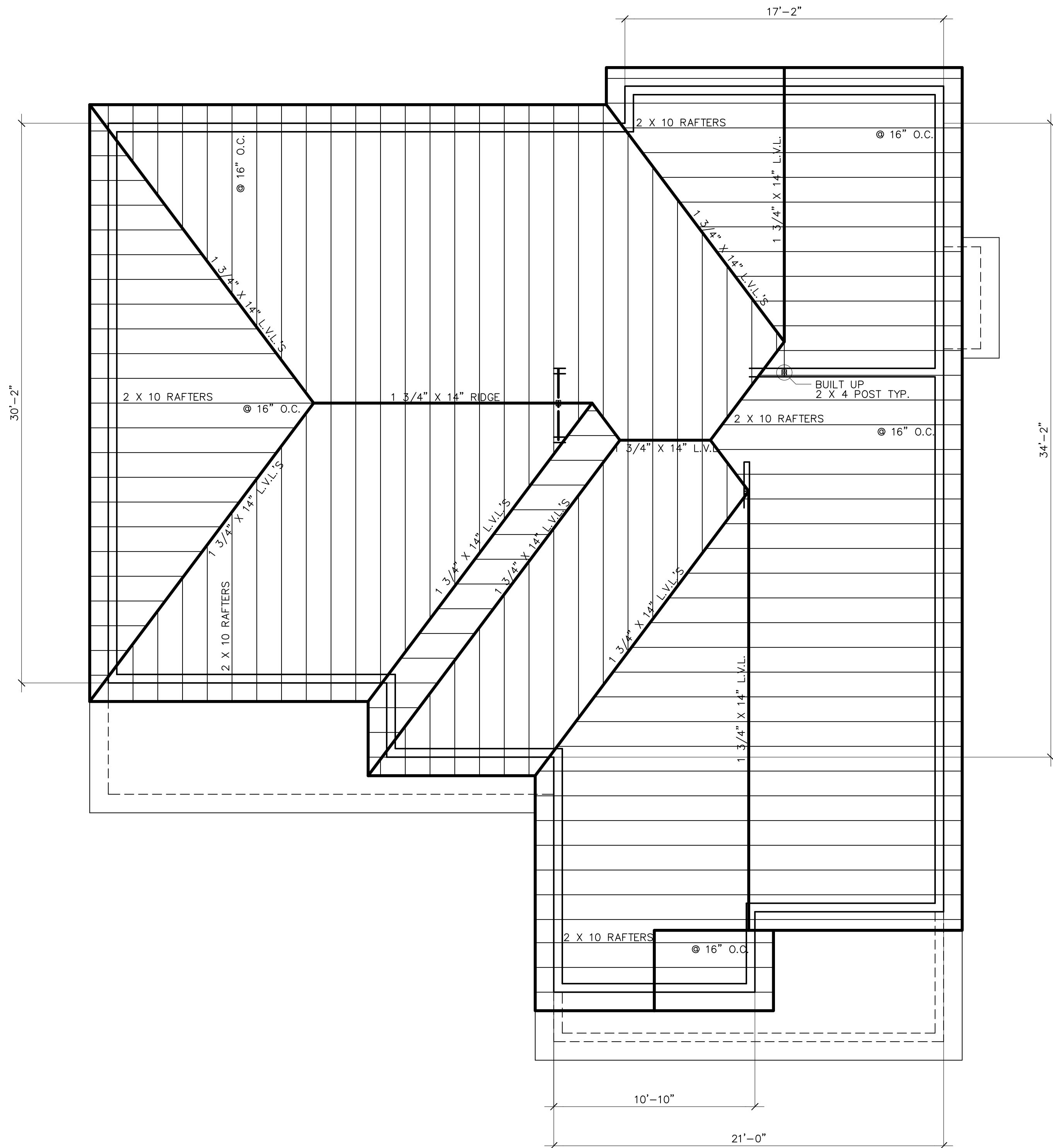
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PROJECT
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Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev.

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	P3
DATE 04-27-26	CHECKED BY B.J.S.	



ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTES:

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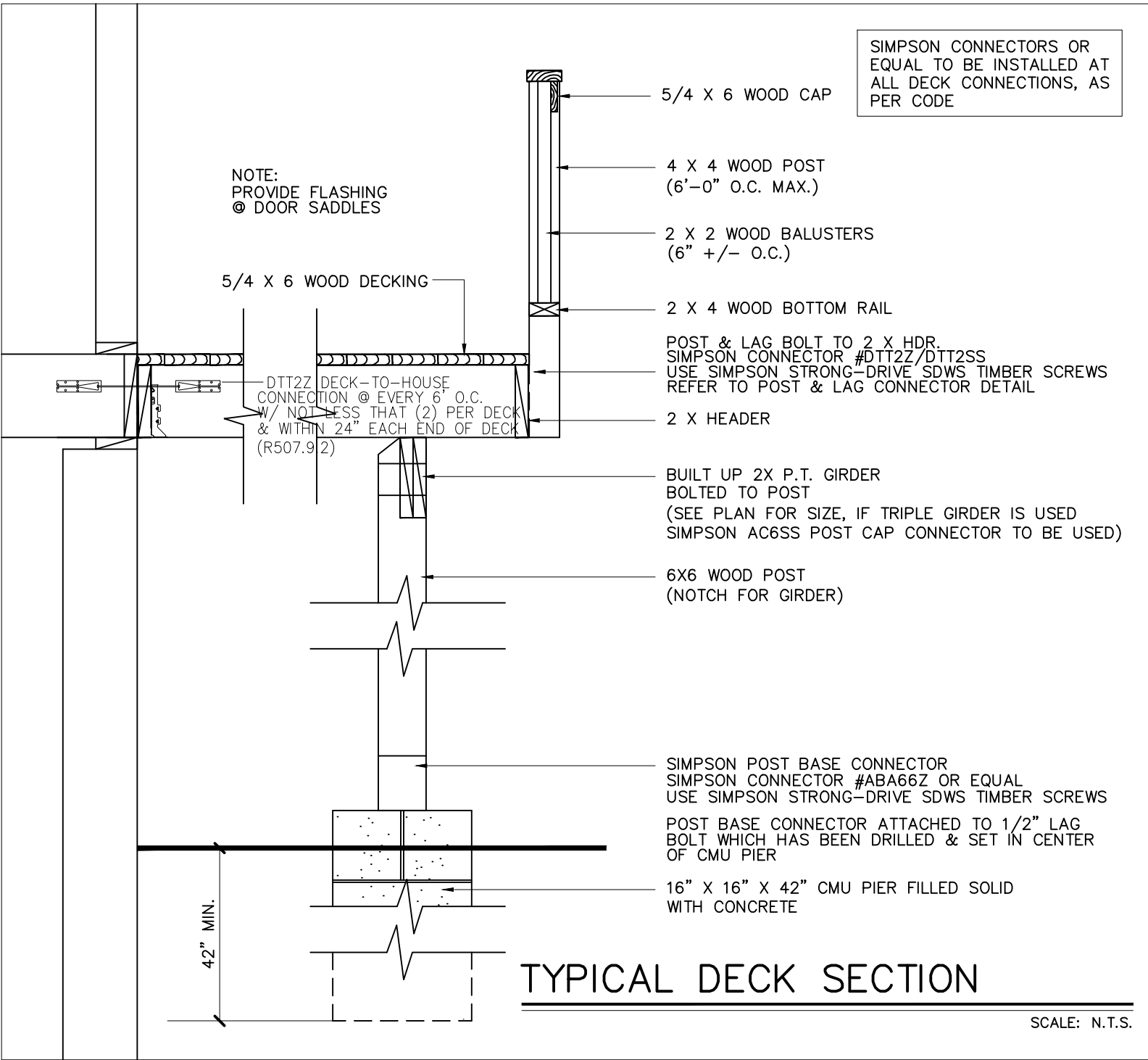
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CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

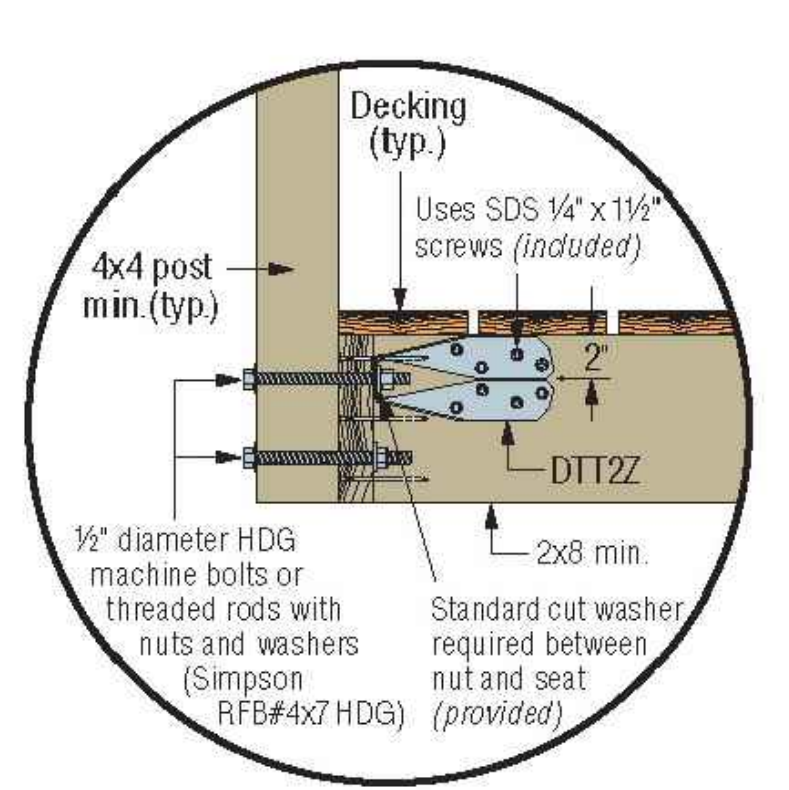
ALL JOISTS TO OVER LAP GIRDER OR BEARING WALL A MINIMUM OF 3".

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

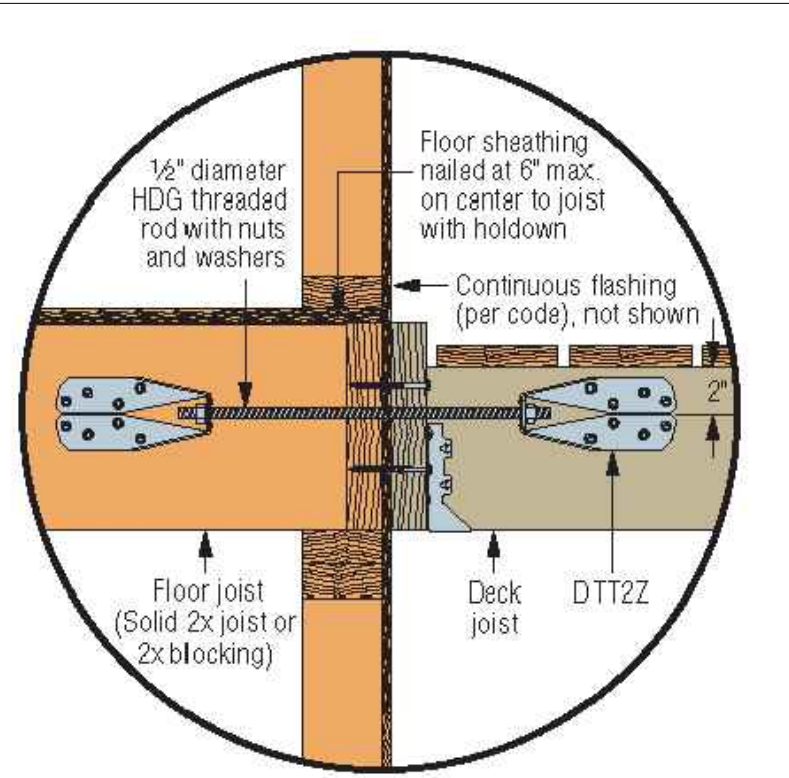
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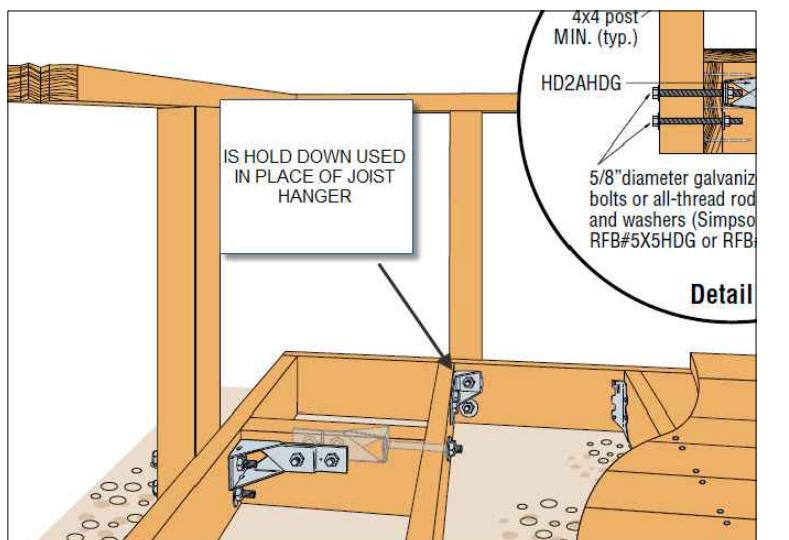
TYPICAL DECK SECTION



POST & LAG CONNECTOR DETAIL



DECK-TO-HOUSE LATERAL CONNECTION



SIMPSON DTT2 DECK TENSION TIE (TYP.)

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NOTES:

1. **INTENT:** The Contractor shall hold to the intent of the drawings and shall not change without approval by the Architect and/or Owner. It is the intent of the drawings to call for complete and finished work, tested, guaranteed and ready for operation. The work shall include all miscellaneous items and auxiliaries whether specifically called for on the drawings.
2. **CODES AND PERMITS:** The work performed must comply with all applicable state and local laws, including the N.Y.S. Energy Conservation Code. The Contractor must have the necessary inspections made by all authorities having jurisdiction. He shall pay all fees, obtain required permits and furnish the Owner with the final certificate. The General Conditions for general construction shall apply.
3. **COORDINATION:** This Contractor shall coordinate his work with that of all other trades affecting, or being affected by work of this contract. Cooperate with such trades to assure the steady progress of all work under this contract. The actual location of all outlets shall be as per architectural details or as directed in the field. All wiring shall be installed concealed where possible.
4. **GROUNDING:** The entire electrical system installed throughout the building shall be grounded as per NEC Article 250.
5. **BRANCH CIRCUITING:** All branch circuiting shall be done as per NEC, local codes and industry standards. Install smoke detectors as per NYS Building Code.
6. **ELECTRIC SERVICE:** New electric service shall be provided as per Utility Co's requirements. All Utility Co's costs, including metering, shall be included.

LEGEND	
***A MINIMUM OF 90% OF PERMANENTLY INSTALLED LAMPS MUST BE HIGH-EFFICACY	
	15A, 125V DUPLEX GROUNDED RECEPTACLE (TAMPER-RESISTANT UNLESS 5 1/2' ABOVE THE FLOOR OR INACCESSIBLE BY EQUIPMENT)
	15A, 125V DUPLEX GROUNDED RECEPTACLE, WITH FEED -THRU GROUND FAULT CIRCUIT INTERRUPTION (TAMPER-RESISTANT UNLESS 5 1/2' ABOVE THE FLOOR OR INACCESSIBLE BY EQUIPMENT)
	15A, 125V DUPLEX GROUNDED RECEPTACLE (TAMPER-RESISTANT UNLESS 5 1/2' ABOVE THE FLOOR OR INACCESSIBLE BY EQUIPMENT) WITH USB PORTS
	APPLIANCE SPECIFIC POWER SOURCE - AS PER CODE
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	DIMMER SWITCH
	PENDANT LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	WALL SCONCE
	WALL MOUNTED DOUBLE FLOOD LIGHT FIXTURE
	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	CEILING FAN FIXTURE W/ LIGHTS
	UTILITY LED
	RECESSED EXHAUST FAN/LIGHT COMBINATION, VENTED TO EXTERIOR
	INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
	INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL2034 & CSA 6.19
	EXTERIOR COACH LIGHT FIXTURE
	DOOR BELL
	DATA - CAT5E - INTERCONNECTED
	LED TAPE UNDER CABINET LIGHTING
	INTERCONNECTED HEAT DETECTOR W/ BATTERY BACKUP - RATED FOR AMBIENT OUTDOOR TEMPERATURES

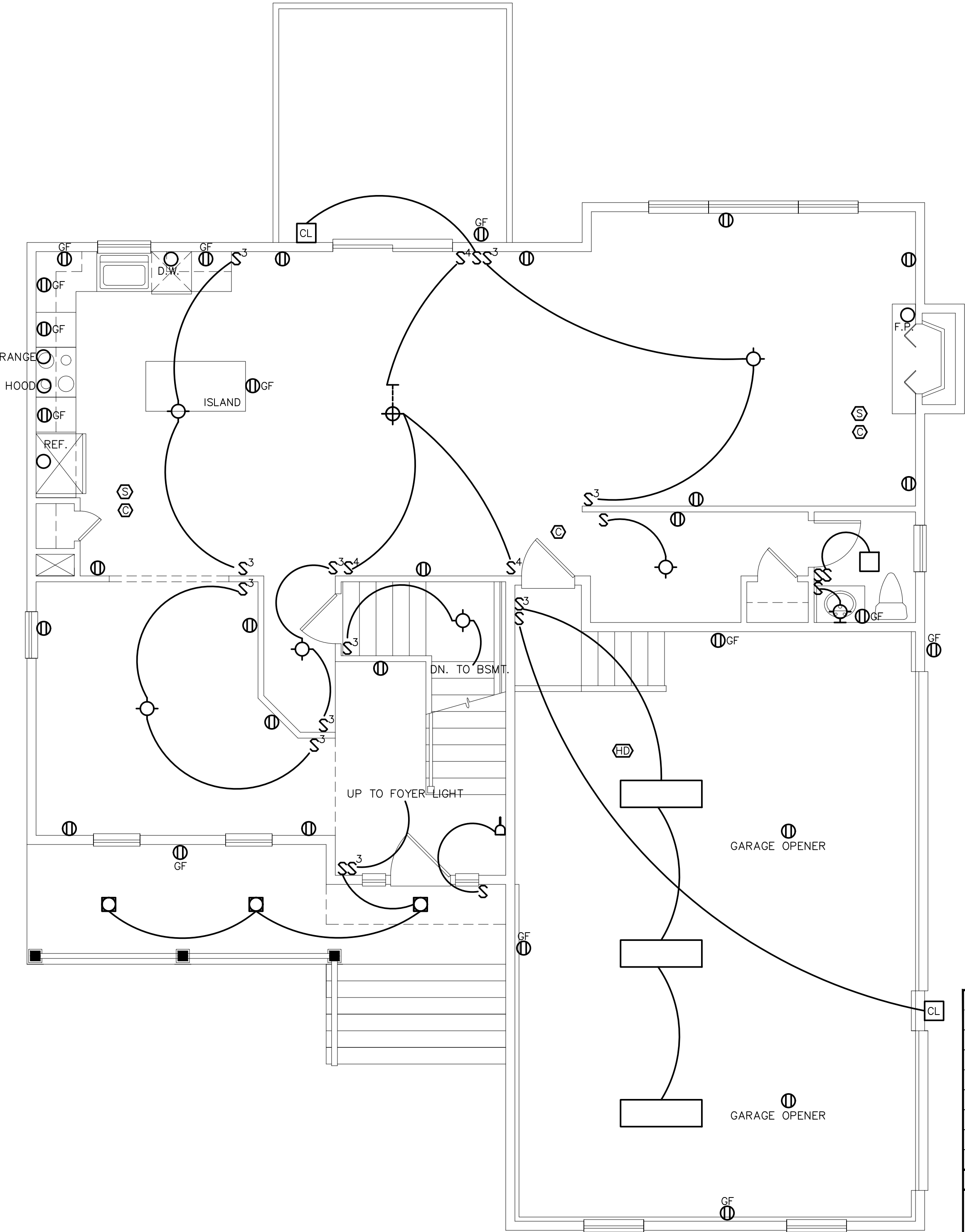
LIGHTING NOTES:

ALL PERMANENTLY INSTALLED LUMINARIES SHALL BE CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 45 LUMENS PER WATT, OR SHALL HAVE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS PER WATT.

ALL PERMANENTLY INSTALLED LUMINARIES IN HABITABLE SPACES SHALL BE CONTROLLED WITH A MANUAL DIMMER OR AUTOMATIC SHUTOFF CONTROLS, AFTER 20 MINUTES. CONTROLS ALSO TO HAVE A MANUAL CONTROL.

ALL PERMANENTLY INSTALLED LUMINARIES IN IN GARAGES, BASEMENTS, LAUNDRY OR UTILITY ROOMS SHALL BE CONTROLLED WITH AUTOMATIC SHUTOFF CONTROLS, AFTER 20 MINUTES. CONTROLS ALSO TO HAVE A MANUAL CONTROL.

WHERE THE TOTAL PERMANENTLY INSTALLED EXTERIOR LIGHTING POWER IS OVER 30 WATTS, LIGHTING SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH THAT PERMITS AUTOMATIC SHUT OFF ACTIONS. LIGHTING SHALL BE AUTOMATICALLY SHUT OFF AT DAYLIGHT. OVERRIDE OF AUTOMATIC CONTROLS ARE TO RETURN TO NORMAL OPERATION WITH IN 24 HOURS.



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

BASEMENT ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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Brian J. Stokosa, PE	
05-27-26	05-21-26
05-11-26	04-30-26
Project No. 2026:123	License No. 083970

DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
Old Hopewell Road
Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev.

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	DRAWING NO. ELC1
DATE 04-27-26	CREATED BY B.J.S.	

NOTES:

1. **INTENT:** The Contractor shall hold to the intent of the drawings and shall not change without approval by the Architect and/or Owner. It is the intent of the drawings to call for complete and finished work, tested, guaranteed and ready for operation. The work shall include all miscellaneous items and auxiliaries whether specifically called for on the drawings.
2. **CODES AND PERMITS:** The work performed must comply with all applicable state and local laws, including the N.Y.S. Energy Conservation Code. The Contractor must have the necessary inspections made by all authorities having jurisdiction. He shall pay all fees, obtain required permits and furnish the Owner with the final certificate. The General Conditions for general construction shall apply.
3. **COORDINATION:** This Contractor shall coordinate his work with that of all other trades affecting, or being affected by work of this contract. Cooperate with such trades to assure the steady progress of all work under this contract. The actual location of all outlets shall be as per architectural details or as directed in the field. All wiring shall be installed concealed where possible.
4. **GROUNDING:** The entire electrical system installed throughout the building shall be grounded as per NEC Article 250.
5. **BRANCH CIRCUITING:** All branch circuiting shall be done as per NEC, local codes and industry standards. Install smoke detectors as per NYS Building Code.
6. **ELECTRIC SERVICE:** New electric service shall be provided as per Utility Co's requirements. All Utility Co's costs, including metering, shall be included.

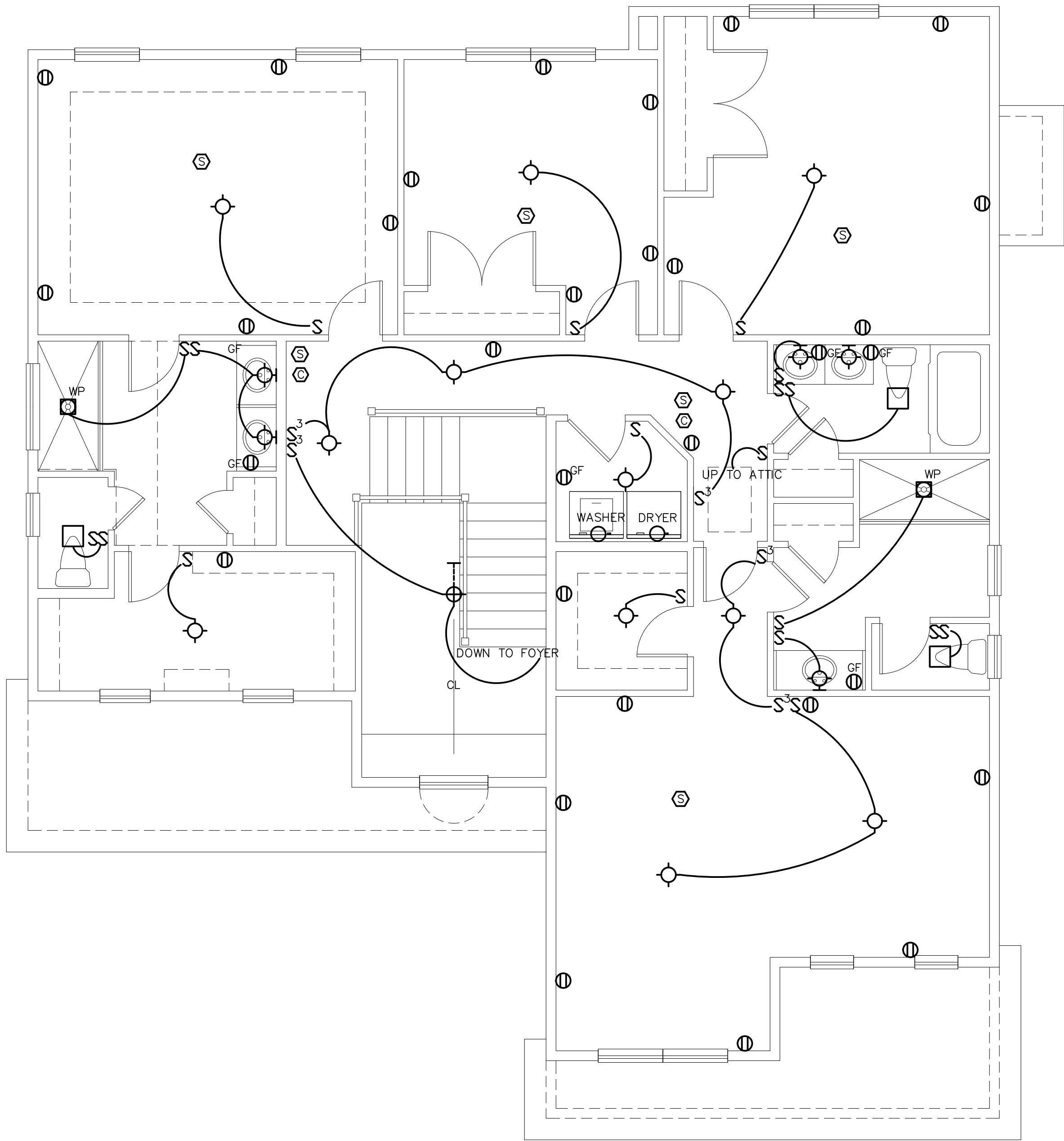
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SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

LEGEND

****A MINIMUM OF 90% OF PERMANENTLY INSTALLED LAMPS MUST BE HIGH-EFFICACY

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	15A, 125V DUPLEX GROUNDED RECEPTACLE, WITH FEED -THRU GROUND FAULT CIRCUIT INTERRUPTION (TAMPER-RESISTANT UNLESS 5 1/2' ABOVE THE FLOOR OR INACCESSIBLE BY EQUIPMENT)
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	THREE-WAY SWITCH
	DIMMER SWITCH
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	WALL BRACKET MOUNTED LIGHT FIXTURE
	WALL SCONCE
	WALL MOUNTED DOUBLE FLOOD LIGHT FIXTURE
	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	CEILING FAN FIXTURE W/ LIGHTS
	UTILITY LED
	RECESSED EXHAUST FAN/LIGHT COMBINATION, VENTED TO EXTERIOR
	INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
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	EXTERIOR COACH LIGHT FIXTURE
	DOOR BELL
	DATA - CAT5E - INTERCONNECTED
	LED TAPE UNDER CABINET LIGHTING
	INTERCONNECTED HEAT DETECTOR W/ BATTERY BACKUP - RATED FOR AMBIENT OUTDOOR TEMPERATURES

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	Brian J. Stokosa, PE
	05-27-26
	05-21-26
	05-11-26
Revision	04-30-26
Project No.	2026-123 License No. 083970

DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
Old Hopewell Road
Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev.

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	DRAWING NO. ELC2
DATE 04-27-26	CREATED BY B.J.S.	

PLUMBING NOTES

PLUMBING:

THE PERMIT HOLDER SHALL BE RESPONSIBLE FOR SCHEDULING THE FOLLOWING INSPECTIONS:

1. UNDERGROUND INSPECTION & TESTING SHALL BE MADE AFTER TRENCHES OR DITCHES ARE EXCAVATED AND BEDDED, PIPING INSTALLED AND BEFORE ANY BACK FILL IS PUT IN PLACE.
2. ROUGH IN INSPECTION AND TESTING SHALL BE MADE OF COMPLETED PORTIONS OF ALL SANITARY, STORM AND WATER DISTRIBUTION PIPING, AFTER THE FRAMING, FIRE BLOCKING, FIRE STOPPING, DRAFT STOPPING AND BRACING FOR THAT PORTION IS IN PLACE AND PRIOR TO THE INSTALLATION OF ANY WALL OR CEILING MEMBRANES.
3. FINAL INSPECTIONS AND TESTING SHALL BE MADE AFTER THE BUILDING IS COMPLETE, ALL MECHANICAL FIXTURES ARE INSTALLED AND THE STRUCTURE IS READY FOR OCCUPANCY. WATER TESTING IS REQUIRED ON ALL PLASTIC WASTE / VENT / DRAIN PIPES P2503.5.1.

TYPE L COPPER, PEX, OR CPVC PERMITTED FOR DOMESTIC WATER SYSTEMS. PVC (SCHEDULE 40) PERMITTED ABOVE AND BELOW GRADE FOR SANITARY SYSTEMS. ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS AND IN ACCORDANCE WITH THE PLUMBING CODE OF NYS 2025.

PROVIDE WATER-HAMMER ARRESTORS WHERE QUICK-CLOSING VALVES ARE UTILIZED INCLUDING DISHWASHERS, CLOTHES WASHERS AND SIMILAR FIXTURES. WATER-HAMMER ARRESTORS TO BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS AND IN ACCORDANCE WITH P2903.5

TRAPS

TRAPS SHALL BE OF STANDARD DESIGN, SHALL HAVE SMOOTH UNIFORM INTERNAL WATERWAYS
SHALL BE SELF CLEANING AND SHALL NOT HAVE INTERIOR PETITIONS.

TRAPS SHALL BE CONSTRUCTED OF LEAD, CAST IRON, CAST OR DRAWN BRASS OR APPROVED PLASTIC.

TRAPS SHALL BE SET LEVEL WITH RESPECT TO THEIR WATER SEALS AND SHALL BE PROTECTED FROM FREEZING. TRAP SEALS SHALL BE PROTECTED FROM SIPHONAGE, ASPIRATION OR BACK PRESSURE BY AN APPROVED SYSTEM OF VENTING.

EACH PLUMBING FIXTURE SHALL BE SEPARATELY TRAPPED BY A WATER SEAL TRAP PLACED AS CLOSE AS POSSIBLE TO THE FIXTURE OUTLET, NOT TO EXCEED 24".

FIXTURE TRAP SIZE SHALL BE SUFFICIENT TO DRAIN THE FIXTURE RAPIDLY

FOAM PLASTIC INSULATION

-SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 75 AND A SMOKE DEVELOPING RATING OF LESS THAN 450.

-SHALL BE SEPARATED FROM INTERIOR BY 1/2" OF GYP. WALL BOARD

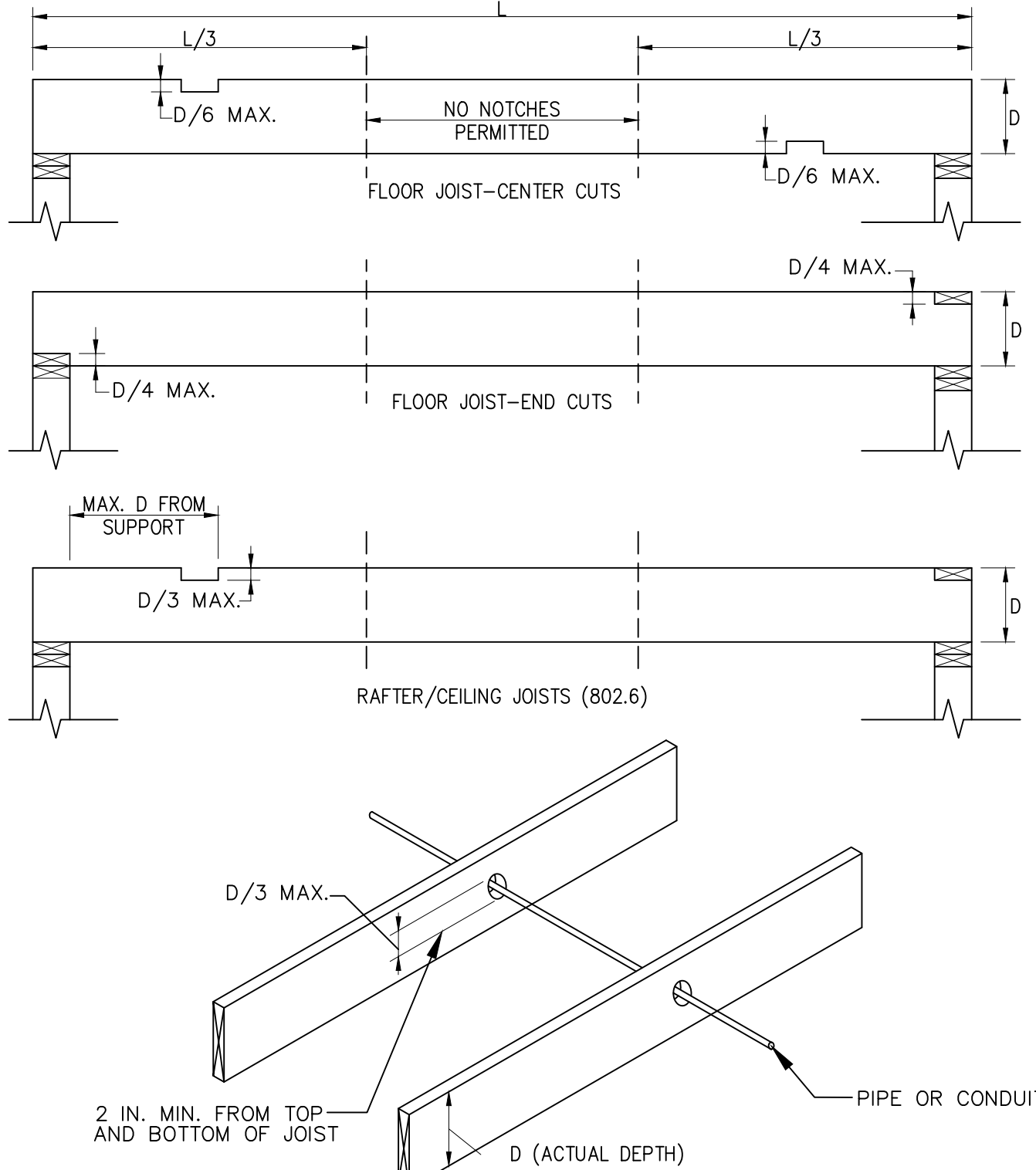
DRILLING/NOTCHING

NOTCHES AND HOLES ARE NOT PERMITTED IN L.V.L.'S UNLESS OTHERWISE SPECIFIED

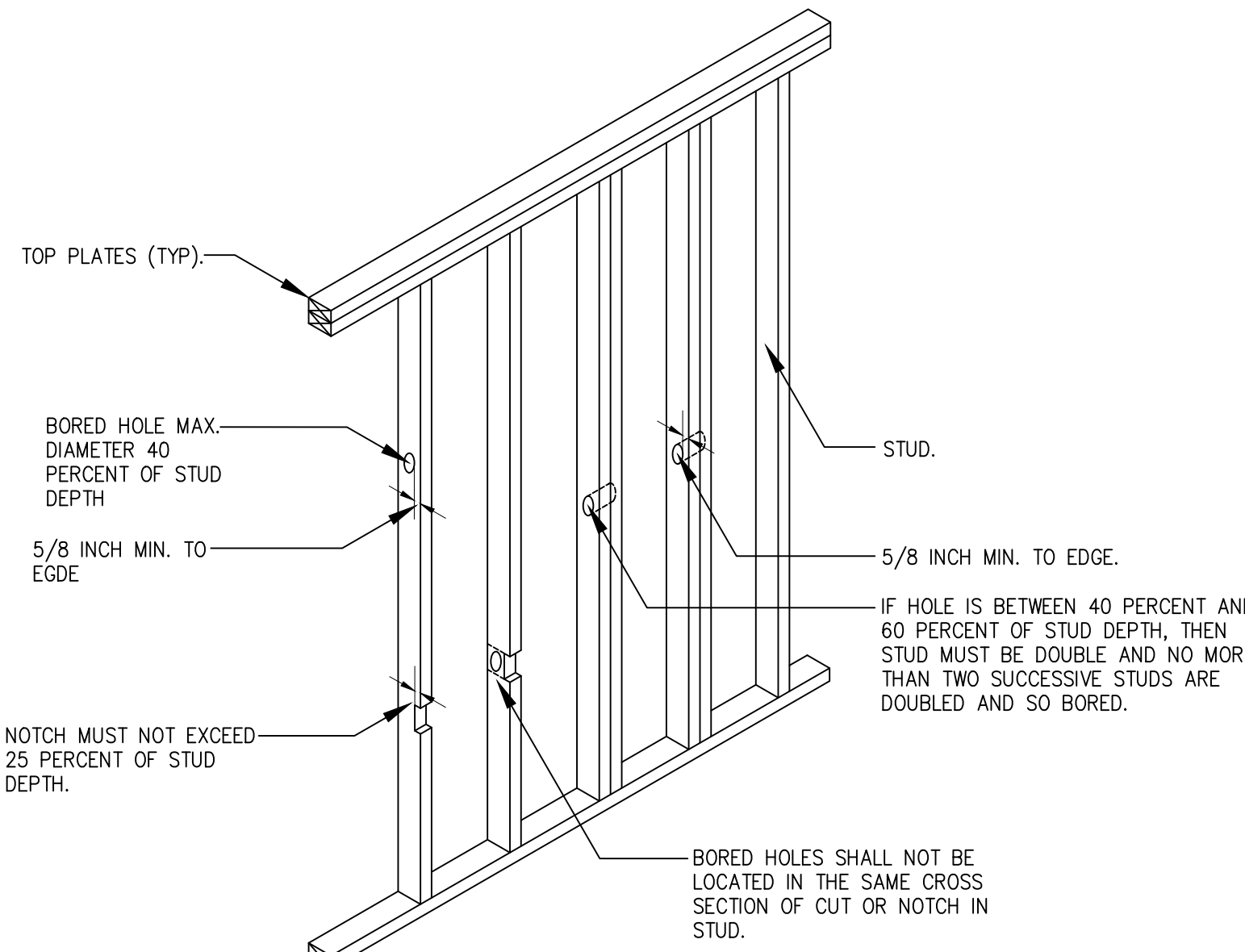
- NOTCHES ARE NOT TO EXCEED MORE THAN 1/6TH THE DEPTH.
- NOTCHES ARE NOT TO BE LONGER THAN 1/3RD THE DEPTH.
- NOTCHES ARE NOT TO BE IN THE MIDDLE THIRD OF THE MEMBER

- THE DIAMETER OF ANY HOLE IS NOT TO EXCEED MORE THAN 1/3 THE DEPTH.
- HOLES ARE NOT TO BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF ANY MEMBER

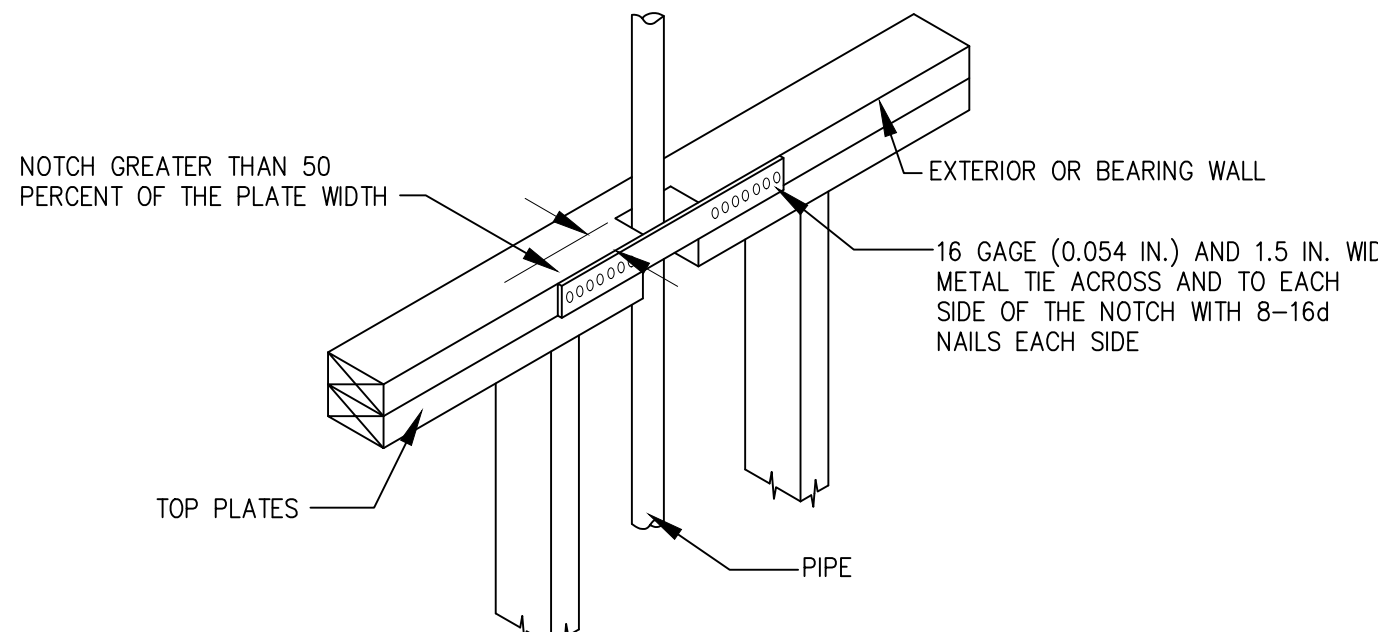
- FASTENER SIZING AND SPACING TO BE INSTALLED AS PER TABLES



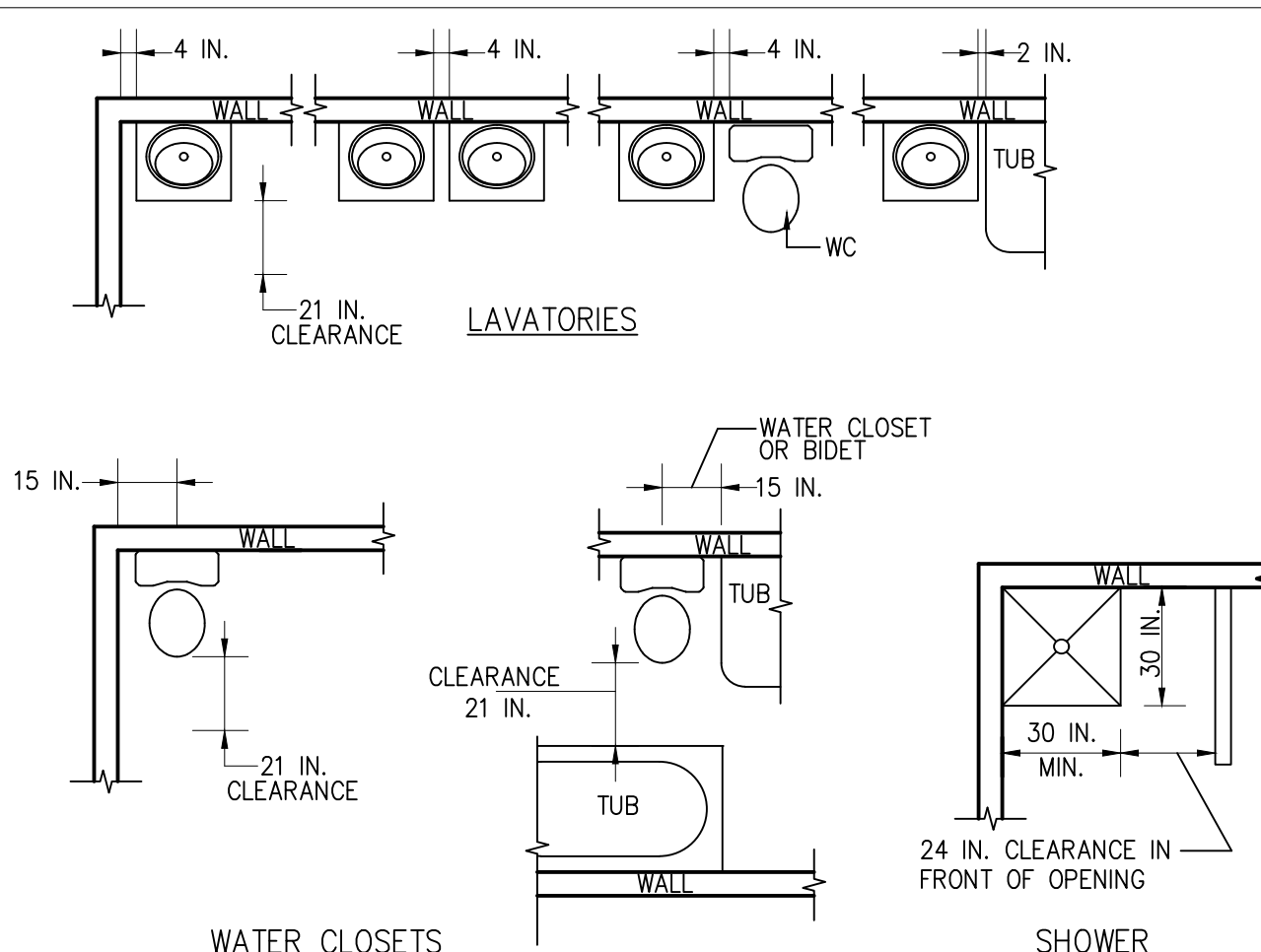
1 JOIST BORED HOLE LIMITATIONS
D2 SCALE: 1/2" = 1'-0"



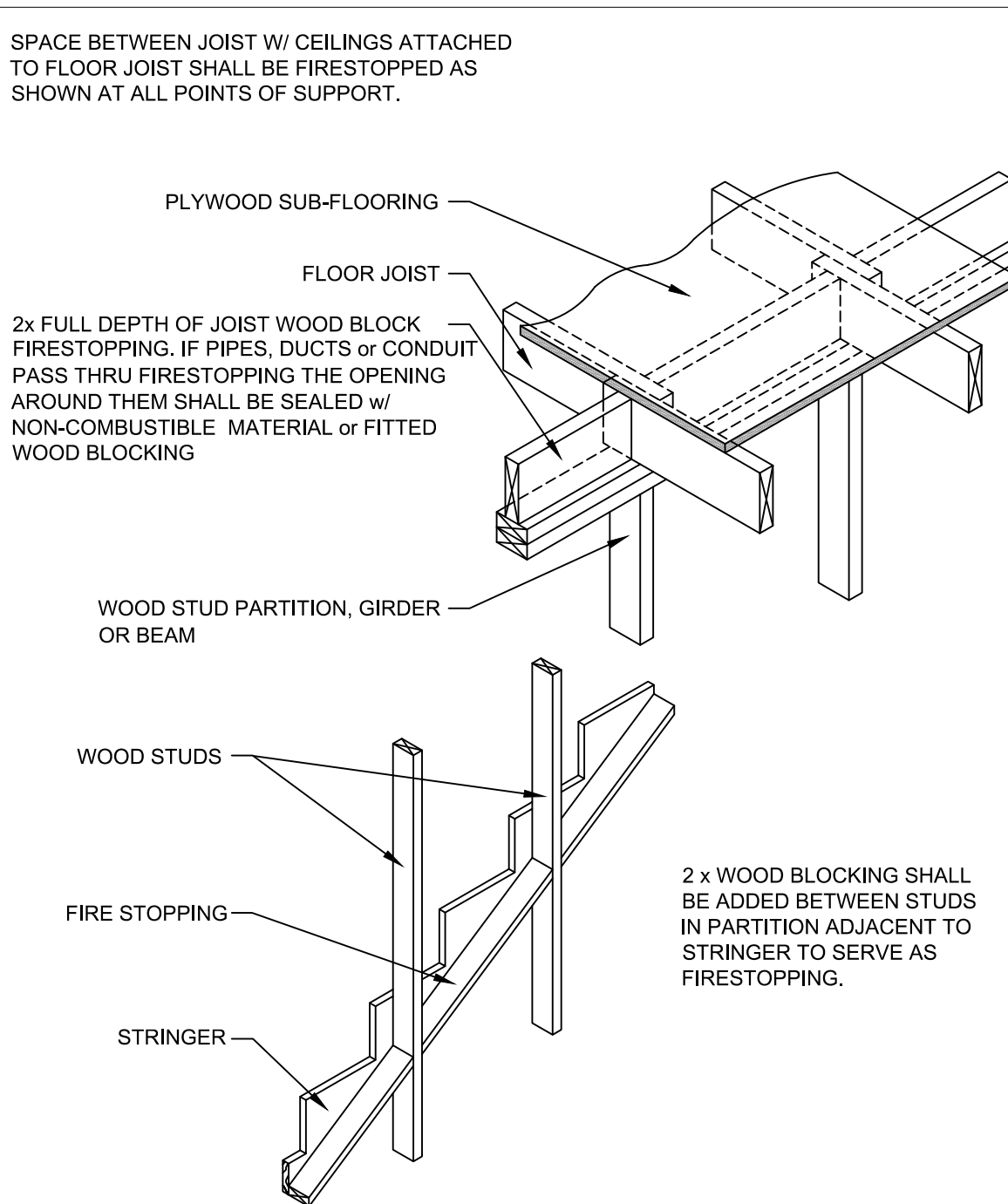
2) NOTCHING & BORED HOLE DETAILS
D2) SCALE: N.T.S.



3 NOTCHING TOP PLATE DETAIL
D3 SCALE: N.T.S.

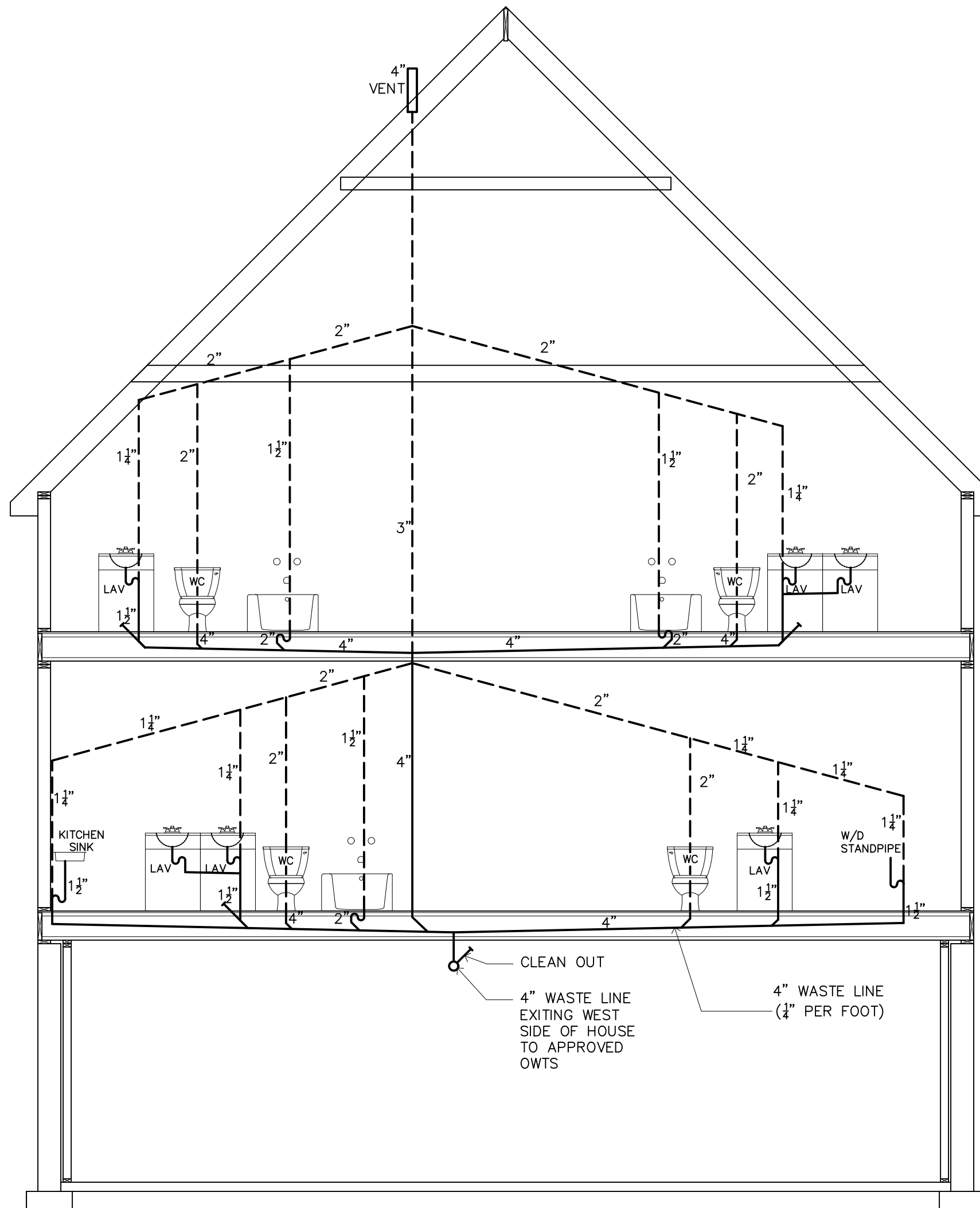


4 MINIMUM FIXTURE CLEARANCES
D2 SCALE: 1/4" = 1'-0"



DRAFT/FIREBLOCKING DETAILS

SCALE: N.T.S



TYPICAL RISER DIAGRAM

SCALE: $1/4" = 1'-0"$

VENT STACKS THAT EXTEND THROUGH A ROOF SHALL BE TERMINATED AT LEAST 18" ABOVE THE ROOF OR 6" ABOVE THE ANTICIPATED SNOW ACCUMULATION

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF VERTICAL AND HORIZONTAL DRAFT OPENINGS AND TO FORM A FIRE BARRIER BETWEEN STORIES AND THE TOP STORY AND ROOF SPACE.

FIREBLOCKING IS TO BE PROVIDED IN THE FOLLOWING LOCATIONS:

- IN CONCEALED STUD WALLS VERTICALLY AT CEILING & FLOOR LEVELS AND INTERVALS NOT EXCEEDING 10'
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICLE AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN.

PARTIAL BOARD, 1/2" GYPSUM BOARD, 1/4" CEMENT BASED MILLBOARD OR BATTS/BLANKETS OF MINERAL WOOL OR GLASS FIBER SECURELY RETAINED IN PLACE

AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT THE CEILING AND FLOOR LEVEL AN APPROVED MATERAIL IS TO BE INSTALLED TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.

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		Brian J. Stokosa, PE
		
	05-27-26	
	05-21-26	
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Revisions	04-30-26	
Project No.	2026-123	License No. 083970

DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
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(845)-223-3202

PROJECT Old Hopewell Road
Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	DRAWING No. D1
DATE 04-27-26	CHECKED BY B.J.S.	

2025 RESIDENTIAL CODE OF NYS, 2025 ECCC OF NYS & 2024 INTERNATIONAL ENERGY CONSERVATION CODE	
BUILDING TYPE:	SINGLE FAMILY RESIDENCE
CODE DESIGN METHOD:	RESCHECK *SEE ATTACHED
CLIMATE ZONE:	5A
HEATING EQUIPMENT TYPE: SHALL BE DESIGNED BY THE H.V.A.C. CONTRACTOR	
I, BRIAN J. STOKOSA CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE SECTIONS OF THE 2025 RESIDENTIAL CODE OF NYS, 2025 ECCC OF NYS & 2024 INTERNATIONAL ENERGY CONSERVATION CODE.	

THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE ENVELOPE SHALL BE TESTED AND VERIFIED TO HAVE AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR AND A REPORTED PRESSURE OF 0.2 INCH W.G. (50 PASCALS). ALL DUCTS, AIR HANDLERS AND FILTER BOXES ARE TO BE SEALED. DUCTS ARE TO BE PRESSURE TESTED TO DETERMINE LEAKAGE.

A WHOLE HOUSE VENTILATION SYSTEM IS TO BE INSTALLED FOR THE NEW DWELLING. THE SYSTEM IS TO BE DESIGNED IN ACCORDANCE WITH M1505.4, THE SQUARE FOOTAGE OF THE DWELLING AND THE NUMBER OF BEDROOMS. OUTDOOR AIR INTAKES AND EXHAUSTS ARE TO HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT IN OPERATION.

TO THE BEST OF THE KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED [BRIAN J. STOKOSA, P.E.], THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION CODE AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

WOOD HEADER SIZES	
SPANS UP TO AND INCLUDING:	MINIMUM HEADER SIZE
0'-0" - 3'-11"	(2) 2x8's
4'-0" - 5'-11"	(2) 2x10's
6'-0" - 7'-11"	(2) 2x12's
UNLESS OTHERWISE NOTED	

GENERAL NOTES

DIVISION 1 - GENERAL CONDITIONS:

CODES: ALL WORK & MATERIALS MUST CONFORM TO 2025 RESIDENTIAL CODE OF NYS, 2025 ECCC OF NYS, LOCAL BUILDING CODES, TO THE REQUIREMENTS OF THE BOARD OF HEALTH & THE 2024 INTERNATIONAL ENERGY CONSERVATION CODE.

OMISSION: ANYTHING NOT SPECIFICALLY SHOWN HEREON AND/OR SPECS, BUT WHICH IS REASONABLY IMPLIED, SHALL BE FURNISHED AS THOUGH SET FORTH IN THE PLANS AND/OR SPECIFICATIONS. ALL WRITTEN FIGURES, NOTES & DIMENSIONS ON THE FLOOR PLANS, OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES. DO NOT SCALE PRINTS. ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ALL PERMITS ARE NOT THE RESPONSIBILITY OF THE ENGINEER.

MATERIALS: ALL MATERIALS SHALL BE NEW AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

SUBSTITUTIONS: SUBSTITUTIONS MADE FOR STRUCTURAL MATERIALS SPECIFIED BY NAME MAY BE MADE ONLY IF APPROVED BY ENGINEER.

OWNERSHIP OF PLANS: THESE PLANS ARE PROPERTY OF DAY & STOKOSA ENGINEERING, P.C. ANY USE OR REPRODUCTION, IN WHOLE OR PART, WITHOUT THE WRITTEN CONSENT OF DAY & STOKOSA ENGINEERING, P.C. IS PROHIBITED. ANY PERSON, OR CORPORATION, USING PLANS WITHOUT CONSENT WILL BE RESPONSIBLE TO COMPENSATE DAY & STOKOSA ENGINEERING, P.C.

ENGINEER'S STATUS: THE ENGINEER HAS NOT BEEN RETAINED BY OWNER TO PROVIDE PERIODIC JOB INSPECTIONS OR JOB ADMINISTRATION AND SHALL NOT BE RESPONSIBLE FOR CHANGES MADE IN THE FIELD WITHOUT WRITTEN OR GRAPHIC AUTHORIZATION.

DIVISION 2 - SITE WORK:

FOOTINGS: IF SOIL BEARING CONDITIONS ARE QUESTIONABLE, THE CONTRACTOR SHALL CONSULT A SOILS ENGINEER FOR PROPER FOOTING DESIGN. THE PLANS ARE BASED ON A MINIMUM SOIL BEARING CAPACITY 2,000 PSF.

FINISHED GRADING: FINISHED GRADING SHALL BE PERFORMED SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE HOUSE.

DIVISION 3 - CONCRETE:

ALL CONCRETE USED SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED. ALL CONCRETE WORK SHALL BE DONE IN COMPLETE CONFORMANCE TO APPLICABLE ACI CODES.

DIVISION 5 - METALS:

STRUCTURAL STEEL: ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A-36 FOR STRUCTURAL STEEL. ALL STEEL PIPE COLUMNS SHALL BE OF STANDARD WEIGHT PIPE UNLESS OTHERWISE NOTED. STRUCTURAL STEEL HAS BEEN DESIGNED FOR A MAXIMUM BENDING STRESS OF 24,000 PSI, IN ACCORDANCE WITH THE 9TH EDITION OF THE AISC. ALL STEEL BEAMS SHAL BE FACTORY PRIMED WITH A RUST PROHIBITOR AND FIELD PAINTED WHERE EXPOSED TO WEATHER. ALL BEAM CONNECTIONS SHALL BE THROUGH BOLTED UNLESS OTHERWISE NOTED. ALL HOLES SHALL BE DRILLED OR PUNCHED. TORCHED HOLES SHALL NOT BE PERMITTED.

REINFORCING STEEL: ALL REINFORCING STEEL BARS SHALL BE GRADE 60.

DIVISION 6 - WOOD & PLASTICS:

LUMBER: ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM BENDING STRESS OF 1,200 PSI.

FRAMING: FRAMING SHALL BE ERECTED PLUMB, LEVEL, TRUE AND SECURELY NAILED. JOISTS, STUDS AND RAFTERS ARE TO BE DOUBLED AT ALL OPENINGS. ALL FLUSH JOIST HEADERS TO BE CONNECTED WITH GALVANIZED METAL JOIST HANGERS. ALL FLUSH BEAM CONNECTIONS SHALL HAVE HEAVY DUTY JOIST HANGERS. DOUBLE FRAME UNDER ALL PARTITIONS PARALLEL TO FRAMING. SIZES OF JOISTS AND RAFTERS ARE SHOWN ON THE PLAN. IF A WOOD DECK IS PROVIDED, ALL STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED LUMBER.

SHEATHING & SUBFLOOR: SHEATHING & SUBFLOOR SHALL BE APA ORIENTED STRAND BOARD WITH EXTERIOR GLUE AND NAILED TO EACH FRAMING MEMBER UNLESS OTHERWISE NOTED.

JOIST HANGERS: JOIST HANGERS SHALL BE GALVANIZED STEEL OR IRON, SIZED TO FIT THE SUPPORTED MEMBER AND OF SUFFICIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, AND FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED. MANUFACTURES SHALL BE "SIMPSON" STRONG-TIE, OR EQUAL.

DIVISION 7 - THERMAL & MOISTURE PROTECTION:

ROOFING: ALL CHIMNEYS SHALL BE PROPERLY FLASHED WITH GALVANIZED STEP FLASHING. VALLEY AND VERTICAL ROOF SECTIONS SHALL BE PROPERLY SUPPORTED. ALL ROOFING SHALL BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S SPECIFICATIONS.

ASPHALT SHINGLES: TO BE SELECTED BY OWNER OR CONTRACTOR.

VENTS: VENTILATE ALL ATTIC, RAFTER AND CRAWL SPACE AREAS WITH PROPER SIZED SCREENED VENTS AND/OR LOUVERS.

INSULATION: ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE 2025 ECCC OF NYS.

CAULKING: ALL EXTERIOR JOINTS BETWEEN WINDOWS, DOORS AND OTHER SURFACES SHALL BE CAULKED USING A WEATHERPROOF CAULKING.

DIVISION 8 - DOORS & WINDOWS:

WINDOWS: ALL WINDOWS SHALL MEET THE MINIMUM REQUIREMENTS FOR LIGHT, VENTILATION AND EGRESS. ALL WINDOWS SHALL BE OF SUFFICIENT CONSTRUCTION SO AS TO MEET THE 2025 ECCC OF NYS.

INTERIOR DOORS: ALL INTERIOR DOORS SHALL COME COMPLETE WITH HARDWARE. A CLASS "C" SELF-CLOSING FIRE RATED DOOR SHALL BE FURNISHED AND INSTALLED BETWEEN GARAGE & HOUSE. ALL DOORS SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2025 ECCC OF NYS, IF APPLICABLE.

DIVISION 9 - FINISHES:

DRYWALL: DRYWALL SHALL BE 1/2" GYPSUM BOARD SECURELY SCREWED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ALL JOINTS ARE TO BE TAPED AND SHALL RECEIVE (3) COATS OF JOINT COMPOUND. FINISHES TO BE SMOOTH, EVEN AND READY FOR PAINTING.

DIVISION 15 - MECHANICAL:

HEATING: THE CONTRACTOR SHALL FURNISH & INSTALL A HEATING SYSTEM WHICH MEETS THE 2025 ECCC OF NYS.

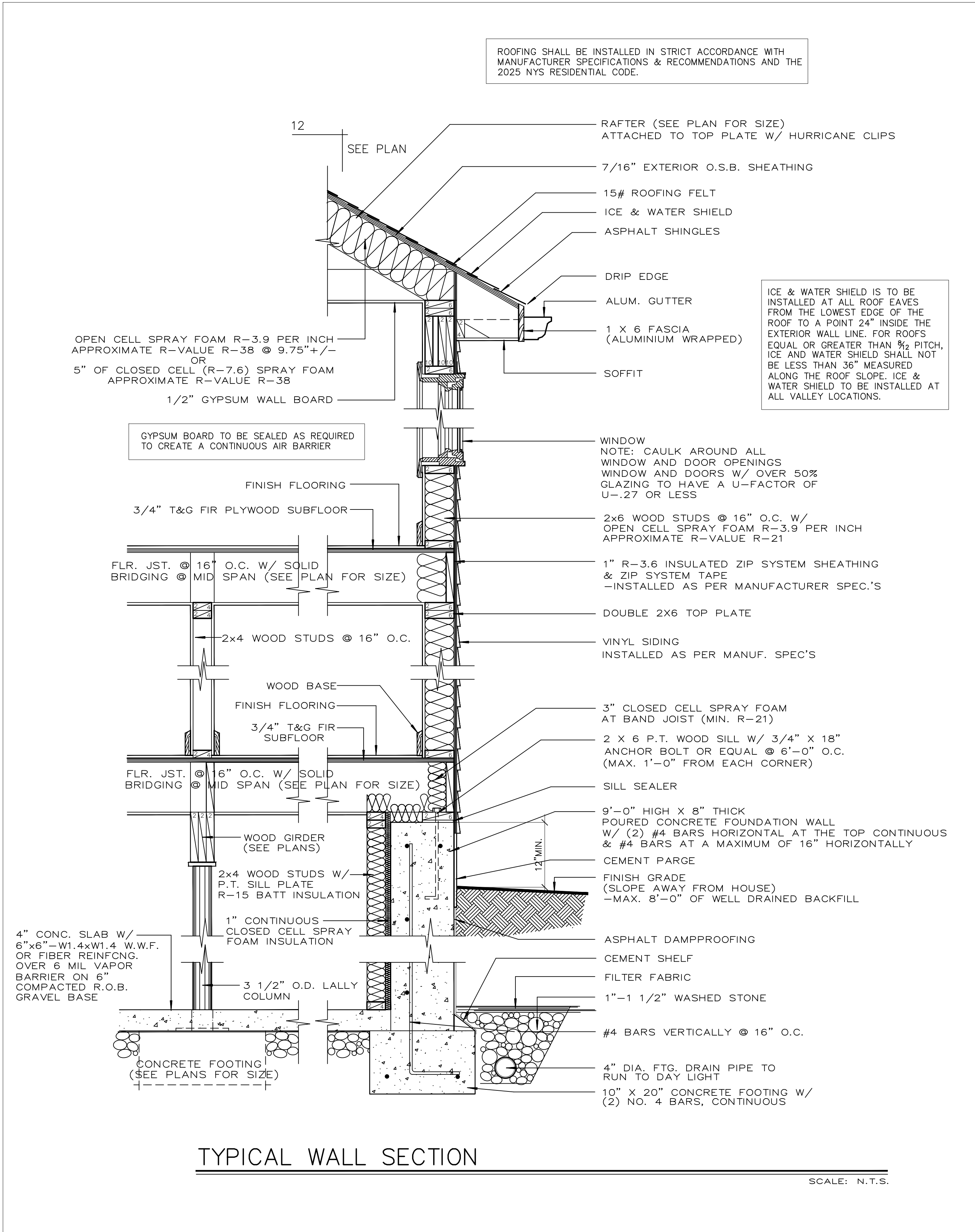
FLASHING: ALL PIPES PASSING THROUGH ROOF SHALL BE MADE WATER-TIGHT.

ALL PIPES CARRYING WATER OVER 105 DEGREES MUST BE INSULATED WITH A MINIMUM OF R-3.

TESTING: THE CONTRACTOR SHALL TEST ALL WATER SUPPLY AND DRAIN, WASTE AND VENT PIPING IN ACCORDANCE WITH ALL CODES.

DIVISION 16 - ELECTRICAL:

ALL ELECTRICAL WORK SHALL BE DONE IN STRICT CONFORMANCE WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS AND LOCAL CODES. THE SERVICE SIZE SHALL BE A MINIMUM OF 100 AMPS.



TYPICAL WALL SECTION

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE	
05-27-26	
05-21-26	
05-11-26	
04-30-26	
Project No.	2026:123
License No.	083970

DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
Old Hopewell Road
Town of Wappinger
Dutchess County, New York

New Residence For:
Mid Hudson Dev.

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	W1
DATE 04-27-26	CHECKED BY B.J.S.	



Project Information

Project Title:	New Residence 2026, 121
Energy Code:	2024 IECC
Construction:	Dutchess, New York
Construction Type:	Single Family
Project Type:	New Construction
Project Sub Type:	None
Conditioned Floor Area:	2771 sq ft
Glazing Area:	9%
Climate Zone:	5a (6499 HDD)
Project No:	1883229
All Electric:	Is Renewable
Is Renewable:	false
Has Battery:	false
Has Charger:	false
Has Heat Pump	false

Construction Site:	Owner/Agent:	Designer/Contractor:
OLD HOPEWELL RD TOWN OF WAPPINGER , NY	P.O. BOX 636 MID HUDSON DEV FISHKILL, New York 12524	3 Van Wyck Lane Day & Stokosa Wappingers Falls, NY 12590

Project Notes:

Energy Credits

Description	Credits
R408.2.5(1) ERV or HRV installed	3.0
R408.2.4(2) 100% of duct systems in conditioned space	9.0

Required: 10 Proposed: 12

Report Title: New Residence 2026.123

Report Date: 5/27/26, 12:42 PM

1 of 2

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor/Factor	Req. U-Factor/Factor	Prop. TC	Req. TC
Ceiling: Cathedral/Ceiling	1734	38.0	0.0	0.027	0.026	47	45
Floor: All-Wood Joist/Floor	531	30.0	0.0	0.033	0.033	16	18
Wall: Wood Frame, 16" o.c.	3186	21.0	3.6	0.046	0.045	126	123
Window: Vinyl Frame	306			0.270	0.280	83	86
Window 1: Vinyl Frame	11			0.300	0.280	3	3
Door: Solid Door (under 50% glazing)	37			0.230	0.280	9	10
Door 1: Solid Door (under 50% glazing)	18			0.140	0.280	3	5
Door 2: Glass Door (over 50% glazing)				0.270	0.280	21	22
Wall 1: Wood Frame, 16"	1426	15.0	7.6	0.046	0.045	66	64

Compliance: Passes using TC trade-off

Compliance: 0.0% Better Than Code

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Compliance Statement

The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2024 IECC requirements in REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Brian J. Stokosa, P.E.

05-27-26

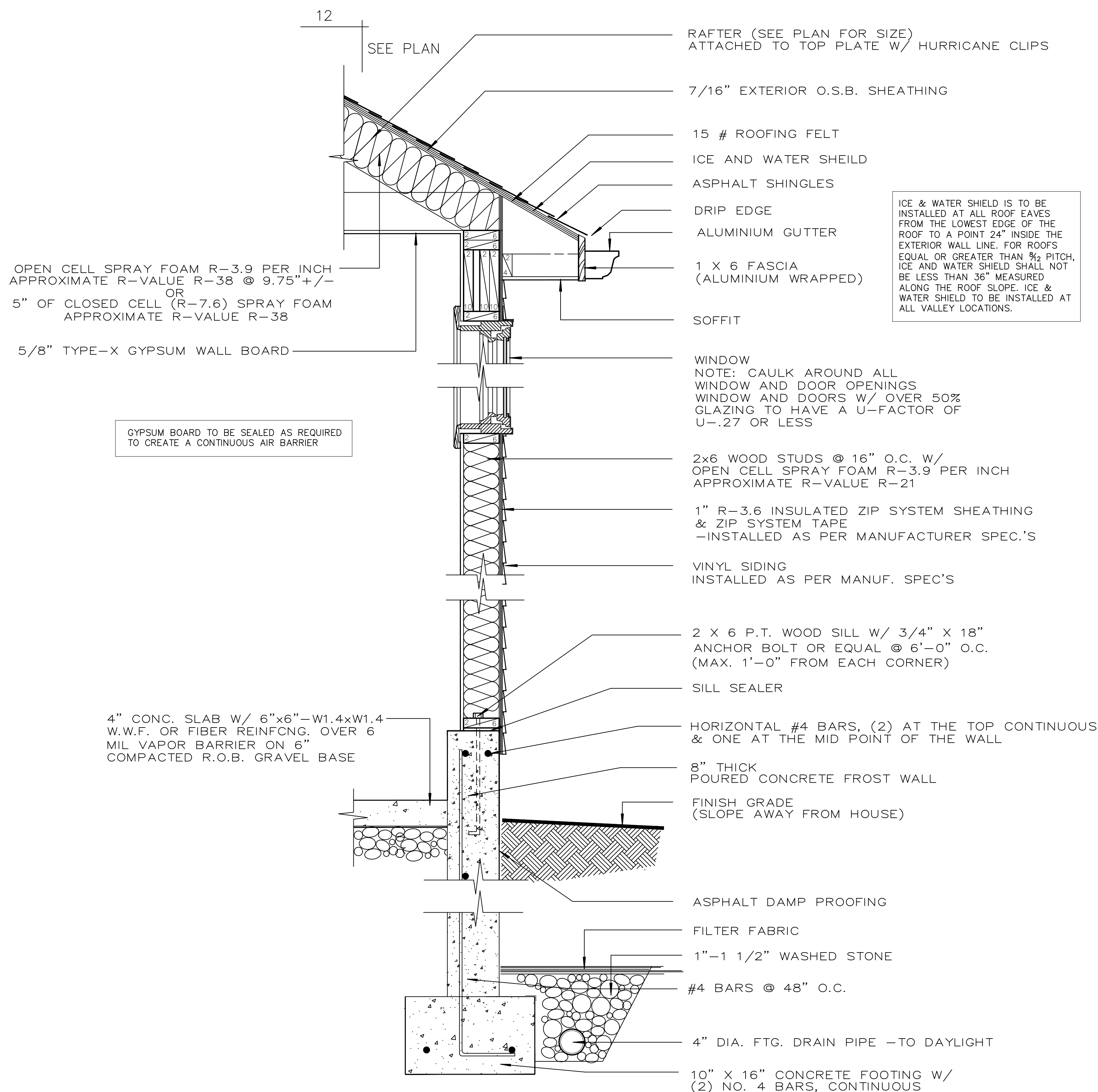
Name - Title

Date _____



Report Date: 5/27/26, 12:42 PM

2 of 2



TYPICAL WALL SECTION FOR SLAB ON GRADE CONSTRUCTION

SCALE: N.T.S.

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		Brian J. Stokosa, PE
	05-27-26	
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	05-11-26	
	04-30-26	
Revisions		
Project No.	2026-123	License No. 083970

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PROJECT Old Hopewell Road
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New Residence For:
Mid Hudson Dev.

SCALE $\frac{1}{4}" = 1'-0"$	DRAWN BY S.M.M.	DRAWING No. W2
DATE 04-27-26	CHECKED BY B.J.S.	

[illegible]

HEATING AND COOLING SYSTEM NOTES:

MANUAL J, S & D INFORMATION TO BE PROVIDED AT THE
BUILDING INSPECTORS REQUEST.

100% OF DUCT SYSTEMS TO BE LOCATED IN CONDITIONED SPACE (R408.2.4(2))

ERV OR HRV SYSTEM TO BE INSTALLED (R408.2.5(1))

ALL THERMOSTATS ARE TO BE PROGRAMMABLE.

DUCTS IN UNCONDITIONED SPACES TO BE INSULATED:
 ≥ 3" DIAMETER INSULATED TO ≥ R-8 IN ATTICS AND ≥ R-6
 ELSEWHERE
 < 3" DIAMETER INSULATED TO ≥ R-6 IN ATTICS AND ≥ R-4
 ELSEWHERE

DUCTS TO BE SEALED TO 4.0CFM/100 FT² OF CONDITIONED FLOOR AREA WITH UL 181 PRODUCTS APPROPRIATE FOR THE DUCT MATERIAL TYPE.

AIR HANDLER SPEC'S TO INDICATE UNIT HAS $\leq 2\%$ AIR LEAKAGE WHEN TESTED PER ASHRAE 193.

HVAC PIPING TO BE PROVIDED WITH MINIMUM R-3 INSULATION.
INSULATION PROTECTION TO BE PROVIDED FOR ALL PIPES
LOCATED OUTDOORS.

SERVICE HOT WATER PIPE INSULATION TO BE PROVIDED AS REQUIRED.

2nd 1A4-LJ	d	1507	17117	6969	457	503
Other equis beds			1816	332		
Equip @ 1.00 RSM				7362		
Latent roofing				2543		
TOTALS		1507	19533	10005	457	503

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PROJECT

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SCALE $\frac{1}{4}" = 1'-0"$	DRAWN BY S.M.M.	DRAWING NO. HVAC
DATE 04-27-26	CHECKED BY B.J.S.	