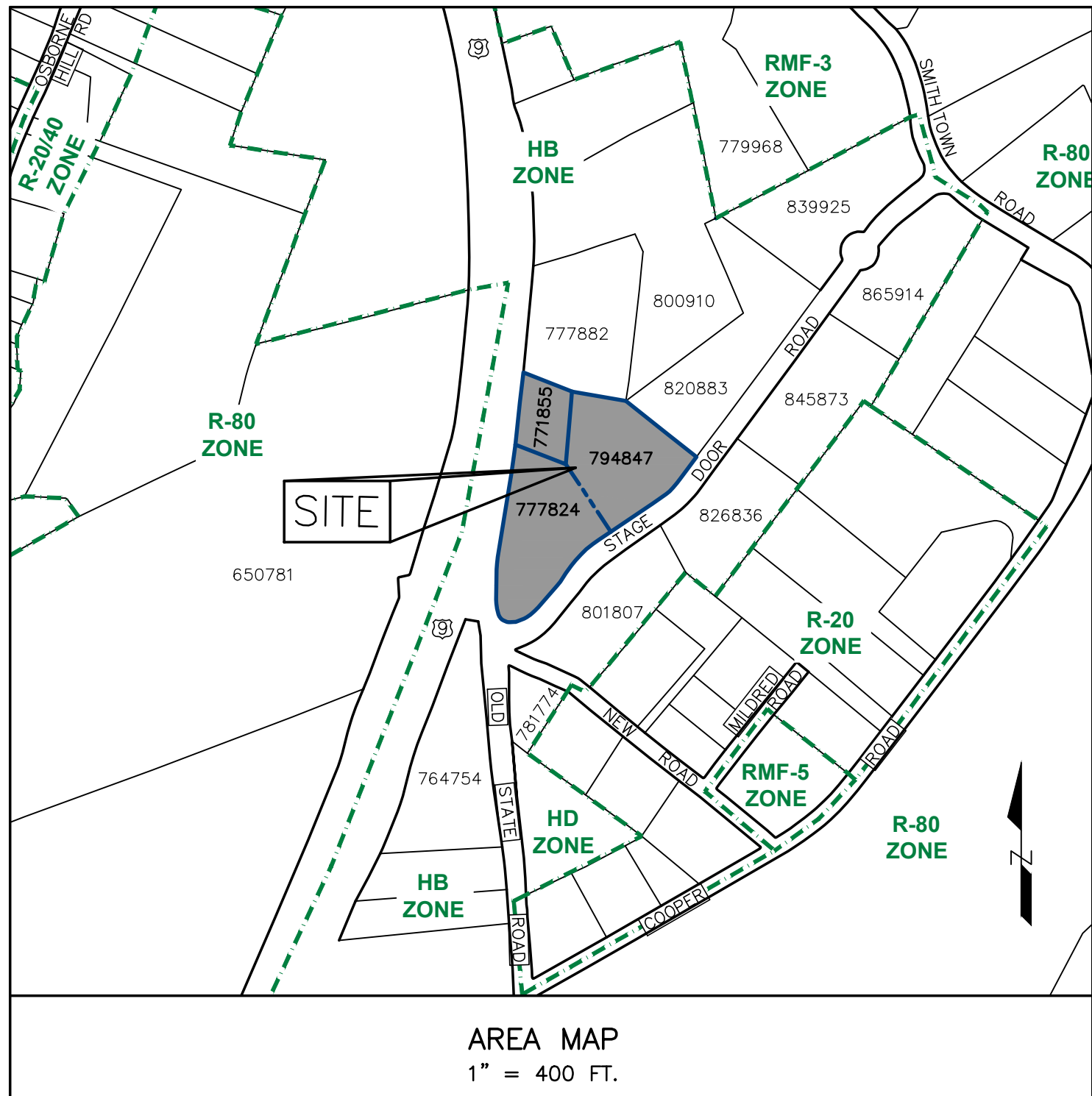
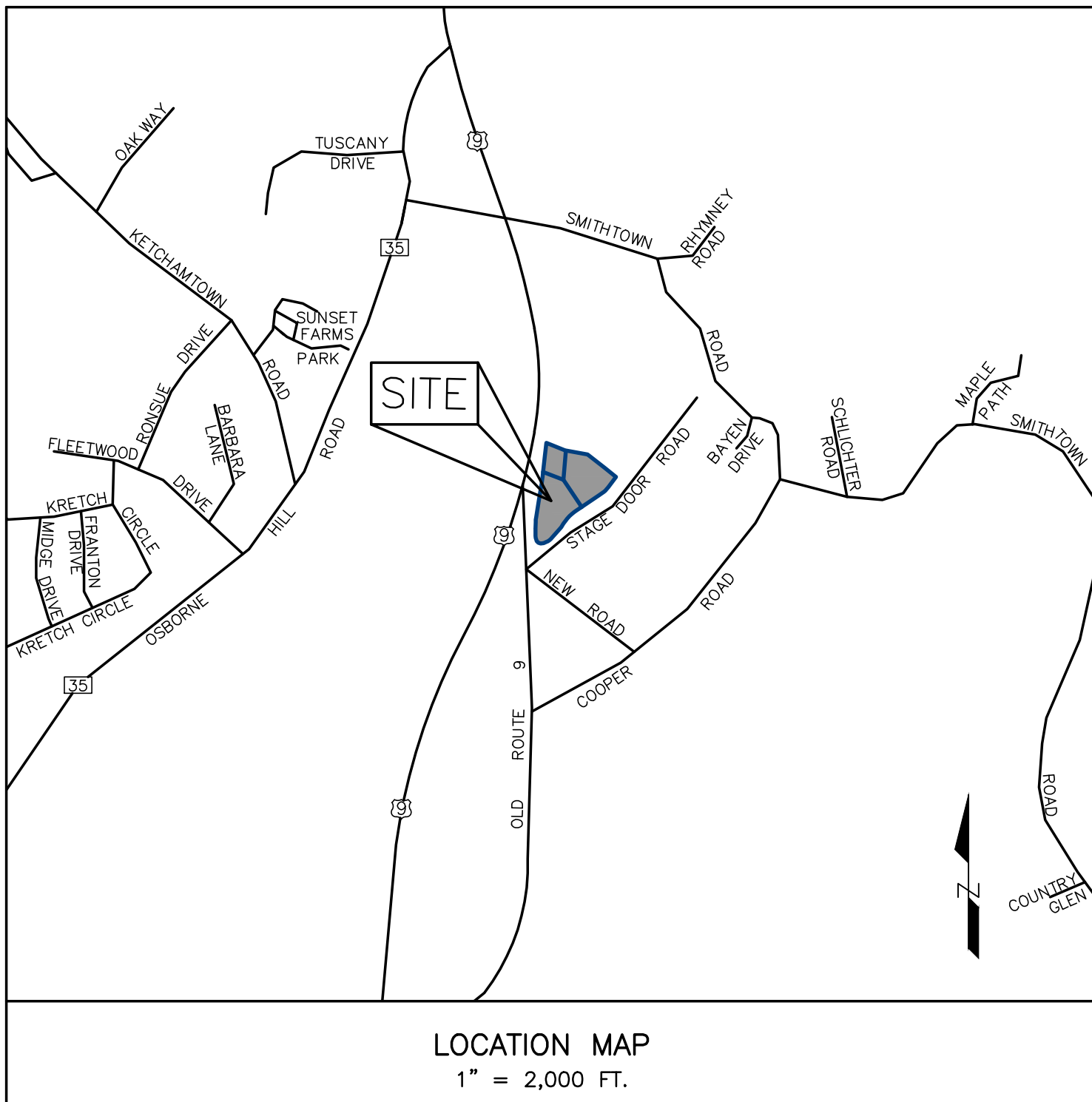


SITE PLAN FOR DURANTS EVENT RENTALS

TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

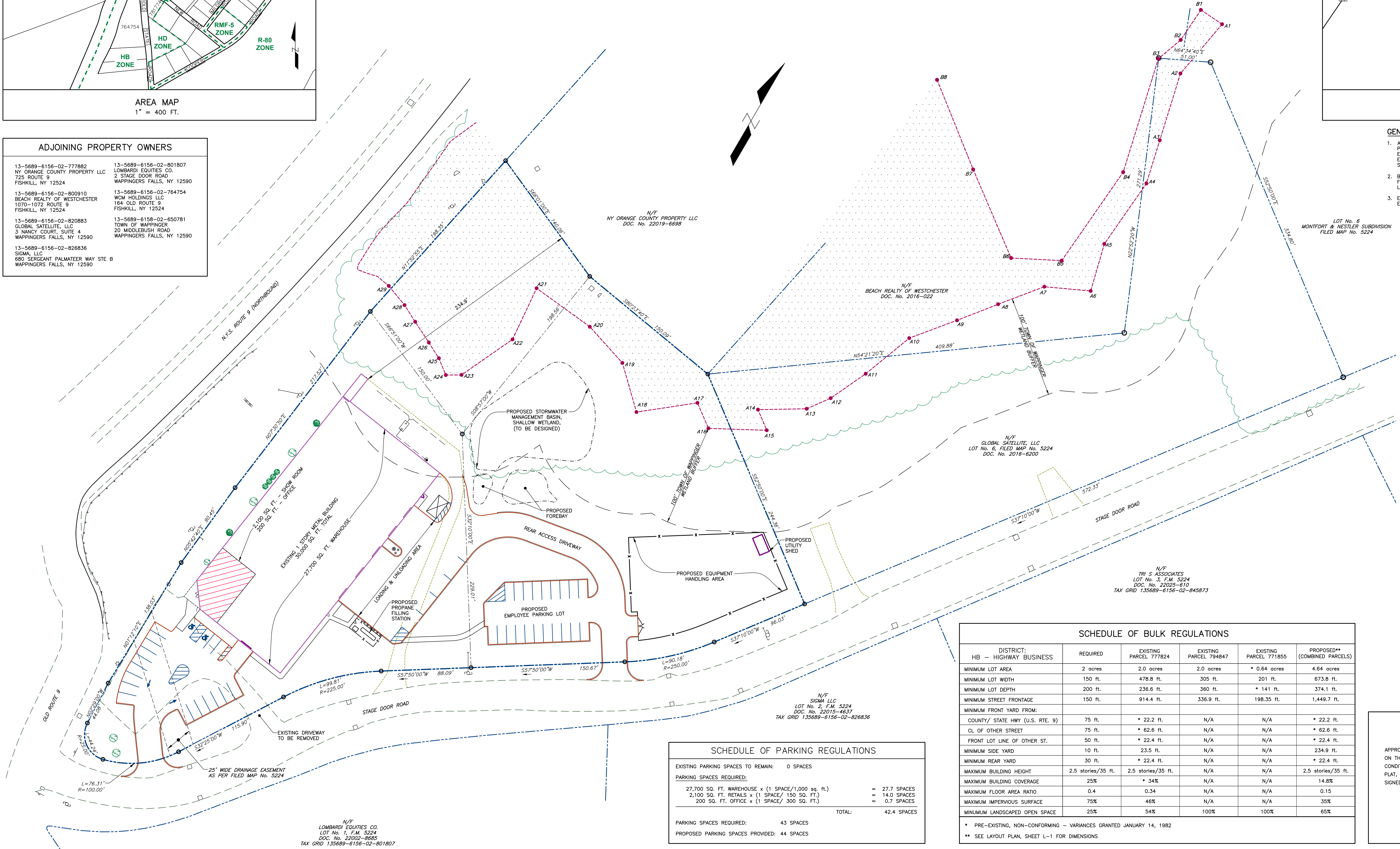


ADJOINING PROPERTY OWNERS	
13-5689-6156-02-777882 NY ORANGE COUNTY PROPERTY LLC 729 ROUTE 9 FISHKILL, NY 12524	13-5689-6156-02-801807 LOMBARDI EQUITIES CO. 2 STAGE DOOR ROAD WAPPINGERS FALLS, NY 12590
13-5689-6156-02-800910 BEACH REALTY OF WESTCHESTER 1070-1072 ROUTE 9 FISHKILL, NY 12524	13-5689-6156-02-764754 WOM HOLDINGS LLC 164 OLD ROUTE 9 FISHKILL, NY 12524
13-5689-6156-02-820883 GLOBAL SATELLITE, LLC 3 NANCY COURT, SUITE 4 WAPPINGERS FALLS, NY 12590	13-5689-6156-02-650781 TOWN OF WAPPINGER 20 MIDDLEBUSH ROAD WAPPINGERS FALLS, NY 12590
13-5689-6156-02-826836 SIGMA, LLC 680 SERGEANT PALMATEER WAY STE B WAPPINGERS FALLS, NY 12590	



- GENERAL NOTES**
- ALTERATION OF THIS PLAN BY ANY PERSON OTHER THAN A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAWS. ANY ALTERATIONS OF THIS PLAN BY A NYS LICENSED PROFESSIONAL ENGINEER SHALL BE SO NOTED AND DATED AND BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF SUCH PROFESSIONAL ENGINEER.
 - BOUNDARY AND EXISTING TOPOGRAPHY IS TAKEN FROM A SURVEY ENTITLED "MAP OF SURVEY FOR LOT NO. 6, 7 & 8 MONFORT & NESTLER SUBDIVISION AND THE LANDS OF CONTRAIL, LLC. PREPARED BY ROBERT V. OSWALD, LAND SURVEYING AND DATED JUNE 30, 2026.
 - EXISTING OF TOWN OF WAPPINGER WETLAND DELINEATED BY MICHAEL NOWICKI OF ECOLOGICAL SOLUTIONS ON JUNE 24, 2022.

APPLICANT: DURANTS, LLC 1155 ROUTE 9 WAPPINGERS FALLS, NY 12590
OWNER: CONTRAIL, LLC 3 NANCY COURT, SUITE 4 WAPPINGERS FALLS, NY 12590
PROPERTY INFORMATION: OWNER: CONTRAIL, LLC TAX ID No. 13-5689-6156-02-777824 LOT 8, FILED MAP No. 5224 AREA: 2.00 Ac. OWNER: CONTRAIL, LLC TAX ID No. 13-5689-6156-02-794847 LOT 7, FILED MAP No. 5224 AREA: 2.00 Ac. OWNER: CONTRAIL, LLC TAX ID No. 13-5689-6156-02-771855 AREA: 0.64 Ac.
ZONING DESIGNATIONS: HB - HIGHWAY BUSINESS
PROPOSED PARCEL INFORMATION PROPOSED COMBINED LOT = 4.64 Ac.



SCHEDULE OF PARKING REGULATIONS	
EXISTING PARKING SPACES TO REMAIN:	0 SPACES
PARKING SPACES REQUIRED:	
27,700 SQ. FT. WAREHOUSE x (1 SPACE/1,000 sq. ft.)	= 27.7 SPACES
2,100 SQ. FT. RETAIL x (1 SPACE/ 150 SQ. FT.)	= 14.0 SPACES
200 SQ. FT. OFFICE x (1 SPACE/ 300 SQ. FT.)	= 0.7 SPACES
TOTAL:	42.4 SPACES
PARKING SPACES REQUIRED:	43 SPACES
PROPOSED PARKING SPACES PROVIDED:	44 SPACES

SCHEDULE OF BULK REGULATIONS					
DISTRICT: HB - HIGHWAY BUSINESS	REQUIRED	EXISTING PARCEL 777824	EXISTING PARCEL 794847	EXISTING 771855	PROPOSED** (COMBINED PARCELS)
MINIMUM LOT AREA	2 acres	2.0 acres	2.0 acres	* 0.64 acres	4.64 acres
MINIMUM LOT WIDTH	150 ft.	478.8 ft.	305 ft.	201 ft.	673.8 ft.
MINIMUM LOT DEPTH	200 ft.	236.6 ft.	360 ft.	* 141 ft.	374.1 ft.
MINIMUM STREET FRONTAGE	150 ft.	914.4 ft.	336.9 ft.	198.35 ft.	1,449.7 ft.
MINIMUM FRONT YARD FROM:					
COUNTY/ STATE HWY (U.S. RTE. 9)	75 ft.	* 22.2 ft.	N/A	N/A	* 22.2 ft.
CL. OF OTHER STREET	75 ft.	* 62.6 ft.	N/A	N/A	* 62.6 ft.
FRONT LOT LINE OF OTHER ST.	50 ft.	* 22.4 ft.	N/A	N/A	* 22.4 ft.
MINIMUM SIDE YARD	10 ft.	23.5 ft.	N/A	N/A	234.9 ft.
MINIMUM REAR YARD	30 ft.	* 22.4 ft.	N/A	N/A	* 22.4 ft.
MAXIMUM BUILDING HEIGHT	2.5 stories/35 ft.	2.5 stories/35 ft.	N/A	N/A	2.5 stories/35 ft.
MAXIMUM BUILDING COVERAGE	25%	* 34%	N/A	N/A	14.8%
MAXIMUM FLOOR AREA RATIO	0.4	0.34	N/A	N/A	0.15
MAXIMUM IMPERVIOUS SURFACE	75%	46%	N/A	N/A	35%
MINIMUM LANDSCAPED OPEN SPACE	25%	54%	100%	100%	65%
* PRE-EXISTING, NON-CONFORMING - VARIANCES GRANTED JANUARY 14, 1982					
** SEE LAYOUT PLAN, SHEET L-1 FOR DIMENSIONS					

DUTCHESS COUNTY DEPARTMENT OF HEALTH
APPROVED

DATE: _____

PROJECT: _____

SUPERVISING PUBLIC HEALTH ENGINEER

TOWN OF WAPPINGER
PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF WAPPINGER, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

SECRETARY

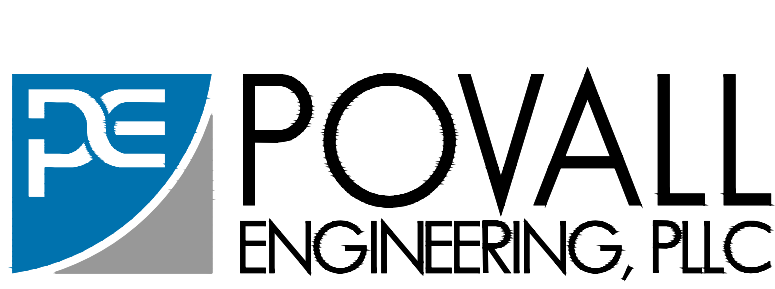
REVISIONS	
DATE:	DESCRIPTION:

LEGEND	
	PROPERTY LINE
	ADJACENT LOT LINE
	EXISTING EASEMENT
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING UTILITY POLE
	EXISTING CATCH BASIN
	EXISTING WETLAND FLAG
	LIMITS OF TOWN OF WAPPINGER WETLAND
	100' WETLAND BUFFER
	PROPOSED EDGE OF PAVEMENT WITH CURB
	PROPOSED CHAIN LINK FENCE

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

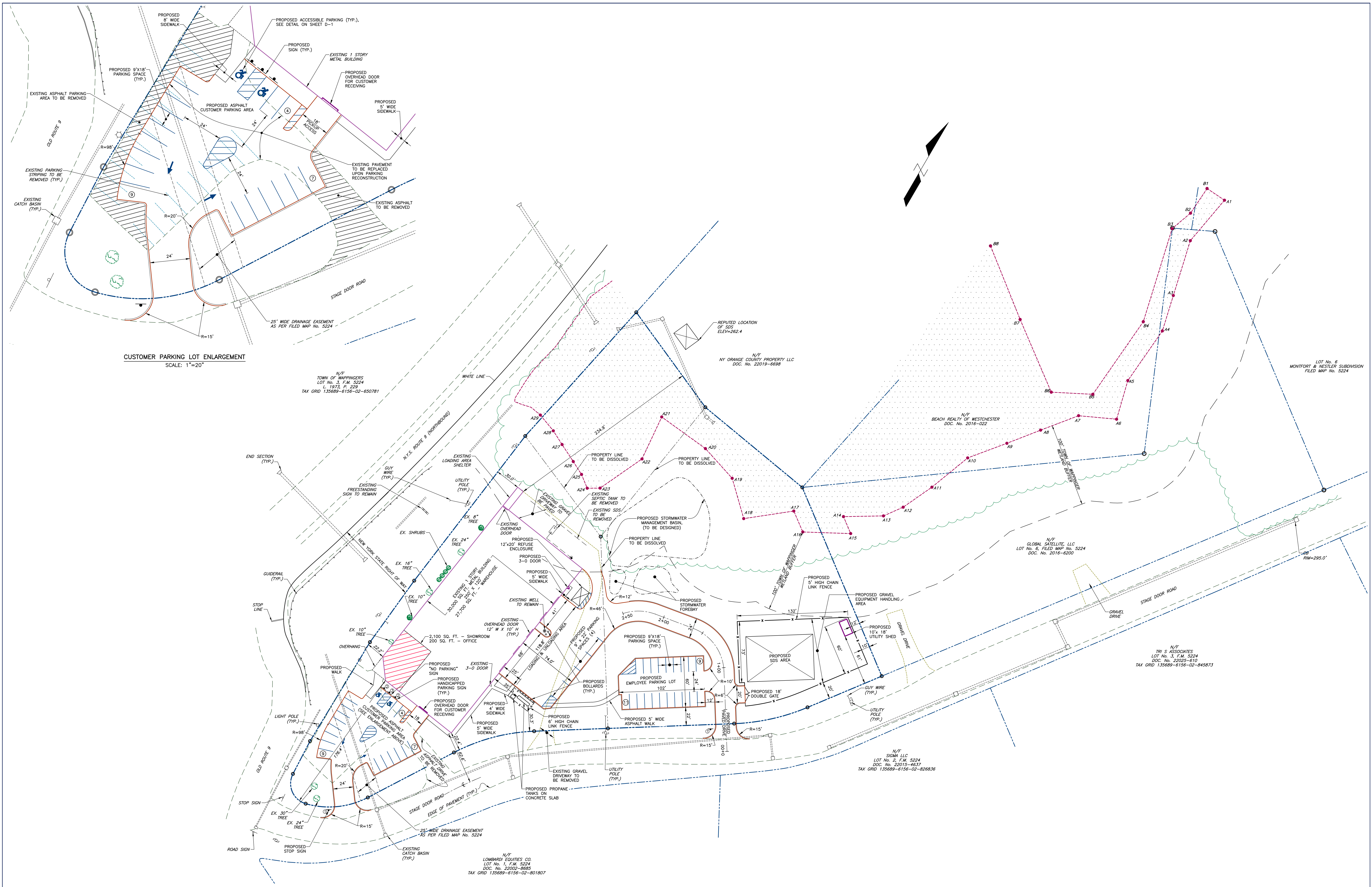
OWNER: _____ DATE: _____



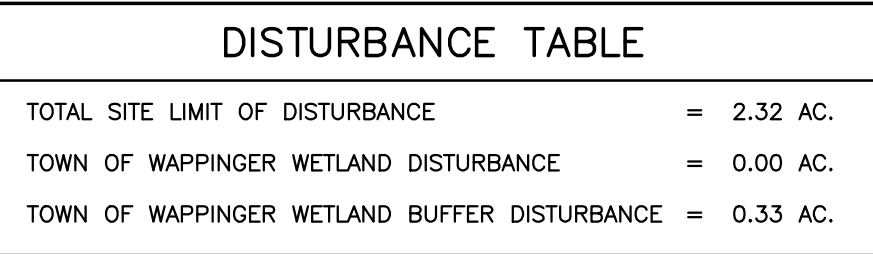
WILLIAM H. POVALL III, P.E.
N.Y.S.P.E. LICENSE #075020
3 NANCY COURT, SUITE 4
WAPPINGERS FALLS, NY 12590
TEL: (845) 897-9205
FAX: (845) 897-0042

DURANTS EVENT RENTALS SITE PLAN
TITLE SHEET
TOWN OF WAPPINGER
DUTCHESS COUNTY, NEW YORK

JOB #: 2607
DATE: 08-17-26
SCALE: 1"=40'
T-1
SHEET 1 OF 5

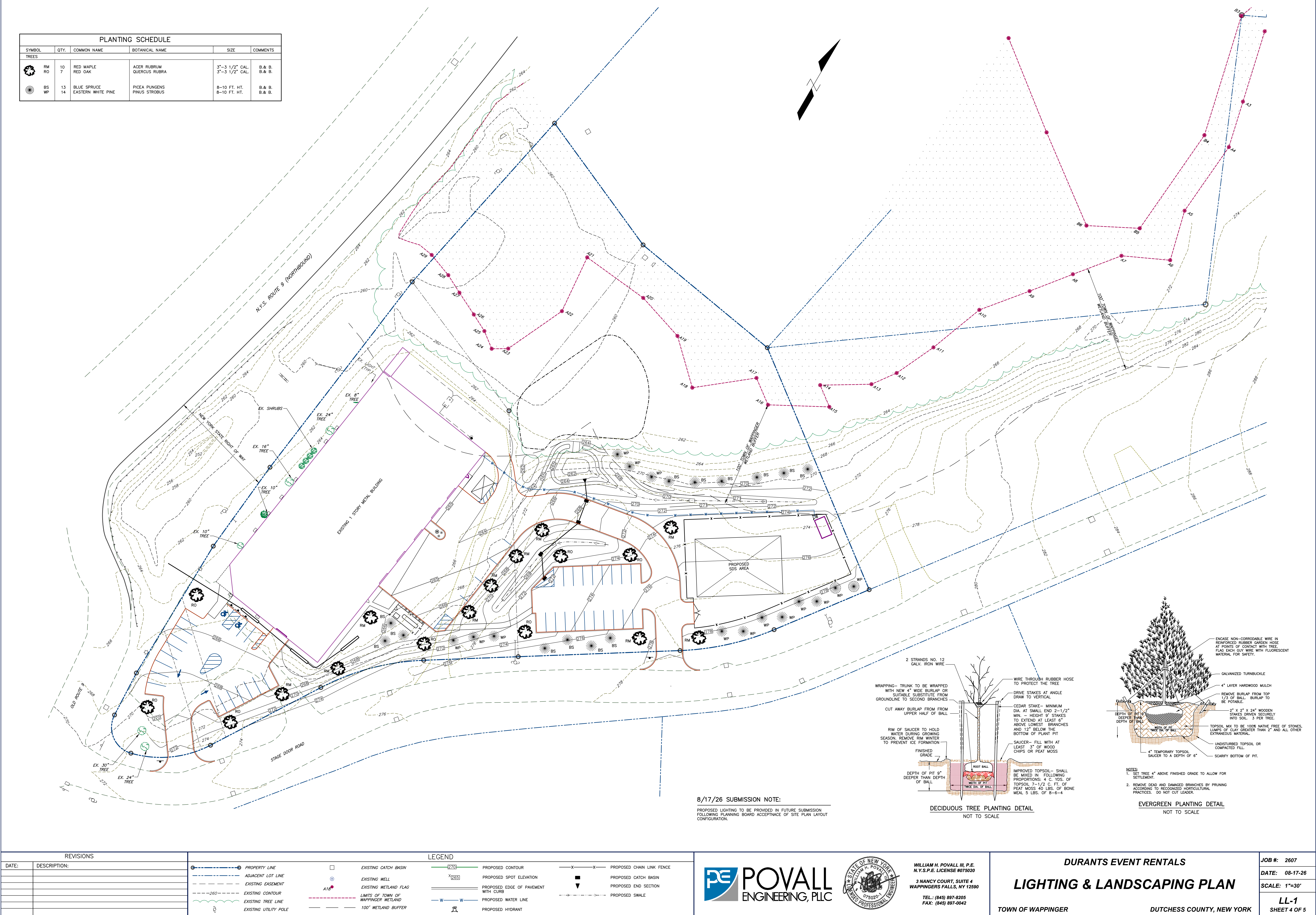


REVISIONS		LEGEND		POVALL ENGINEERING, PLLC		DURANTS EVENT RENTALS LAYOUT PLAN		JOB #: 2607	
DATE:	DESCRIPTION:							DATE: 08-17-26	SCALE: 1"=40'
								SCALE: 1"=40'	L-1
									SHEET 2 OF 5



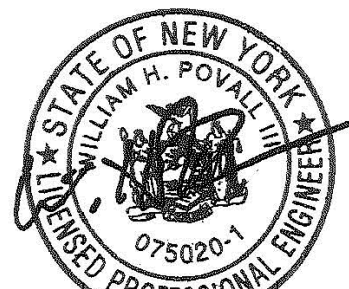
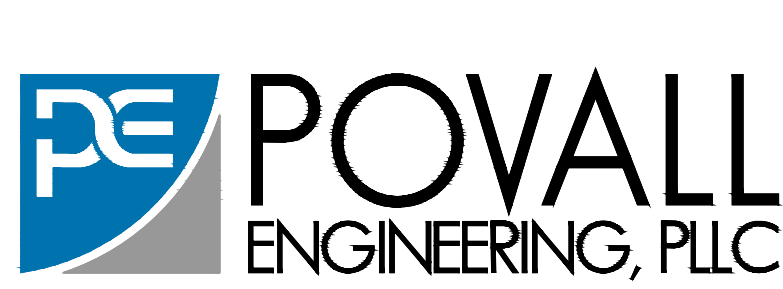
DURANTS EVENT RENTALS GRADING & UTILITY PLAN TOWN OF WAPPINGER DUTCHESS COUNTY, NEW YORK		JOB #: 2607
		DATE: 08-17-26
		SCALE: 1"=30'
		GU-1 SHEET 3 OF 5

PLANTING SCHEDULE					
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
TREES					
	RM	RED MAPLE	ACER RUBRUM	3"-3 1/2" CAL.	B. & B.
	RO	RED OAK	QUERCUS RUBRA	3"-3 1/2" CAL.	B. & B.
	BS	BLUE SPRUCE	PICEA PUNGENS	8-10 FT. HT.	B. & B.
	WP	EASTERN WHITE PINE	PINUS STROBUS	8-10 FT. HT.	B. & B.



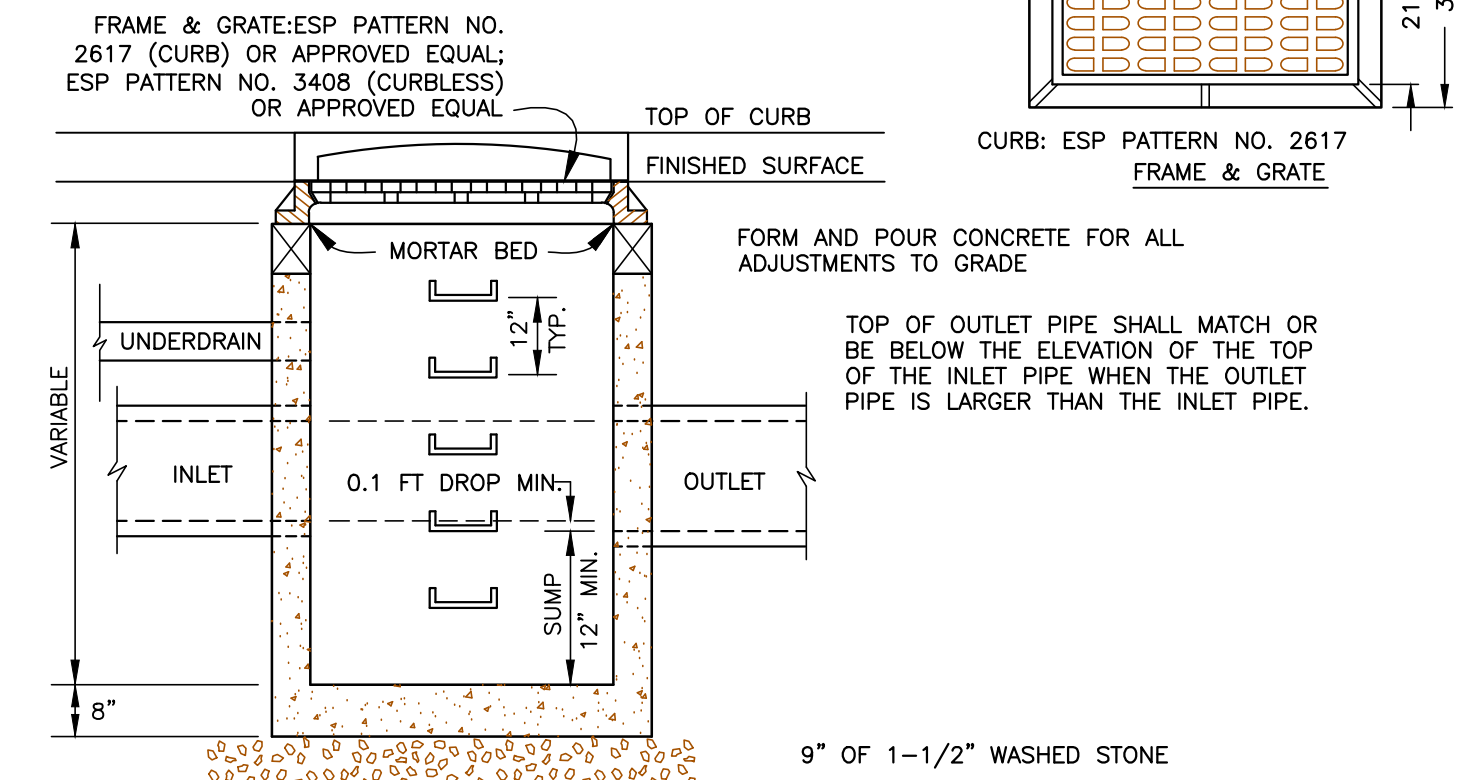
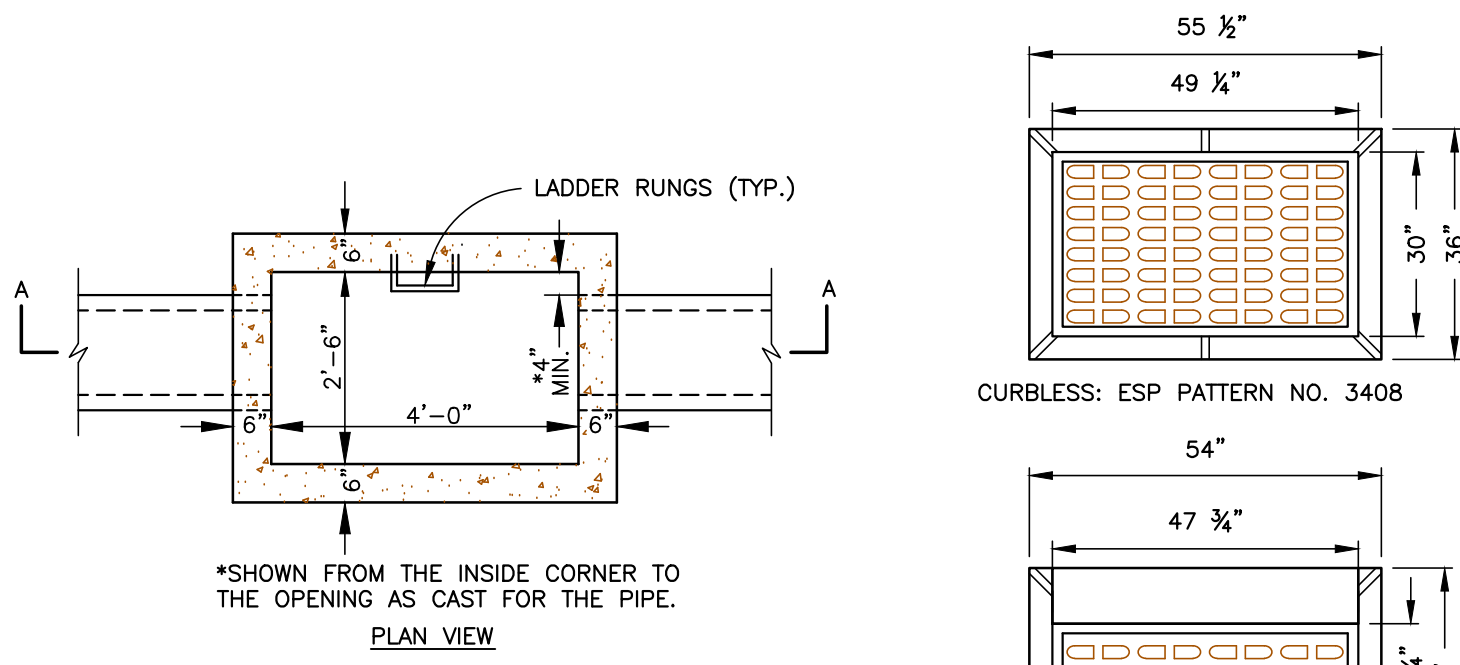
REVISIONS	
DATE:	DESCRIPTION:

LEGEND			
	PROPERTY LINE		EXISTING CATCH BASIN
	ADJACENT LOT LINE		EXISTING WELL
	EXISTING EASEMENT		EXISTING WETLAND FLAG
	EXISTING CONTOUR		LIMITS OF TOWN OF WAPPINGER WETLAND
	EXISTING TREE LINE		100' WETLAND BUFFER
	EXISTING UTILITY POLE		PROPOSED CONTOUR
	PROPOSED CATCH BASIN		PROPOSED SPOT ELEVATION
	PROPOSED CHAIN LINK FENCE		PROPOSED EDGE OF PAVEMENT WITH CURB
	PROPOSED END SECTION		PROPOSED WATER LINE
	PROPOSED SWALE		PROPOSED HYDRANT



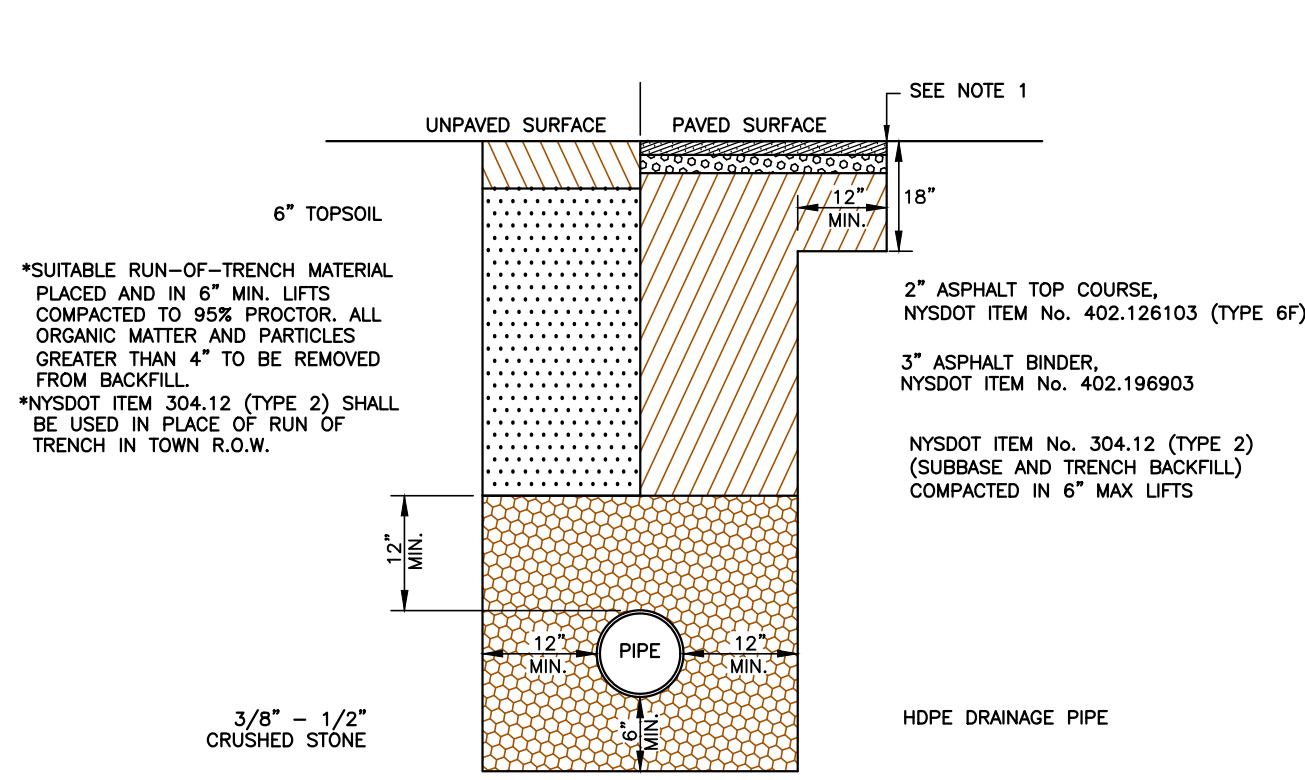
WILLIAM H. POVALL III, P.E.
N.Y.S.P.E. LICENSE #075020
3 NANCY COURT, SUITE 4
WAPPINGERS FALLS, NY 12590
TEL.: (845) 897-9205
FAX: (845) 897-0042

DURANTS EVENT RENTALS		JOB #: 2607
LIGHTING & LANDSCAPING PLAN		DATE: 08-17-26
TOWN OF WAPPINGER		SCALE: 1"=30'
DUTCHESS COUNTY, NEW YORK		LL-1
		SHEET 4 OF 5



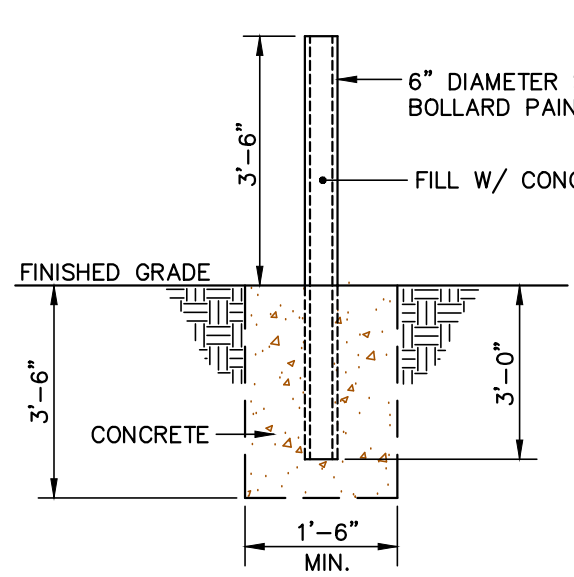
- NOTES:**
1. SEE GRADING AND UTILITY PLAN TO IDENTIFY CURB OR CURBLESS TYPE GRATES.
 2. PRECAST CATCH BASIN, FRAME, AND GRATE SHALL BE DESIGNED FOR H-20 LOADING.
 3. PRECAST CONCRETE TOP WITH FRAME AND GRATE MAY NOT BE USED.
 4. LADDER RUNGS SHALL BE STEEL REINFORCED POLYPROPYLENE PLASTIC STEPS IN CONFORMANCE WITH ASTM C-478, 12" TO BOTTOM.
 5. ALL PIPES SHALL BE LAID OR CUT FLUSH WITH THE INSIDE OF THE CATCH BASIN WALL AND SHALL BE FIRMLY PARGED IN PLACE, BOTH INSIDE AND OUTSIDE.
 6. BACKFILL SHALL BE SELECT FILL COMPACTED IN 6" LIFTS.
 7. PRECAST "KNOCKOUT" BASINS SHALL NOT BE USED.
 8. IF A HOLE IS FIELD BROKEN INTO THE WALL, THE REMAINING WALL SHALL BE MINIMUM 4" FROM THE CORNER TO THE EDGE OF THE REMAINING CONCRETE. THE OPENING SHALL BE SEALED AND PARGED AFTER THE PIPE IS INSERTED, FURTHER THE 4" MINIMUM APPLIES TO A SKEWED PIPE ENTRANCE ALSO.
 9. THERE SHALL BE NO SUMPS FOR OFF-ROAD CATCH BASINS.

STANDARD PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE

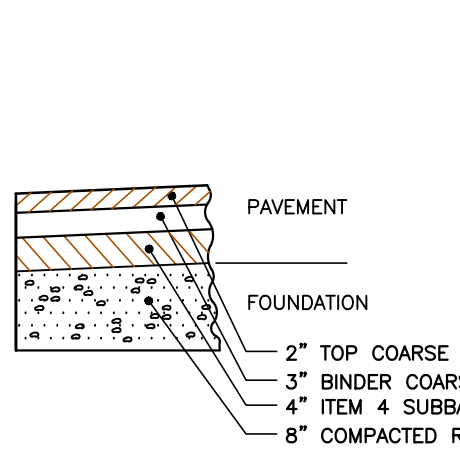


- NOTES:**
1. SAW CUT 12" MIN. FROM EDGE OF TRENCH IN ALL PAVED AREAS. EDGES OF SAW CUT SHALL BE SEALED WITH ASPHALT EMULSION PRIOR TO PAVING.
 2. PAVEMENT SECTION IN AREAS OF NEW CONSTRUCTION SHALL CONFORM TO TYPICAL PAVEMENT SECTION.
 3. WHEN PLACING FILL OR BACKFILL AROUND CULVERTS AND PIPES, LIFTS SHALL BE PLACED TO PROGRESSIVELY BURY THE PIPE OR CULVERT TO EQUAL DEPTHS ON BOTH SIDES.
 4. BACKFILL MATERIAL UNDER PAVED AND UNPAVED SURFACES SHALL BE RUN-OF-TRENCH MATERIAL AND BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS PRIOR TO COMPACTION. IF EXCAVATED MATERIAL IS UNSUITABLE FOR BACKFILLING, R.O.B. GRAVEL SHALL BE USED. NO STONE GREATER THAN 4" INCHES IN SIZE SHALL BE PLACED IN TRENCH.
 5. TRENCH EXCAVATION SHALL CONFORM TO AWWA STANDARDS AS WELL AS OSHA REQUIREMENTS.
 6. IF UNSUITABLE MATERIAL IS FOUND AT BOTTOM OF TRENCH, AN APPROVED MEANS OF SUPPORTING THE PIPE SHALL BE IMPLEMENTED SUBJECT TO APPROVAL BY THE TOWN ENGINEER.
 7. RUN-OF-TRENCH BACKFILL SHALL BE FREE FROM COBBLES, FROZEN SOIL OR ANY ORGANIC MATERIAL.
 8. CRUSHED STONE SHALL BE INSTALLED IN 6" (MAXIMUM) LIFTS AND MECHANICALLY COMPACTED.

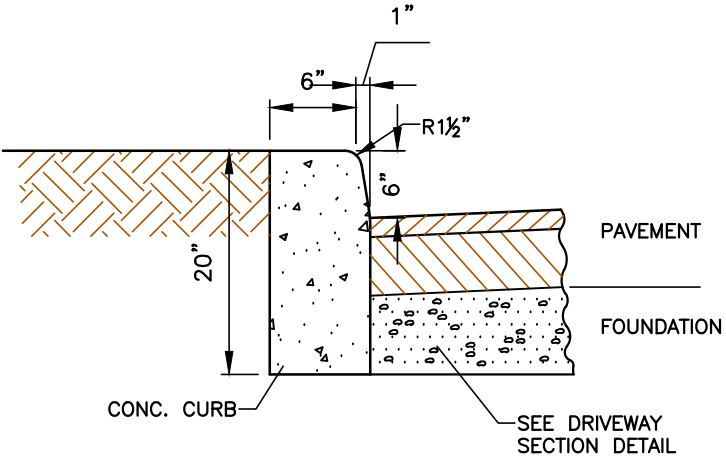
STORM DRAINAGE PIPE TRENCH DETAIL
NOT TO SCALE



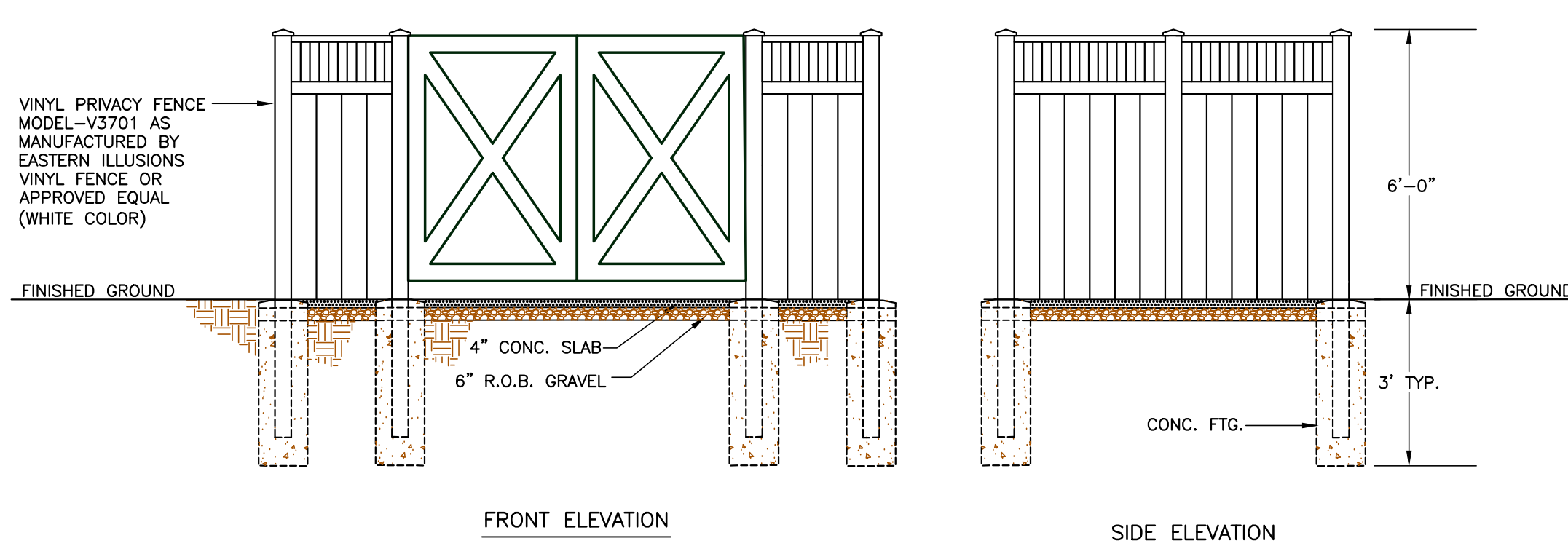
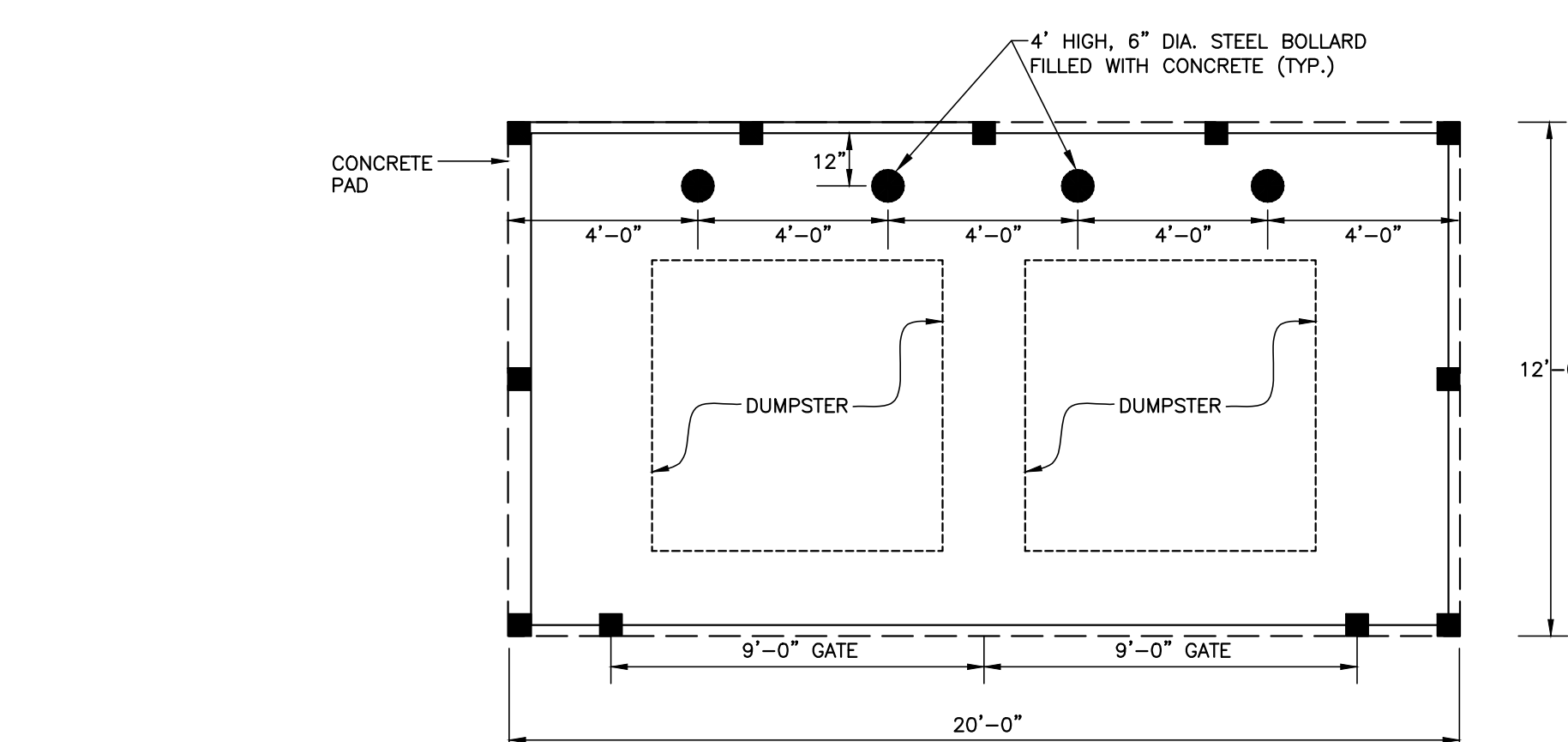
BOLLARD DETAIL
NOT TO SCALE



PAVEMENT SECTION DETAIL
NOT TO SCALE

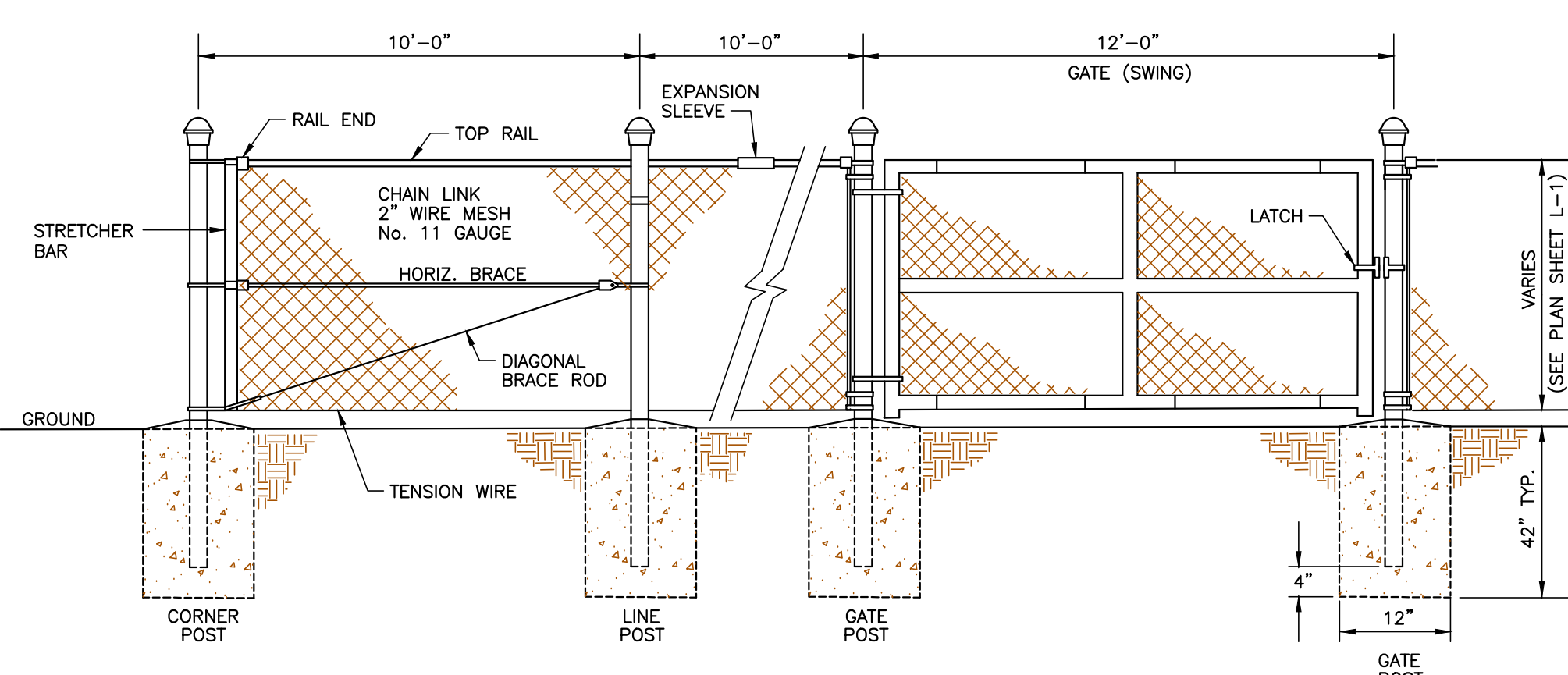


NON-MOUNTABLE CONCRETE CURB DETAIL
NOT TO SCALE



- NOTES:**
1. FENCE COLOR SHALL MATCH THE BUILDING COLOR.

REFUSE ENCLOSURE DETAIL
NOT TO SCALE



- NOTES:**
1. POST SPACING SHOULD BE EQUIDISTANT AND NOT EXCEED A MAXIMUM OF 10 FT. O.C.
 2. MINIMUM POST SIZING: CORNER POST - 2-1/2" O.D. END POST - 2-1/2" O.D. LINE POST - 2-1/2" O.D. GATE POST - 3-1/2" O.D.

CHAIN LINK FENCE DETAIL
NOT TO SCALE

- HORIZ. BRACE***
- * FOR FENCES 5'-0" AND TALLER, A HORIZONTAL OR DIAGONAL BRACE, OR BOTH, IS TO BE USED FOR STABILITY.

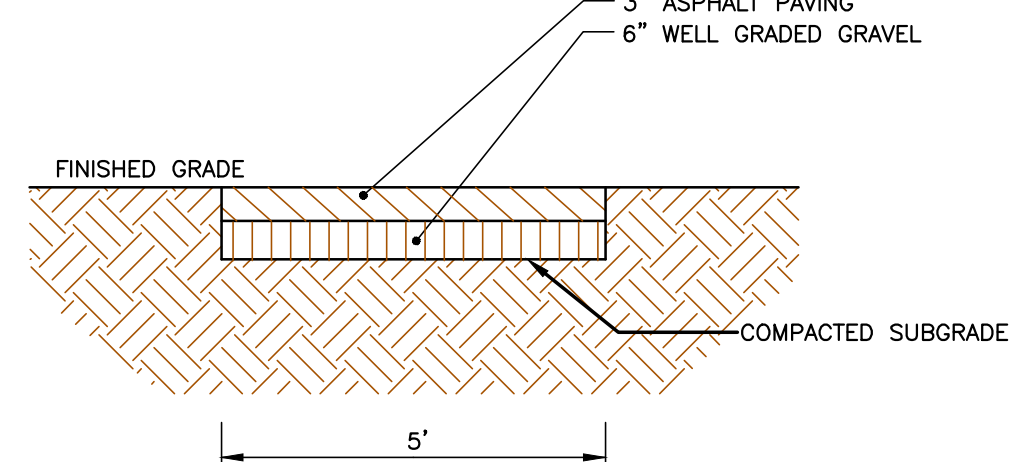
YARD HYDRANT DETAIL
NOT TO SCALE

- NOTES:**
1. YARD HYDRANTS SHALL BE TOTAL ECLIPSE #1 YARD HYDRANTS AS MANUFACTURED BY JOHN C. KUPFERLE FOUNDRY CO., ST. LOUIS, MO. OR APPROVED EQUAL.
 2. YARD HYDRANTS SHALL BE SELF-DRAINING, NON-FREEZING, COMPRESSION TYPE. INLET CONNECTION SHALL BE 1" IP. OUTLET SHALL BE 3/4" IP OR GHT.
 3. YARD HYDRANTS SHALL HAVE A STEEL PIPE RISER WITH A CAST IRON CASING GUARD. PRINCIPAL INTERIOR OPERATING PARTS SHALL BE BRASS AND REMOVABLE FROM YARD HYDRANT FOR SERVICING WITHOUT EXCAVATION.
 4. YARD HYDRANTS SHALL BE SET IN 4 CUBIC FEET OF CRUSHED STONE TO ALLOW FOR PROPER DRAINAGE. RECOMMENDATIONS OF THE AWWA SHOULD BE FOLLOWED WHEN INSTALLING THE YARD HYDRANT.

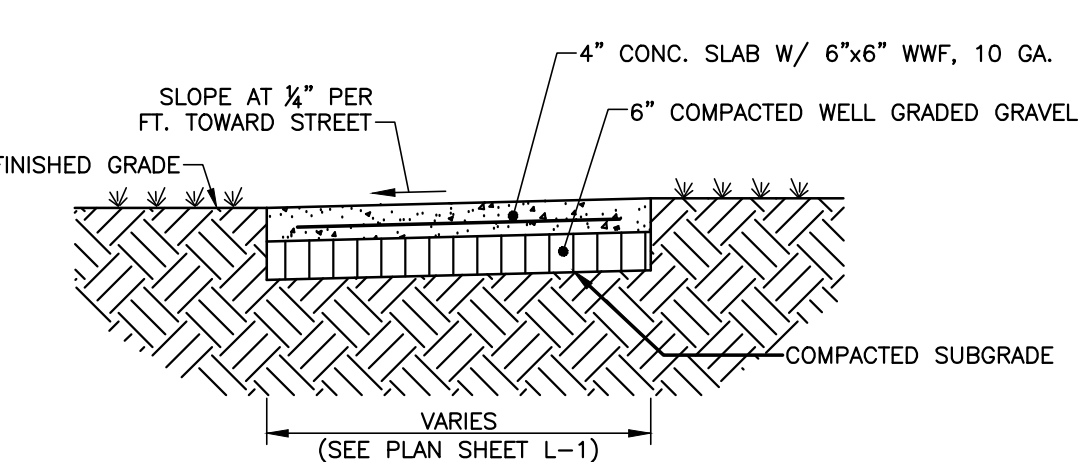
YARD HYDRANT DETAIL
NOT TO SCALE

- NOTES:**
1. ALL SIGNS SHALL CONFORM TO THE NYSOT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND TO THE "MVS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 2. A MINIMUM OF TWO CROSS BRACES SHALL BE PROVIDED ON ALL SINGLE CHANNEL SIGNS HAVING ANY DIMENSION GREATER THAN 24 INCHES.
 3. ALL SIGNS SHALL HAVE A MOUNTING HEIGHT OF 5'-0" TO THE BOTTOM OF THE SIGN AND 7'-0" TO THE BOTTOM OF THE SIGN ABOVE SIDEWALKS.
 4. ALL SIGNS SHALL UTILIZE A CHANNEL-TYPE MOUNTING.
 5. ALL SIGNS SHALL BE REFLECTORIZED.
 6. FOR SIGN LOCATIONS SEE SITE PLAN SHEETS.
 7. SETBACK FROM THE CURB CAN BE DECREASED WHEN THERE IS NO PEDESTRIAN TRAFFIC OR PARKED CARS.
 8. THE SIGN SUPPORT SHALL COMPLY WITH THE BREAKAWAY REQUIREMENTS OF THE LATEST EDITION OF NYSOT SPECIFICATIONS.

PROPOSED SIGN DETAIL
NOT TO SCALE

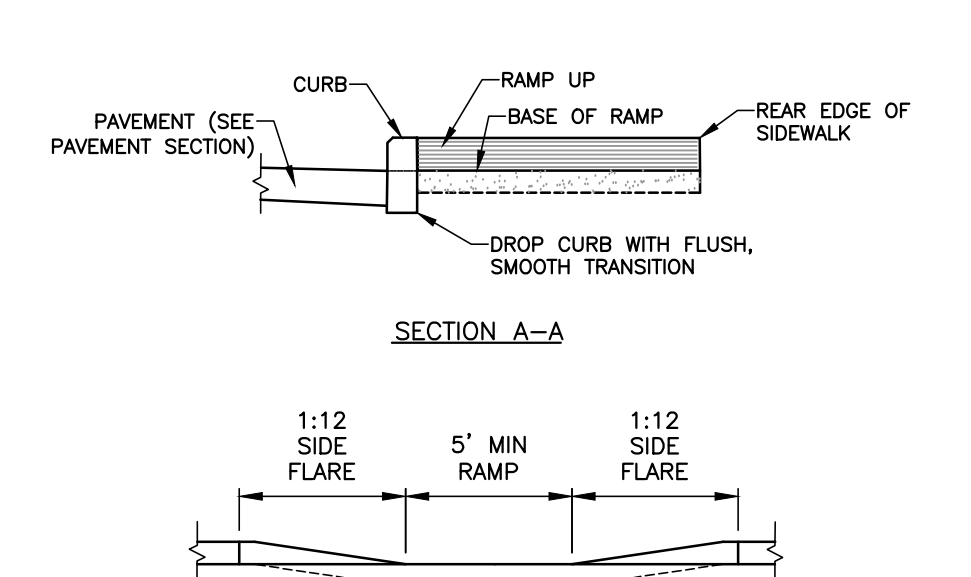
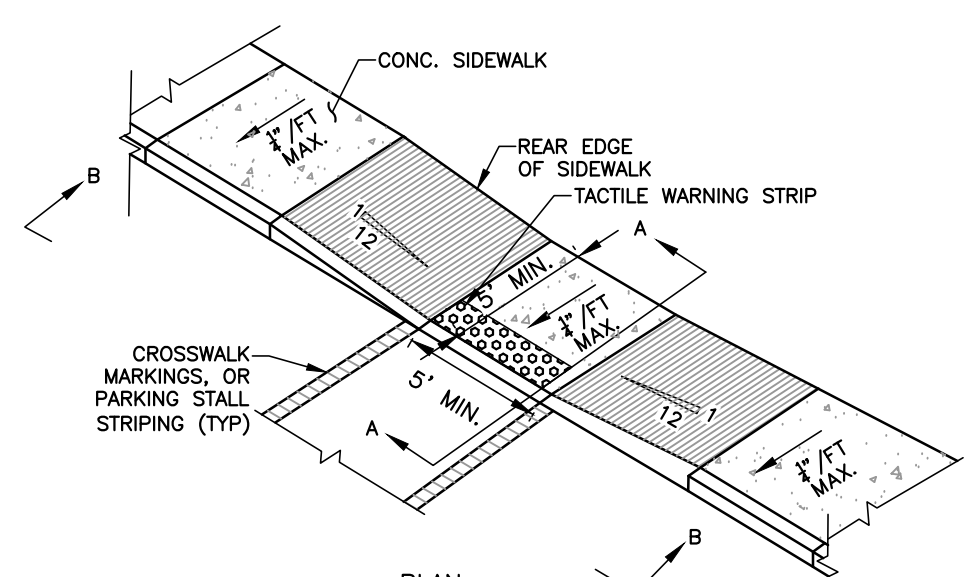


ASPHALT SIDEWALK DETAIL
NOT TO SCALE

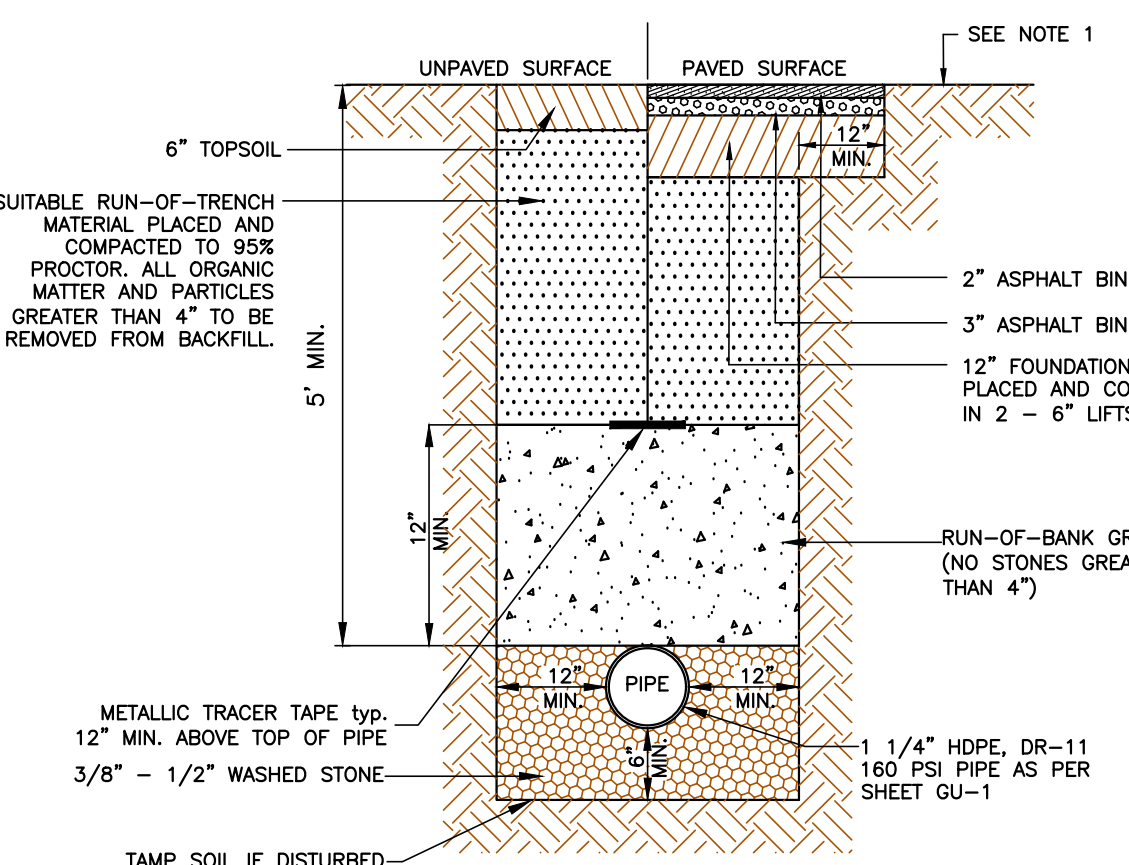


- NOTES:**
1. SIDEWALKS SHALL BE CONSTRUCTED OF 4000 PSI CLASS 'A' CONCRETE.
 2. NO CONCRETE SHALL BE PLACED WHEN ATMOSPHERIC TEMPERATURES ARE BELOW 40°F.
 3. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 4. SIDEWALKS SHALL BE CAST IN SECTIONS APPROXIMATELY 12' LONG.
 5. PROVISIONS SHALL BE MADE AT EACH END JOINT FOR EXPANSION OF 1/4".

CONCRETE SIDEWALK DETAIL
NOT TO SCALE



HANDICAP RAMP DETAIL
NOT TO SCALE



- NOTES:**
1. SAW CUT 12" MIN. FROM EDGE OF TRENCH IN ALL PAVED AREAS.
 2. AS FIELD CONDITIONS WARRANT, THE ENGINEER AND/OR HIGHWAY SUPERINTENDENT MAY REQUIRE FOUNDATION STONE AND/OR RUN-OF-BANK GRAVEL BACKFILL IF UNACCEPTABLE OR INSUFFICIENT RUN-OF-TRENCH IS ENCOUNTERED.

YARD HYDRANT WATER LINE TRENCH DETAIL
NOT TO SCALE